

MARK FISHMAN  
1460 BAYVIEW DR. & 1461 MONTEREY AVENUE  
HERMOSA BEACH, CA. 90254

BEST MANAGEMENT PRACTICES

BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES

- ALL PERSONS WORKING AT THE SITE SHOULD OBTAIN, READ AND UNDERSTAND THE BEST MANAGEMENT PRACTICES PAMPHLET FOR THE TYPE OF CONST. BEING DONE.
- STOCKPILES OF SOIL, DEMOLITION DEBRIS, CEMENT, SAND, TOP SOIL, ETC. MUST BE COVERED WITH A WATERPROOF MATERIALS OR BERMED TO PREVENT BEING WASHED OFF SITE.
- FUELS, OILS, PAINTS, SOLVENTS, AND OTHER LIQUID MATERIAL MUST BE KEPT INSIDE THE BERMED AREAS, SPILLS MUST NOT BE WASHED TO THE STREET.
- WASTE CONCRETE MUST NOT BE WASHED INTO STREET, STORM DRAIN CATCH BASINS, OR PUBLIC RIGHT OF WAY ALL DUST AND SLURRY FROM CONCRETE CUTTING MUST BE REMOVED USING A WET-DRY VACUUM OR EQUIVALENT.
- TRASH AND OTHER CONSTRUCTION SOLID WASTES MUST BE PLACED IN A COVERED TRASH RECEPTACLE.
- ERODED SOIL FROM DISTURBED SLOPES MUST BE CONTAINED USING BERMS, SILT FENCES, SETTING BASINS, OR GOOD EROSION MANAGEMENT PRACTICES SUCH AS RESEEDING.
- WASH WATER FROM CLEANING CONSTRUCTION VEHICLES AND EQUIPMENT MUST BE KEPT ON SITE WITHIN A CONTAINMENT AREA.

LEGEND

- PROPERTY LINE
- GARAGE
- EXIST. FOOTPRINT
- SECOND FLOOR
- ADDED FOOTPRINT
- OPEN SPACE

NOTE: THE STRUCTURE SHALL COMPLY WITH THE SECURITY REQUIREMENTS OF "APPENDIX CHAPTER 10. SECURITY" OF HBMC.

NOTE: BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH POSITION AS TO BE PLAINLY VISIBLE & LEGIBLE FROM THE STREET.

FIRE SPRINKLER  
NOTE:  
CONTRACTOR TO SUBMIT 3-SETS OF FIRE SPRINKLER PLANS FOR REVIEW TO OBTAIN PERMITS PRIOR TO ROUGH FRAMING INSPECTION.

Electrical meter location verify with Power Company.  
(UFER ground at electrical service panel location 20 feet of 1/2" diameter rebar of #4 AWG Copper or 5/16" Garvanize Guy Wire.) 200 AMP. SERVICE REQUIRED.

STATISTICS		PROJECT INFORMATION		SHEET INDEX	
LOT AREA	2,910 sq ft	PROPERTY OWNER	MARK FISHMAN	COVER SHEET	
SQUARE FOOTAGE (UNIT "A")		1460 BAYVIEW DR.		A0 PROJECT INFORMATION/ SITE PLAN	
2- CAR GARAGE (GROUND FLOOR)	700 S.F.	HERMOSA BEACH, CA. 90254		A0.1 SURVEY	
SECOND FLOOR AREA (FOOTPRINT)	660 S.F.	GOVERNING CODE	2013 CBC, CMC, CPC, CEC, AND 2010 T-24 ENERGY REG. FORMS	A0.2 SITE DRAINAGE PLAN	
THIRD FLOOR AREA (LIVING SPACE)	570 S.F.	CONSTRUCTION TYPE	TYPE VB-SP (FIRE SPRINKLERS) (FLOOD ZONE- X)	A0.3 LANDSCAPE PLAN	
		OCCUPANCY GROUP	R-3/U	T.24	
TOTAL LIVING SPACE	1,230 S.F.	USE	SINGLE FAMILY RESIDENCE	ARCHITECTURAL	
TOTAL AREA (LIVING+GARAGE)	1,930 S.F.	NUMBER OF STORIES	3	A.1 UNIT 'A' & 'B' FIRST/ SECOND FLOOR PLANS	
TOTAL FOOTPRINT = DECK OVER 30"	849 S.F.	ZONE	R-3	A.2 UNIT 'A' & 'B' THIRD FLOOR PLANS & ROOF DECK PLAN	
OUTDOOR LIVING SPACE		LEGAL DESCRIPTION	TRACT # 1123 LOT 23	A.3 EXTERIOR ELEVATIONS	
OUTDOOR PATIO/ DECK (GROUND LEVEL)	254 S.F.	APN #	4183-013-307	A.4 EXTERIOR ELEVATIONS	
BALCONY (THIRD FLOOR)	80 S.F.	SCOPE OF WORK	FINISH CONSTRUCTION AND REMODEL EXISTING (3) STORY RESIDENCE @ 1461 MONTEREY CONVERT TO CONDOMINIUM CONSISTING OF 122 S.F. OF ADDED AREA ON WESTERLY PORTION OF 3RD FLOOR, NEW 55 S.F. BALCONY FOR ACCESS TO NEW 139 S.F. ROOF DECK ON EASTERLY PORTION OF 3RD FLOOR. INCREASED WINDOW SIZES PER PLAN.	A.5 BUILDING SECTIONS	
TOTAL OUTDOOR SPACE	334 S.F.				
SQUARE FOOTAGE (UNIT "B") (UNIT REMODELED)					
NEW 2- CAR GARAGE	450 S.F.				
FIRST FLOOR AREA (LIVING SPACE)	540 S.F.				
(E) SECOND FLOOR LIVING AREA-45 (N) BALCONY	997 S.F.				
(N) SECOND FLOOR AREA	63 S.F.				
(E) THIRD FLOOR AREA - 50 S.F (N) BALCONY	718 S.F.				
(N) THIRD FLOOR AREA	145 S.F.				
TOTAL LIVING SPACE	2,472 S.F.				
TOTAL AREA (LIVING+GARAGE)	2,922 S.F.				
TOTAL FOOTPRINT	990 S.F.				
OUTDOOR LIVING SPACE					
THIRD FLOOR DECK (REMODELED)	200 S.F.				
NEW ROOF DECK	219 S.F.				
TOTAL OUTDOOR SPACE	327 S.F.				
LOT COVERAGE					
BUILDING A&B FOOTPRINT W/ GROUND DECK	1858				
COVERAGE 1881 / 2911 = .638	64.6%				

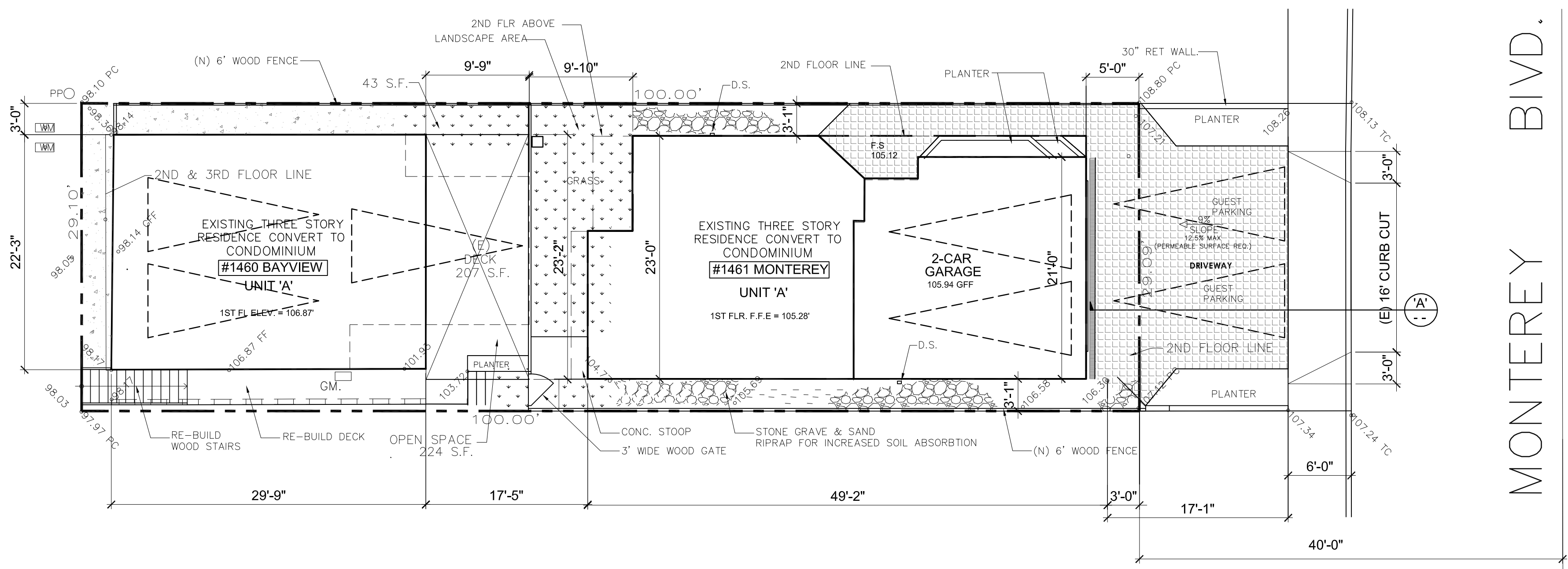
DEVELOPMENT PROGRAM ATTACHMENT 2

PROJECT LOCATION: 1460 BAYVIEW DR. & 1461 MONTEREY AVE.  
OWNER'S NAME: MARK FISHMAN  
ADDRESS: LOT 28, TRACT No. 1069 M.B. 17-136 APN 4183-013-158  
LEGAL DESCRIPTION: LOT 28, TRACT No. 1069 M.B. 17-136 APN 4183-013-158  
ZONING: R-3

GENERAL BUILDING INFORMATION				
LOT AREA: 2,911 SQ. FT.	TOTAL BUILDING AREA:			
	UNIT 1 (A)	UNIT 2 (B)	UNIT 3	UNIT 4
1ST LEVEL LIVING AREA		540 SQ. FT.		
GARAGE	700 SQ. FT.	450 SQ. FT.		
2ND LEVEL LIVING AREA	660 SQ. FT.	1,060 SQ. FT.		
DECKS/BALCONIES		45 SQ. FT.		
3RD LEVEL LIVING AREA	570 SQ. FT.	863 SQ. FT.		
DECKS/BALCONIES	80 SQ. FT.	469 SQ. FT.		
TOTAL LIVING AREA	1,230 SQ. FT.	2,472 SQ. FT.		
TOTAL DECKS/BALCONIES	1,310 SQ. FT.	2,906 SQ. FT.		
NO. OF BEDROOMS	2	4		
NO. OF BATHROOMS	2	4		

ZONING INFORMATION		REQUIRED	PROVIDED
AREA:			
LOT AREA PER DWELLING UNIT		65%	63.8%
YARDS:			
FRONT	3 FT.		3 FT.
SIDE	3 FT.		3 FT.
REAR	3 FT.		3 FT.
PARKING AND DRIVEWAYS:			
NUMBER OF SPACES	3' FT.		
GUEST SPACES			
PARKING SETBACK			
PARKING STALL DIMENSION			
TURNING AREA			
DRIVEWAY WIDTH			
DRIVEWAY MAXIMUM SLOPE	12.5% MAX.		9% MAX.
FENCES/WALLS:			
HEIGHT FROM FINISHED SURFACE	6 FT.		
LINEAL FEET			
OPEN SPACE:			
TOTAL	300 SQ. FT.		
PRIVATE (PER UNIT)			UNIT 1: 334 CU. FT. UNIT 2: 374 CU. FT. UNIT 3: UNIT 4:
PRIVATE STORAGE SPACE:			
CUBIC FEET PER UNIT	200 CU. FT.		UNIT 1: 221 CU. FT. UNIT 2: 207 CU. FT. UNIT 3: UNIT 4:

BAYVIEW DRIVE



SITE PLAN

SCALE: 1/8" = 1'-0"

design + planning

CG BUILDING DESIGN

RESIDENTIAL • COMMERCIAL  
4227 Redondo Beach Blvd.  
Lawndale, CA 90260  
Ph: (310)406-6557  
CGBUILDINGDESIGN@GMAIL.COM

CONSULTING ENGINEER:

AART ASSINK ASSOCIATES

Civil Engineers Structural Design

CLIENT NAME:

MARK FISHMAN

SITE ADDRESS:

1460 BAYVIEW DR. &  
1461 MONTEREY AVE.  
HERMOSA BEACH CA

REVISIONS

THESE DOCUMENTS ARE CONFIDENTIAL. INCORPORATING PROPRIETARY RIGHTS. ALL PARTIES ACCEPTING THESE DOCUMENTS AGREE THAT THEY SHALL NOT BE DUPLICATED IN WHOLE OR PART, NOR DISCLOSED TO OTHERS WITHOUT THE EXPRESS WRITTEN CONSENT OF C.G BUILDING DESIGN. WRITTEN DIMENSIONS ON THESE DOCUMENTS TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL NOTIFY THIS OFFICE IMMEDIATELY IF DISCREPANCIES OCCUR.

SHEET TITLE:

SITE PLAN

DATE: 3-30-15

BY: C.GOLFIN

PROJ. #:

SCALE: AS NOTED

SHEET NO.

A0

SCALE: 1" = 10'

VESTING TENTATIVE

SHEET 1 OF 1 SHEET

PARCEL MAP NO. 73365

IN THE CITY OF HERMOSA BEACH  
COUNTY OF LOS ANGELES  
STATE OF CALIFORNIA

FOR CONDOMINIUM PURPOSES

ENGINEER

DENN ENGINEERS

3914 DEL AMO BLVD., STE.  
921 TORRANCE, CA 90503  
310-542-9433

*Gary J. Roehl*  
GARY J. ROEHL

DATE 12-17-2014  
R.C.E. 30826



NOTES

1. ALL EXISTING STRUCTURES TO BE REMOVED UNLESS OTHERWISE NOTED.
2. ALL UTILITIES ARE LOCATED IN ADJACENT STREETS
3. THIS IS A 2 UNIT RESIDENTIAL CONDOMINIUM PROJECT.
4. WATER SUPPLY IS PROVIDED BY CALIFORNIA WATER COMPANY.
5. SANITARY SEWER DISPOSAL IS TO AN 8" VCP PUBLIC LINE LOCATED IN BAYVIEW DRIVE. THE SEWER IS APPROXIMATELY 5 FEET IN DEPTH.
6. THERE IS NO KNOWN FILL ON THIS SITE.
7. SITE DRAINAGE IS BY SURFACE FLOW WITH DISCHARGE TO BAYVIEW DRIVE.

OWNERSHIP

MARC FISHMAN  
1460 BAYVIEW DRIVE  
HERMOSA BEACH, CA 90254  
(310) 947-2545

SUBDIVIDER

MIKE ESPARZA  
1460 BAYVIEW DRIVE  
HERMOSA BEACH, CA 90254  
(310) 947-2545

LEGAL DESCRIPTION

LOT 28,  
TRACT No. 1069  
M.B. 17-136  
APN  
4183-013-158

JOB ADDRESS

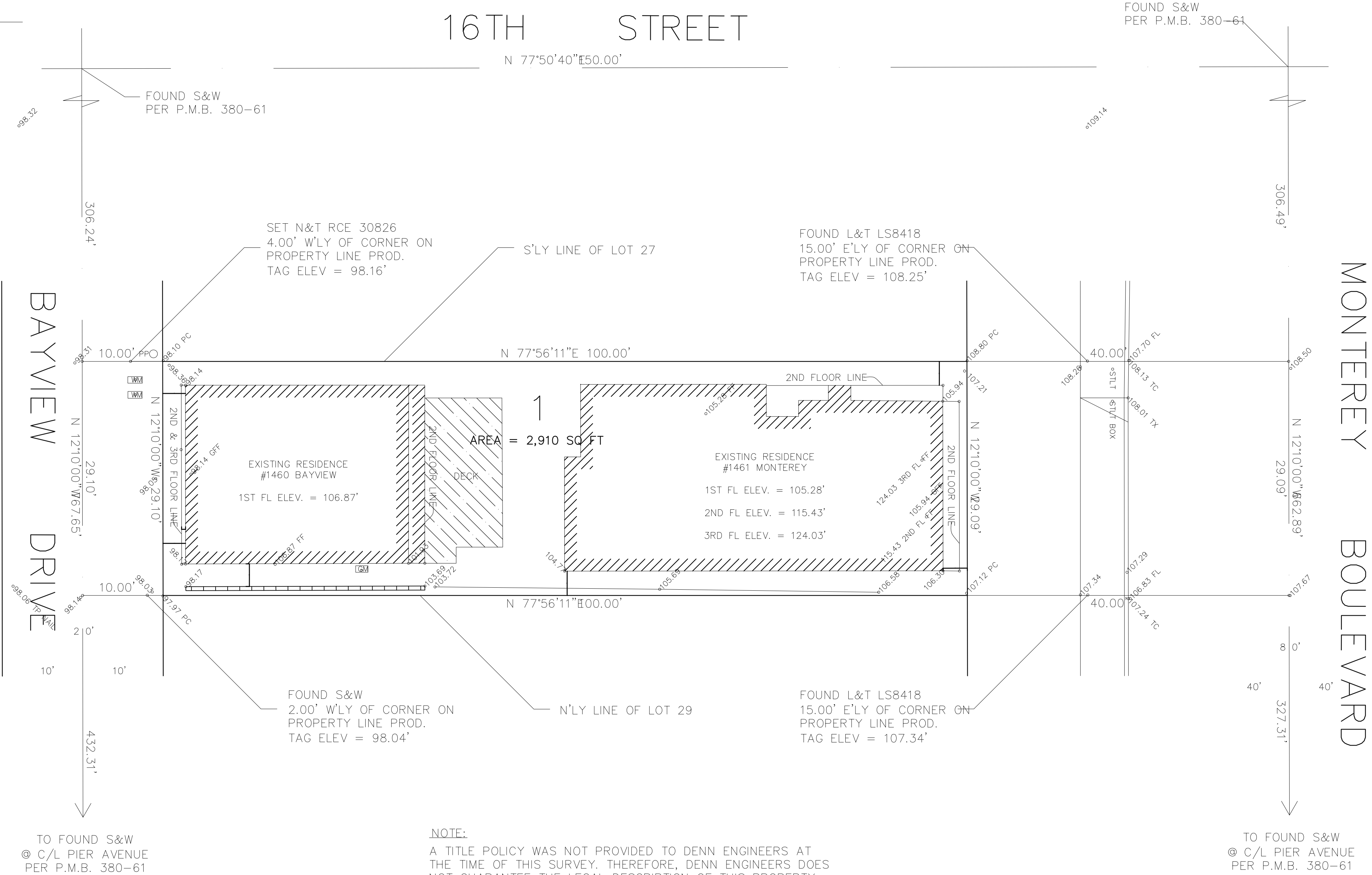
1460 BAYVIEW DRIVE  
HERMOSA BEACH, CA 90254

**LEGEND**

	EXISTING BUILDING
	CONCRETE
	BRICK
	WOOD DECK
+106.76	EXISTING ELEVATION
	EXISTING CONTOUR
	BLOCK WALL
	EXISTING FENCE
BCR	BEGINNING OF CURB RETURN
C/L	CENTERLINE
E'LY	EASTERLY
EM	ELECTRIC METER
FD	FOUND
FF	FINISH FLOOR
FH	FIRE HYDRANT
FL	FLOW LINE
GFF	GARAGE FINISH FLOOR
GM	GAS METER
GW	GUY WIRE
L&T	LEAD AND TAG
MH	MANHOLE
N'LY	NORTHERLY
PC	PROPERTY CORNER
PL, P/L	PROPERTY LINE
PP	POWER POLE
S&W	SPIKE AND WASHER
S'LY	SOUTHERLY
SPK	SPIKE
SSMH	SANITARY SEWER MANHOLE
STK	STAKE
STLT	STREET LIGHT
TC	TOP OF CURB
TW	TOP OF WALL
TX	TOP OF DRIVEWAY APRON
WLY	WESTERLY
WM	WATER METER

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.

BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT : (310) 542-9433, M-F 8:00 AM TO 5:00 PM.



NOTE:  
A TITLE POLICY WAS NOT PROVIDED TO DENN ENGINEERS AT THE TIME OF THIS SURVEY. THEREFORE, DENN ENGINEERS DOES NOT GUARANTEE THE LEGAL DESCRIPTION OF THIS PROPERTY SURVEYED NOR DOES IT REFLECT OR DELINEATE ANY EASEMENTS THAT MAY BE ON SAID PROPERTY.

TOPOGRAPHIC SURVEY/ PARCEL MAP

SCALE:1/8" = 1'-0"

14-635

design + planning

CG BUILDING DESIGN

RESIDENTIAL • COMMERCIAL  
4227 Redondo Beach Blvd.  
Lawndale, CA 90260  
Ph: (310)406-6567  
CGBUILDINGDESIGN@GMAIL.COM

CONSULTING ENGINEER:

**AART ASSINK ASSOCIATES**  
Civil Engineers Structural Design

CLIENT NAME:

MARK FISHMAN

SITE ADDRESS:

1460 BAYVIEW DR. &  
1461 MONTEREY AVE.  
HERMOSA BEACH CA

REVISIONS

1	
2	
3	
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5	

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SHEET TITLE:

**SURVEY/  
PARCEL MAP**

DATE: 1-15-15

SHEET NO.

BY: C. GOLFIN

PROJ. #:

SCALE: AS NOTED

A0.1



8.56. 070 Water Conservation Requirements.

The following water conservation requirements shall apply to all persons:

- A. Landscaping.
1. Watering hours and duration. No lawn or landscaped area shall be irrigated or watered by any means between the hours of 9:00 a.m. and 6:00 p.m. on any day. Above-ground spray irrigation or watering shall not exceed fifteen (15) minutes per irrigation station or area. This provision shall not apply to drip irrigation systems, use of a hand-held bucket or similar container, use of a hand-held hose equipped with a positive action quick-release shutoff valve or nozzle, irrigation necessary to establish newly planted low water usage plants, or water expended for limited periods of time necessary for irrigation system maintenance or leak repair.
2. Over-watering: No lawn or landscaped area shall be irrigated or watered to the point where excess water ponds, sprays or runs off the lawn or landscaped area onto any walkways, sidewalks, driveways, streets, alleys or storm drains.
3. Irrigation during rainfall: No lawn or landscaped area shall be irrigated or watered during rainfall or within 24 hours after measurable rainfall.
4. Landscape maintenance: All lawns and landscaping shall be regularly maintained to reduce water use by such methods as aerating, thatching and mulching.
5. Landscape irrigation system maintenance: Landscape irrigation systems shall be regularly inspected, maintained and repaired to eliminate leaks, remove obstructions to water emission devices and eliminate over spraying.
- B. Pools and spas. New pools and spas shall be equipped with a cover. Not later than July 1, 2012, all existing pools and spas shall be constructed, installed or equipped with a cover. Pools and spas shall be covered overnight and daily when use is concluded.
- C. Water fountains and decorative water features. No person shall operate a fountain or other decorative water feature that does not recycle or re-circulate the water utilized by the device.
- D. Cleaning. No person shall use water to wash or clean any sidewalks, walkways, patios, driveways, alleys, parking or similar areas, whether paved or unpaved; however, use of water brooms or pressure washers or similar low flow technology, or water recycling systems to clean these surfaces, is permitted. In no case shall such water run off the property or drain onto any walkways, sidewalks, streets, alleys or storm drains.
- E. Car washing. No person shall use water to wash or clean any motorized or un-motorized vehicle, including, but not limited to, an automobile, truck, boat, van, bus, motorcycle, trailer or similar vehicle, except by use of a bucket or similar container or a hand-held hose equipped with a positive action quick-release shutoff valve or nozzle. This subsection shall not apply to any commercial car washing facility that uses a water recycling system to capture or reuse water.
- F. Waste and leaks. No person shall:

1. Cause, permit, or allow water to leak from any exterior or interior pipe, hose or plumbing fixture.
2. Cause, permit or allow water to flow from any source on private or public property onto walkways, sidewalks, streets, alleys or storm drains, except as a result of rainfall or pumping excessive groundwater infiltration, such as by means of a sump pump.
3. The use of water for cleaning, washing and other uses shall be performed in an efficient manner to reduce waste and total water use.

8.60. 060 Standards for New Landscape.

"New landscape" as defined in Section 8.60.040 shall be designed and managed to use the minimum amount of water required to maintain plant health. New landscape shall comply with all of the requirements in Sections 492.15 of the Model Efficient Ordinance and the following, whichever is more restrictive, unless an exception is granted pursuant to Section 8.60.050(D).

- A. Plant material.
1. Plant species and landscape design shall be adapted to the climate, soils, topographical conditions, and shall be able to withstand exposure to localized urban conditions such as pavement heat radiation, vehicle emissions and dust, and urban runoff. Water conserving plant and turf species shall be used.
2. Plant species or specifications shall comply with any official list of species, guidelines or regulations adopted by the City to the extent that such lists, guidelines or regulations do not conflict with this Chapter
3. "Plants listed in the current Invasive Plant Inventory for the southwest region by the California Invasive Plant Council or similar source acceptable the Community Development Director are prohibited, except for known non-fruiting, non-invasive, sterile varieties or cultivars. Plants known to be susceptible to disease or pests in this Climate Zone six (6) shall not be used.
4. The landscape area of projects proposing exclusively commercial or industrial uses shall be designed using exclusively water conserving plants. Single family residential, multi-family residential, mixed use and institutional use projects shall be designed with not more than twenty (20) percent of the total landscaped area in turf or high water use plants in the Water Use Classification for Landscape Species (WUCOLS). Turf may be used as a bio-swale or bio-filter or for functional purposes such as active recreational areas as determined by the Community Development Director. Public agencies shall be exempt from this requirement.
5. Turf shall not be allowed on slopes greater than twenty (20) percent. Where the toe of the slope is adjacent to an impermeable surface, alternatives to turf should be considered on slopes exceeding twenty (20) percent, meaning one (1) foot of vertical elevation change for every five (5) feet of horizontal length. Approved turf areas may be watered at 1.0 of the reference evapotranspiration (ETo).
6. .Planted areas shall be covered with a minimum of two (2) inches of organic mulch, except in areas covered by groundcovers or within twenty-four (24) inches of the base of a tree, or where a reduced application is indicated. Additional mulch material shall be added from time to time as necessary to maintain the required depth of mulch.
7. Species and landscape design shall complement and to the extent feasible in compliance with this Chapter be proportional to the surroundings and streetscape and incorporate deciduous trees to shade west and south exposures. Landscaping shall not interfere with safe sight distances for vehicular traffic, the vision clearance in Section 17.46.060, height restrictions for hedges in 17.46.130, pedestrian or bicycle ways, or overhead utility lines or lighting.
- B. Water features, pools and spas.
1. Recirculating water systems shall be used for water features. Where available, recycled water shall be used as a source for decorative water features.
2. Pools and spas shall be equipped with a cover and covered overnight and daily when use is concluded.
- C. Grading and runoff. Landscape design shall minimize soil erosion and runoff.
1. Grading plans shall avoid disruption of natural drainage patterns to the extent feasible.
2. Grading plans shall demonstrate that normal rainfall and irrigation will remain within the property lines and not drain onto impermeable surfaces, walkways, sidewalks, streets, alleys, gutters, or storm drains.
3. Plans and construction shall protect against soil compaction within landscape areas.
4. Stormwater best management practices to minimize runoff, to increase on-site retention and infiltration, and control pollutants shall be incorporated into project plans. Rain gardens, cisterns, swales, structural soil, permeable pavement, connected landscape areas, and other landscape features and practices that increase onsite rainwater capture, storage and infiltration, emphasizing natural approaches over technology-based approaches that require ongoing maintenance, shall be considered during project design. Plans and practices shall comply with Chapter 8.44.

NOTE:  
LANDSCAPE MUST COMPLY  
WITH WATER CONSERVATION  
REQUIREMENTS IN HPMC 8.56.070

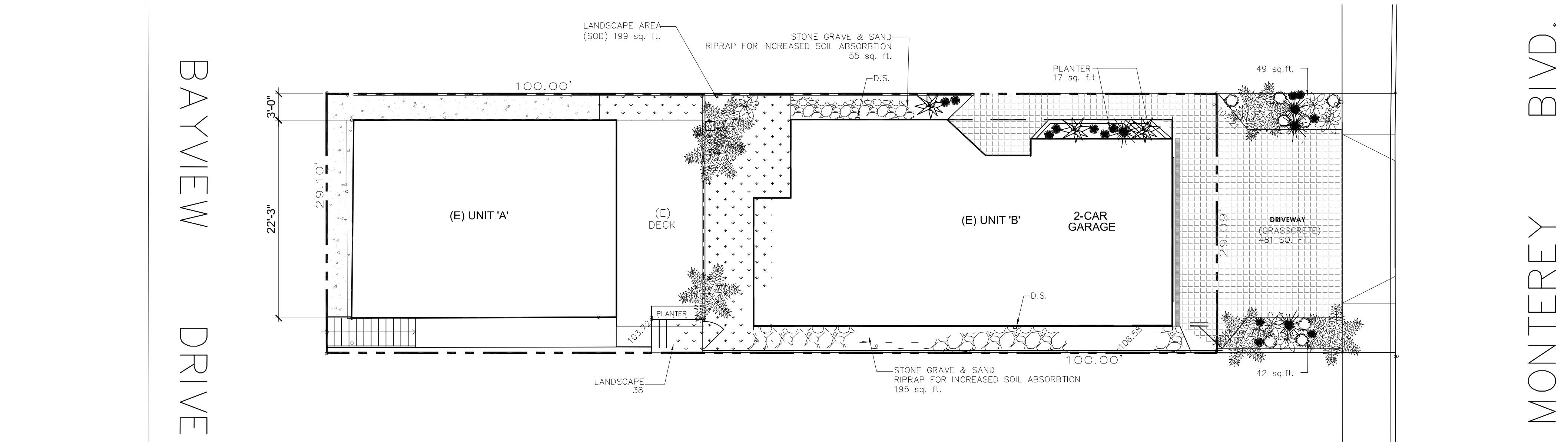
- D. Irrigation systems.
1. An automatic irrigation system using either evapotranspiration or soil moisture sensor data, with a rain shut-off sensor, shall be installed. Drip irrigation emitters shall emit no more than two (2) gallons per hour.
2. An average landscape irrigation efficiency of 0.71 shall be used for the purpose of determining Maximum Applied Water Allowance. Irrigation systems shall be designed, maintained, and managed to meet or exceed this efficiency. Landscapes using recycled water are considered Special Landscape Areas, where the ET Adjustment Factor shall not exceed 1.0.
3. The irrigation system shall be designed to prevent water waste resulting in runoff, overspray, or similar conditions where irrigation water ponds or flows onto non-irrigated areas, walkways, sidewalks, streets, alleys, gutters, storm drains, adjacent property, or similar untargeted areas. Runoff to other permeable or impermeable surfaces shall not be allowed.
4. Narrow or irregularly shaped areas, including turf less than eight (8) feet in width in any direction, shall be irrigated with subsurface irrigation or low volume above-ground irrigation system.
5. Overhead irrigation shall not be permitted within two (2) feet of any impermeable surface. Drip, drip line, or other low flow non-spray technology shall be used.
6. All sprinklers shall have matched precipitation rates within each valve and circuit. All irrigation systems shall be designed to include optimum distribution uniformity, head to head spacing, and setbacks from sidewalks, pavement and impermeable surfaces.
7. All irrigation systems shall provide backflow prevention devices in accordance with the current edition of the California Building/Plumbing Code and check valves at the low end of irrigation lines to prevent unwanted draining of irrigation lines. Pressure regulators may be required if the pressure at the sprinkler head exceeds the manufacturer's recommended optimal operating pressure.
8. Reclaimed water and graywater irrigation systems shall be used when reasonably feasible and shall conform to the current edition of the California Building/Plumbing Code, and all other applicable local, state and federal laws.
- E. Irrigation system hydrozones.
1. The irrigation system shall conform to the hydrozones of the landscape design plan.
2. Each hydrozone shall have plant materials with similar water use, with the exception of hydrozones with plants of mixed water use where the plant factor of the higher water using plant is used for calculations. No hydrozone shall mix high and low water use plants.
3. Sprinkler heads and other emission devices shall be appropriate for the plant type within that hydrozone. Where feasible, trees shall be placed on separate valves from turf, shrubs and groundcovers.
4. No landscape plan or restriction of any type, including those applicable to common interest developments such as condominiums, shall prohibit or include conditions that have the effect of prohibiting native or water conserving plants.
- F. Landscape and irrigation maintenance.
1. All landscape and related elements shall be designed and properly maintained to insure long-term health and shall maintain conformance with the requirements of this Chapter.
2. Irrigation scheduling shall be regulated by automatic irrigation controllers.
3. Watering hours and duration shall be scheduled compliant with the requirements of Chapter 8.56.
4. A regular maintenance schedule shall include, but not be limited to, routine inspection, adjustment and repair of the irrigation system, aerating and dethatching turf areas, replenishing mulch, fertilizing, pruning, weeding and removing any obstruction to emission devices.
5. Repair of all irrigation equipment shall be promptly undertaken, using the originally installed components, or equivalent or enhanced components compatible with the irrigation system.
6. Landscape areas shall be permanently maintained and kept free of weeds, debris and litter; plant materials shall be maintained in a healthy growing condition and diseased or dead plant materials shall be replaced, in kind, pursuant to the approved plans within thirty (30) days. Alternatively, diseased or dead plant materials may be replaced with plant materials that have low water needs, as rated in the current edition of the Water Use Classification of Landscape Species.
7. The use, storage and disposal of all landscape and lawn care products shall comply with all manufacturer's specifications and applicable laws, and minimize the discharge of pollutants to the environment.
- G. Notwithstanding the requirements of this Section, landscape design and maintenance shall additionally comply with the requirements of Chapters 8.44 and 8.56, Title 17 (Zoning), any other applicable provisions of this code, and the requirements of a development permit, whichever is more restrictive.

Grasscrete Permeable Paving

THE SELF DRAINING SURFACE



NATURAL FILTRATION TO SUB-GRADE



LANDSCAPE PLAN

IRRIGATION SYSTEM	
TECHLINE DRIP SYSTEMS BY NEDIFIM	
<b>A</b>	REMOTE CONTROL VALVE W/ DISC FILTER VALVE AND PRV
<b>B</b>	TECHLINE 17mm DRIPPERLINE
<b>C</b>	MANUAL FLUSH VALVE
<b>SPECIFICATIONS.</b>  Dripper flow rates: 0.4, 0.6 or 0.9 GPH. MAX = 2.0 Dripper spacings: 12", 18" or 24" (24" available in 0.6 and 0.9 GPH only) .  Pressure compensation range: 7 to 70 psi ( stainless steel clamps recommended above 50 psi)  Maximum recommended system pressure: 50 psi  Tubing diameter: 0.66" OD: 0.56" ID: 0.050" wall.  Coil length: 100', 250' or 1,000' .  Recommended minimum filtration: 120 mesh .  Bending radius: 7"	

PLANT LEGEND							
SYMBOL	COMMON NAME	WATER USE	SIZE	HEIGHT	DIAMETER	TYPE	QUANTITY
	NEW KING PALM	MEDIUM	48" BOX	12-14 FT.	6-8 FT.	TREE	6
	MIRROR PLANT	MEDIUM	10 GAL.	3-4 FT.	2-4 FT.	SHRUB	2
	PHORMIUM DAZZLER	MEDIUM	5 GAL.	2-3 FT.	2-3 FT.	PLANT	7
	KANGAROO PAW (BUSH GOLD)	MEDIUM	5 GAL.	2-3 FT.	2-3 FT.	PLANT	4
	MEXICAN FEATHER GRASS	LOW	1 GAL.	1-2 FT.	1-2 FT.	GRASS	8
	BLUE FESCUE	LOW	1 GAL.	1-2 FT.	1-2 FT.	GRASS	13
	ALOE	LOW	1 GAL.	1-2 FT.	1-2 FT.	PLANT	3
	SOD	HIGH	N/A	N/A	N/A	BASE	199 SQ.FT.
<b>BASE @ PLANTERS</b>	<b>TOP SOIL W/ WOOD CHIPS OVER 2" ORGANIC MULCH</b>	N/A	N/A	N/A	N/A	BASE	146 SQ.FT.



CITY OF HERMOSA BEACH  
LANDSCAPING REQUIREMENTS

Lot Square Footage	2911 sq. ft.
Building Footprint	2811 sq. ft.

Landscape/ Hardscape Area = Lot Sq. Ft. - Building Footprint  
= 2,911 sq. ft. - 1858 sq. ft. = 1053 sq. ft.

A MAXIMUM 20% OF LANDSCAPE/ HARDSCAPE ARE CAN HAVE HIGH WATER USAGE  
plans as defined by Water use Classification of Landscape Species  
(WUCOLS) for Region 3

Max Area of High Water Use Plants = Landscape/ Hardscape Area x 20%

= 2,911 sq. ft. x 20%  
= 211.6 sq. ft.

(Provided) 199 sq. ft. < 211.6 sq. ft. Max. OK

Permeable Surface Req. =50% of Hardscape

1853 sq. ft. x .5 = Req. Rermeable Surface  
= 926.5 sq. ft. Req.

(Provided) =1,059 sq. ft. 57% OK

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AART ASSINK ASSOCIATES

Civil Engineers Structural Design

CLIENT NAME:

MARK FISHMAN

SITE ADDRESS:

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OCCUR.

SHEET TITLE:

LANDSCAPE  
PLAN

DATE: 3-30-15

SHEET NO.

BY: C. GOLFIN

PROJ. #:

SCALE: AS NOTED

A0.3



ENGINEERING DEPT. NOTES

- A. MYLAR COPY OF THE RECORDED TRACT MAP/PARCEL MAP SHALL BE SUBMITTED TO THE CITY ENGINEER, PRIOR TO REQUESTING FINAL BUILDING INSPECTION.
- B. ALL EASEMENTS, OIL WELLS, SUBSTRUCTURES, SUPERSTRUCTURES, LANDSCAPE, HARDSCAPE, UTILITY POLES, UTILITY BOXES, UTILITY VENTS, UTILITY VAULTS, UTILITY CABINETS, UTILITY OVERHEAD LINES AND WATER HYDRANTS ARE SHOWN ON THIS SITE PLAN.
- C. CONTRACTOR SHALL NOTIFY CITY ENGINEERING DIVISION 48 HOURS PRIOR TO COMMENCING ANY WORK IN PUBLIC RIGHT OF WAY.
- D. WORK IN PUBLIC RIGHT OF WAY SHALL COMPLY WITH THE LATEST EDITION OF APWA STANDARD PLANS AND SPECIFICATIONS, AND SHALL BE EXECUTED TO THE SATISFACTION OF CITY ENGINEER AND/OR HIS REPRESENTATIVE.
- E. WORK IN PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY LICENSED CONTRACTORS. CONTRACTORS AND SUBCONTRACTORS SHALL POSSESS VALID HERMOSA BEACH BUSINESS LICENSES.
- F. CONTRACTOR SHALL MAINTAIN CONSTRUCTION PERMITS AND AN APPROVED SET OF PLANS ON SITE AT ALL TIME. CONTRACTOR SHALL SURRENDER ALL REQUIRED CONSTRUCTION DOCUMENTS TO THE CITY ENGINEER AND/OR HIS REPRESENTATIVE UPON DEMAND.
- G. PRIOR TO ISSUANCE OF THE BUILDING/ENGINEERING PERMIT, CONTRACTOR MUST PROVIDE PROOF OF INSURANCE. CONTRACTOR SHALL MAINTAIN ON CITY FILES APPROVED ONE MILLION DOLLAR GENERAL LIABILITY AND ONE MILLION DOLLAR WORKER'S COMPENSATION INSURANCE POLICY, NAMING THE CITY ADDITIONAL INSURED, WITH 30-DAY CANCELLATION NOTICE. THE INSURANCE POLICY SHALL STATE "THE CITY OF HERMOSA BEACH, ITS OFFICERS, ELECTED OFFICIALS, ATTORNEYS, EMPLOYEES, MEMBERS OF BOARDS AND COMMISSIONS, AGENTS AND VOLUNTEERS ARE HEREBY NAMED ADDITIONAL INSURED." THE CERTIFICATE OF INSURANCE MUST STATE THAT THE INSURANCE IS "PRIMARY" AND NOT EXCESS. THE CANCELLATION CLAUSE SHALL STATE "SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT."
- H. CONTRACTOR SHALL REPLACE AT ITS SOLE COST, DAMAGED SIDEWALK, DRIVEWAYS, CURB, GUTTER AND PAVEMENT TO THE SATISFACATION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE.
- J. CONSTRUCT NEW RESIDENTIAL CONCRETE DRIVEWAY TYPE "V-B" . NEW CONCRETE SHALL BE CLASS 520-C-2500.
- L. CONSTRUCT NEW CONCRETE SIDEWALK WHERE NOTED ON SITE PLAN. NEW SIDEWALK SHALL MATCH EXISTING. NEW CONCRETE SHALL BE CLASS 520-C-2500.
- M. CONSTRUCT NEW CONCRETE CURB AND GUTTER WHERE NOTED ON SITE PLAN. NEW CURB SHALL HAVE FACE HEIGHT OF 6 INCHES OR MATCH EXISTING. NEW GUTTER SHALL BE 12 INCHES WIDE OR MATCH EXISTING. NEW CONCRETE SHALL BE CLASS 520-C-2500.
- N. CONSTRUCT NEW FULL-DEPTH ASPHALT CONCRETE PAVEMENT WHERE NOTED ON SITE PLAN. NEW ASPHALTIC CONCRETE SHALL BE CLASS D1-AR-4000.
- P. TRAFFIC DELINEATION SHALL BE EXECUTED IN ACCORDANCE WITH THE LATEST EDITION OF THE WATCH MANUAL, AND TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE.
- Q. COMMERCIAL VEHICLES TRANSPORTING SOIL, EQUIPMENT OR CONSTRUCTION MATERIALS, AND HAVING UNLADEN WEIGHT AS DEFINED IN SECTION 660 OF CVC OF 6,000 POUNDS OR MORE OR HAVING MANUFACTURER'S GROSS WEIGHT RATING AS DEFINED IN SECTION 390 OF CVC OF 10,000 POUNDS OR MORE SHALL USE DESIGNATED TRUCK ROUTE TO COMMUTE TO PROJECT SITE. ANY COMMERCIAL VEHICLE HAVING A FULLY LADEN WEIGHT OF 20,000 POUNDS OR MORE SHALL NOT USE CONDITIONAL TRUCK ROUTE.

- R. PUBLIC WORKS INSPECTOR SHALL INSPECT ALL STREET IMPROVEMENTS; ALL SEWER SYSTEMS INCLUDING ALL PIPING, TRENCHING, BACKFILLING AND SEWER EJECTOR; ALL STORM DRAIN SYSTEMS INCLUDING ALL PIPING, TRENCHING, BACKFILLING, CATCH BASINS, SUMP PUMPS AND OIL/WATER SEPARATOR. FIRST INSPECTION SHALL TAKE PLACE AFTER FORMS ARE IN PLACE FOR SIDEWALKS, DRIVEWAYS, ETC. OR AT THE TIME OF CONSTRUCTING THE SEWER LINE SADDLE,. SECOND INSPECTION SHALL TAKE PLACE WHILE SIDEWALKS, DRIVEWAYS, ETC. ARE BEING POURED AND FINISHED OR AT THE TIME OF BACKFILLING. BACKFILLING, COMPACTION AND TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH CITY STANDARDS AND TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE. FINAL INSPECTION WILL BE MADE AFTER CITY BUILDING DIVISION HAS MADE THEIR FINAL INSPECTION. AT THAT TIME, IF SHALL USE DESIGNATED TRUCK ROUTE TO COMMUTE TO PROJECT SITE. ALL WORK PERTAINING TO PUBLIC RIGHT OF WAY IS IN GOOD ORDER, THE PERMIT DEPOSITS WILL BE RFELEASED, LESS ANY AND ALL CHARGES. CONTACT CITY ENGINEERING DIVISION AT (310) 318-0661 FOR ALL INSPECTIONS.
- S. CONTRACTOR SHALL ARRANGE FOR PUBLIC WORKS INSPECTION 24 HOURS IN ADVANCE.
- T. CONTRACTOR SHALL SUBMIT COMPACTION REPORTS AND CONCRETE/ASPHALT CLASS CERTIFICATES TO CITY ENGINEERING DIVISION PRIOR TO REQUESTING FINAL INSPECTION.
- U. DUST CONTROL SHALL BE ENFORCED TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE THROUGHOUT CONSTRUCTION.
- V. NOISE CONTROL SHALL BE ENFORCED TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE THROUGHOUT CONSTRUCTION. ACTUAL CONSTRUCTION ACTIVITIES IN PUBLIC RIGHT OF WAY MAY OCCUR FROM 7:00 A.M. TO 6:00 P.M., MONDAY THROUGH FRIDAY. NO WORK IN PUBLIC RIGHT OF WAY SHALL OCCUR ON SATURDAYS WITHOUT PRIOR AUTHORIZATION FROM THE CITY ENGINEER AND/OR HIS REPRESENTATIVE. AUTHORIZED WORK ON SATURDAYS SHALL OCCUR FROM 9:00 A.M. TO 5:00 P.M. NO WORK IN PUBLIC RIGHT OF WAY SHALL OCCUR ON SUNDAYS OR NATIONAL HOLIDAYS.
- W. PUBLIC RIGHT OF WAY SHALL BE KEPT CLEAR AND CLEAN TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE THROUGHOUT CONSTRUCTION. NO STORAGE OF DEBRIS, MATERIALS OR EQUIPMENT SHALL BE ALLOWED ON PUBLIC RIGHT OF WAY WITHOUT PRIOR WRITTEN CONSENT FROM THE CITY ENGINEER AND/OR HIS REPRESENTATIVE. SUCH CONSENT SHALL BE RENEWED DAILY. IF CITY CREWS ARE CALLED UPON TO PERFORM WORK OF CONTRACTOR, REGARDING CITY RIGHT OF WAY, CONTRAACTOR SHALL BE CHARGED FOR ALL EXPENSES INCURRED BY CITY CREWS.
- X. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UTILITIES AT ITS SOLE COST. CONTRACTOR SHALL REPAIR, AT ITS COST AND TO THE SATISFACTION OF THE CITY ENGINEER, HIS REPRESENTATIVE AND TO THE UTILITY COMPANIES, ANY DAMAGE INFLICTED BY CONTRACTOR ON EXISTING UTILITIES.
- Y. CONTRACTOR SHALL LOCATE AND PROTECT IN PLACE EXISTING SURVEY POINTS AT ITS SOLE COST. CONTRACTOR SHALL RE-ESTABLISH DAMAGED SURVEY POINTS, AT ITS SOLE COST, AND TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE.
- Z. CONTRACTOR SHALL REPLACE AT ITS SOLE COST, REMOVED/DAMAGED TREES/LANDSCAPING WITHIN PUBLIC RIGHT OF WAY, TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE.

CONSTRUCTION NOTES:

- 1) SHOW ALL SITE DRAINAGE LINES
- 2) SUBMIT A VIDEO TAPE OF EXISTING SEWER LATERAL TO SHOW ITS CONDITION, IF EXISTING IS IN POOR CONDITION IT SHALL BE REPLACED.
- 3) RE-CONSTRUCT PCC PAVEMENT ON MONTEREY STREET PL TO PL.
- 4) CONSTRUCT PCC SWALE ALONG PROPERTY ON MONTEREY
- 5) ALL SITE DRAINAGE SHALL BE TERMINATED AT PUBLIC RIGHT-OF-WAY VIA NON-EROSIVE DEVICE PER HBMC.
- 6) PROTECT THE PEDESTRIAN PER UBC SECTION3303 DURING CONSTRUCTION.
- 7) REMOVE TWO FULL GROWN TREES FROM THE FRONT YARD.

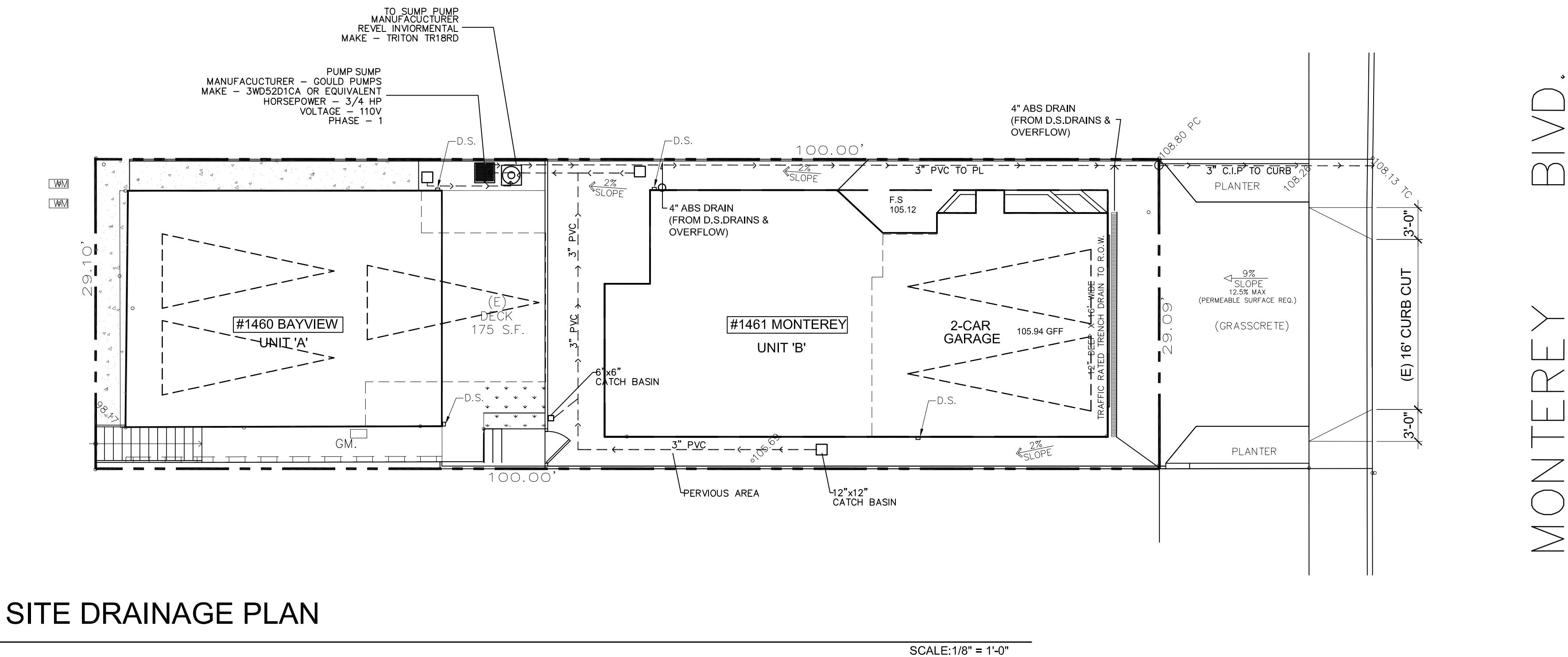
SITE NOTES

NOTE :  
PER SURVEY NO GRADES SHOWN FOR ADJOINING PROPERTIES, SITE EASEMENTS, UTILITY POLES, UTILITY VENTS, UTILITY VAULTS, UTILITY CABINETS, OVERHEAD LINES AND WATER HYDRANTS ON THIS SITE

NOTE :  
PER SURVEY NOTHING SHOWN FOR, SITE EASEMENTS, UTILITY POLES, UTILITY VENTS, UTILITY VAULTS, UTILITY CABINETS, OVERHEAD LINES AND WATER HYDRANTS ON THIS SITE

NOTE: OWNER TO VARYIFY LOCATION OF PROPERTY LINE. PROVIDE SURVEY ON REQUEST OF BUILDING INSPECTOR.

NOTE :  
THE RIDGE HEIGHT SHALL BE CERTIFIED BY A LICENCED SURVEYER / REGISTERED CIVIL ENGINEER ON A FORM PROVIDED BY THE CITY PRIOR TO THE APPROVAL OF THE ROOF FRAMING / SHEETING BY THE BUILDING AND SAFETY DEVISION.



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SHEET TITLE:

SITE DRAINAGE PLAN

DATE: 3-30-15

BY: C.GOLFIN

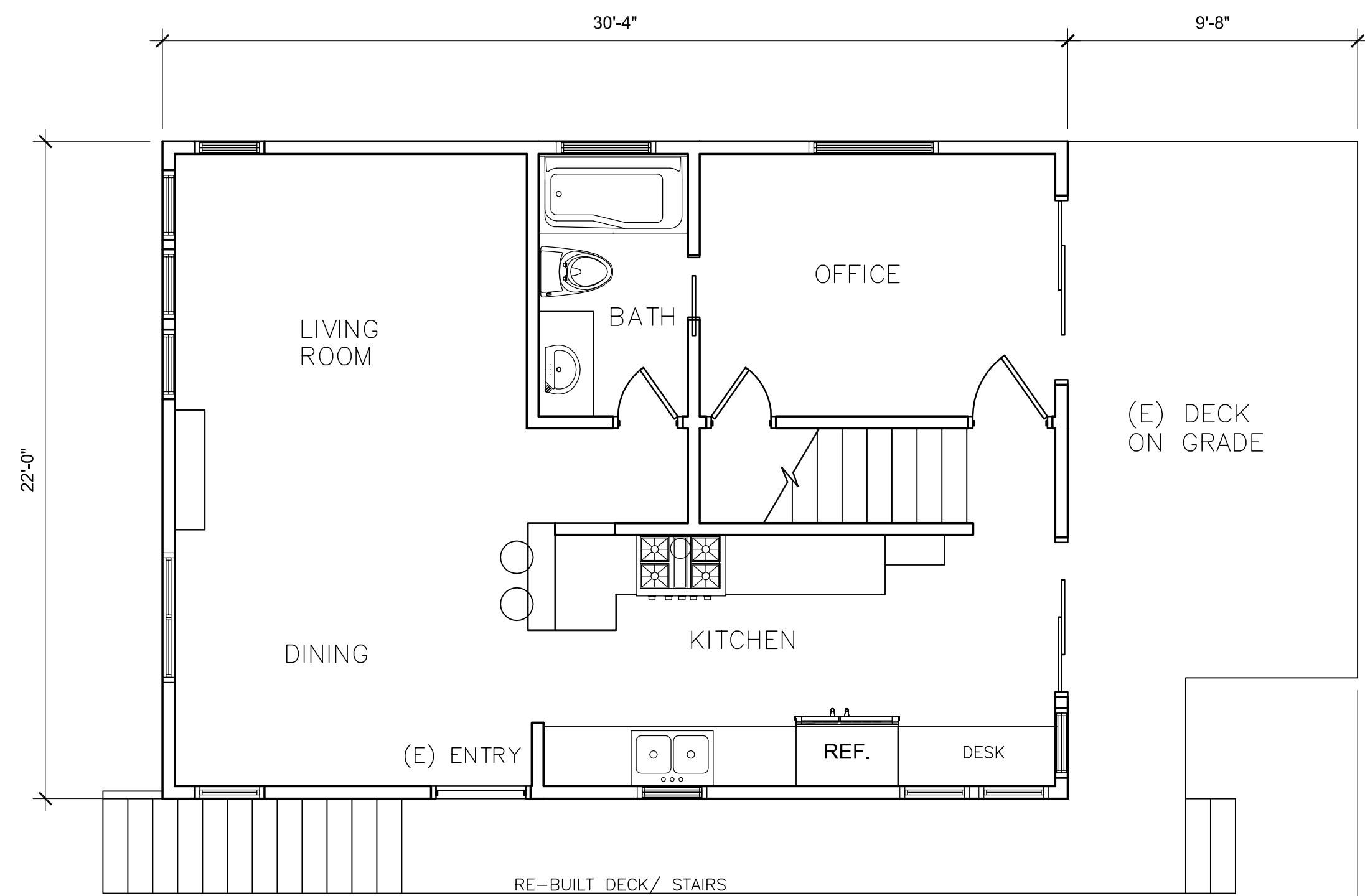
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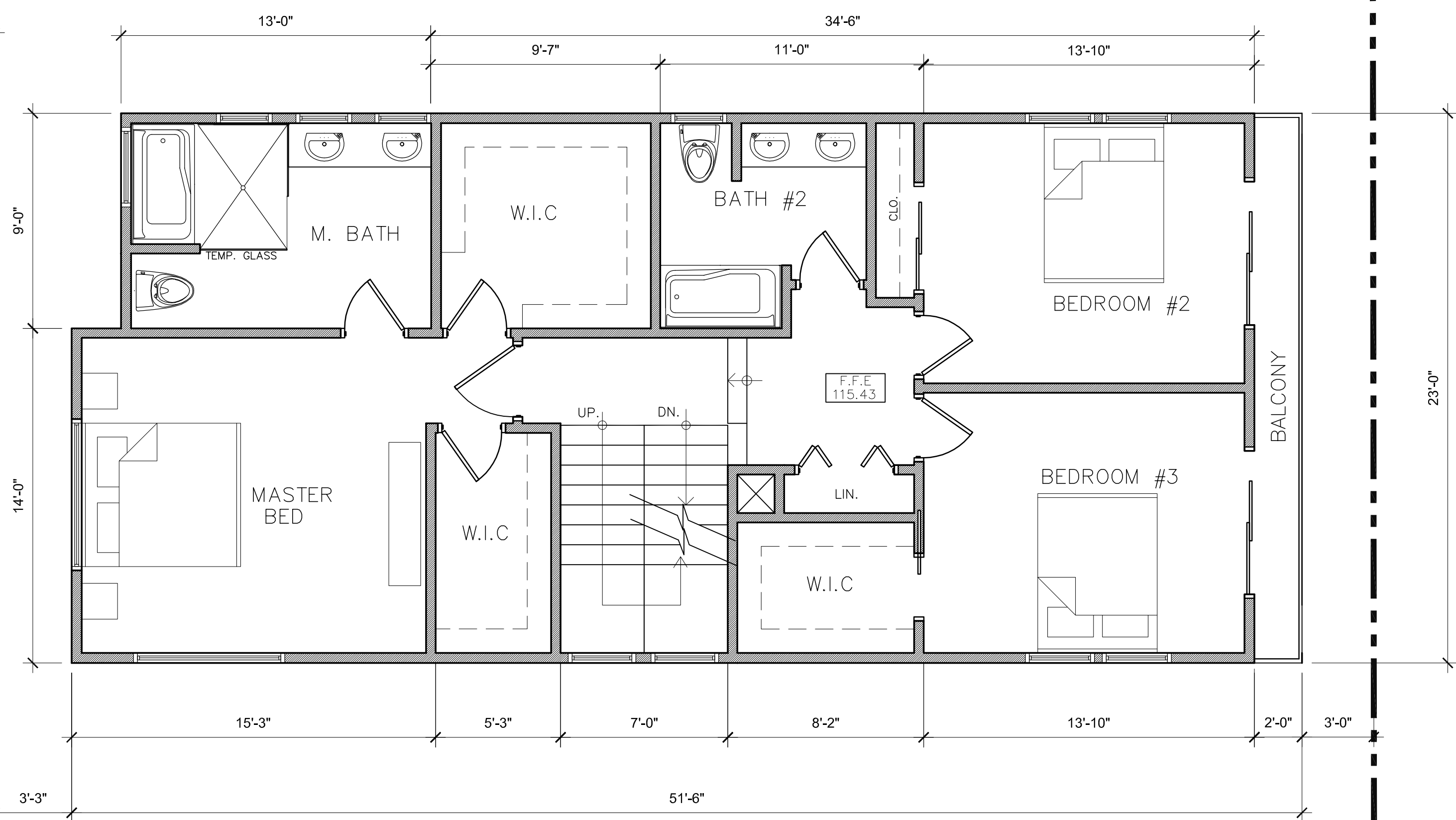
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A0.2

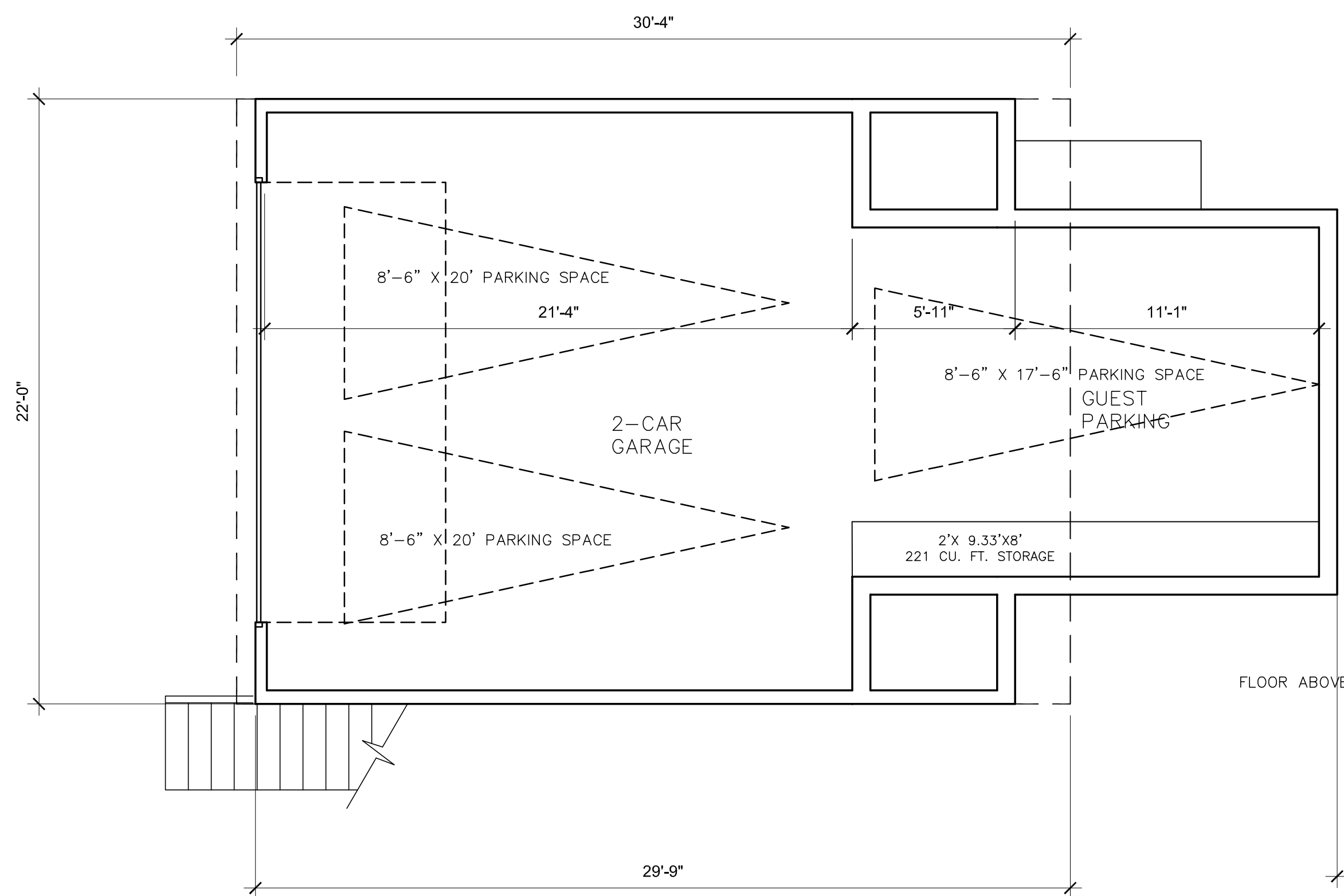




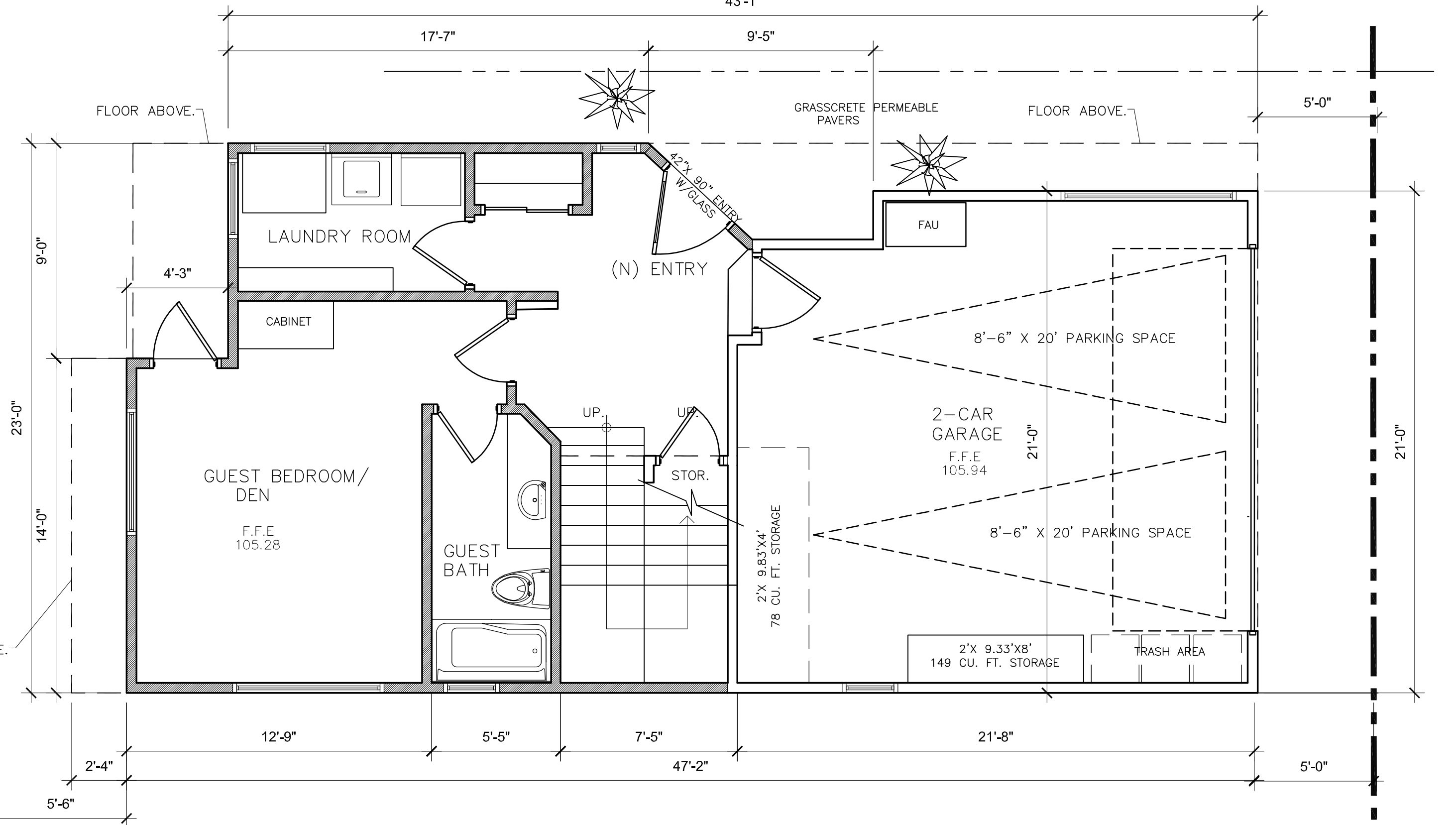
SECOND FLOOR PLAN



SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN



SCALE: 1/4" = 1'-0"

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SHEET TITLE:

FLOOR PLANS

DATE: 3-30-15

BY: C. GOLFIN

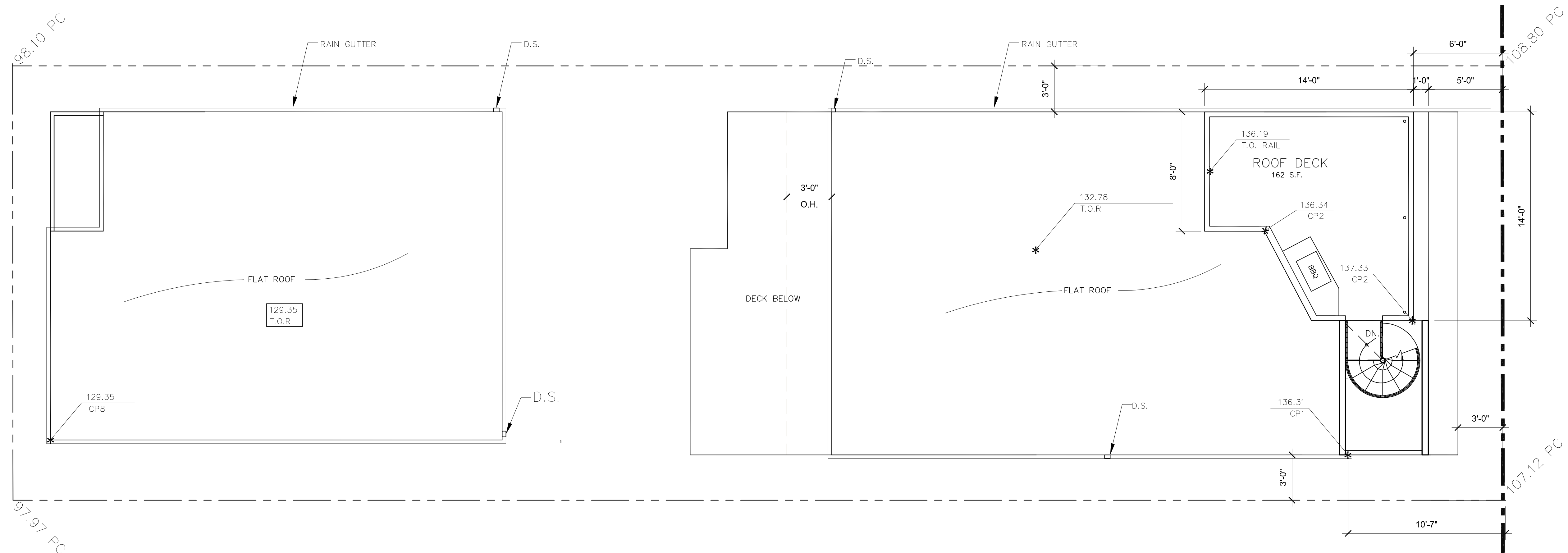
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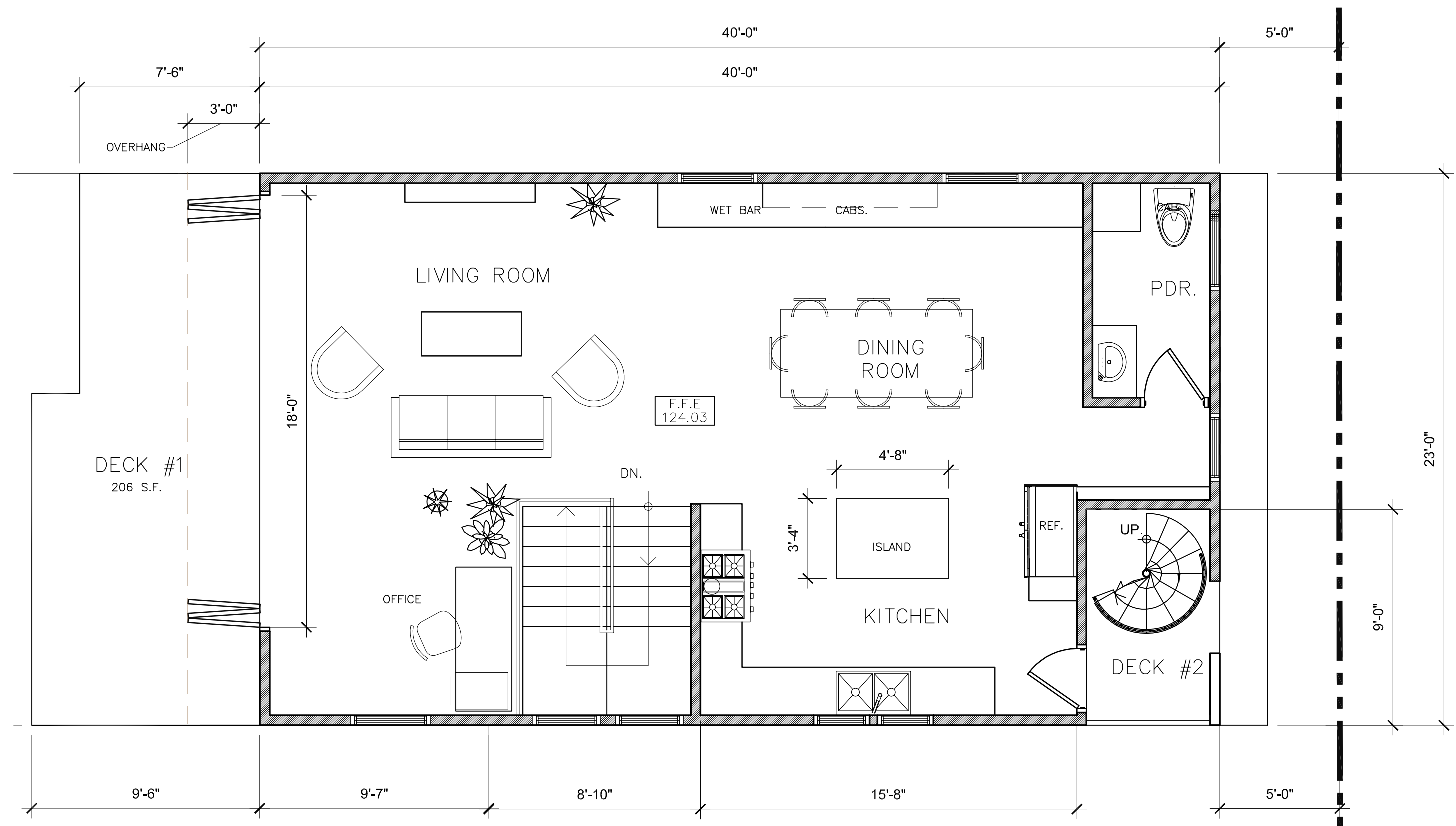
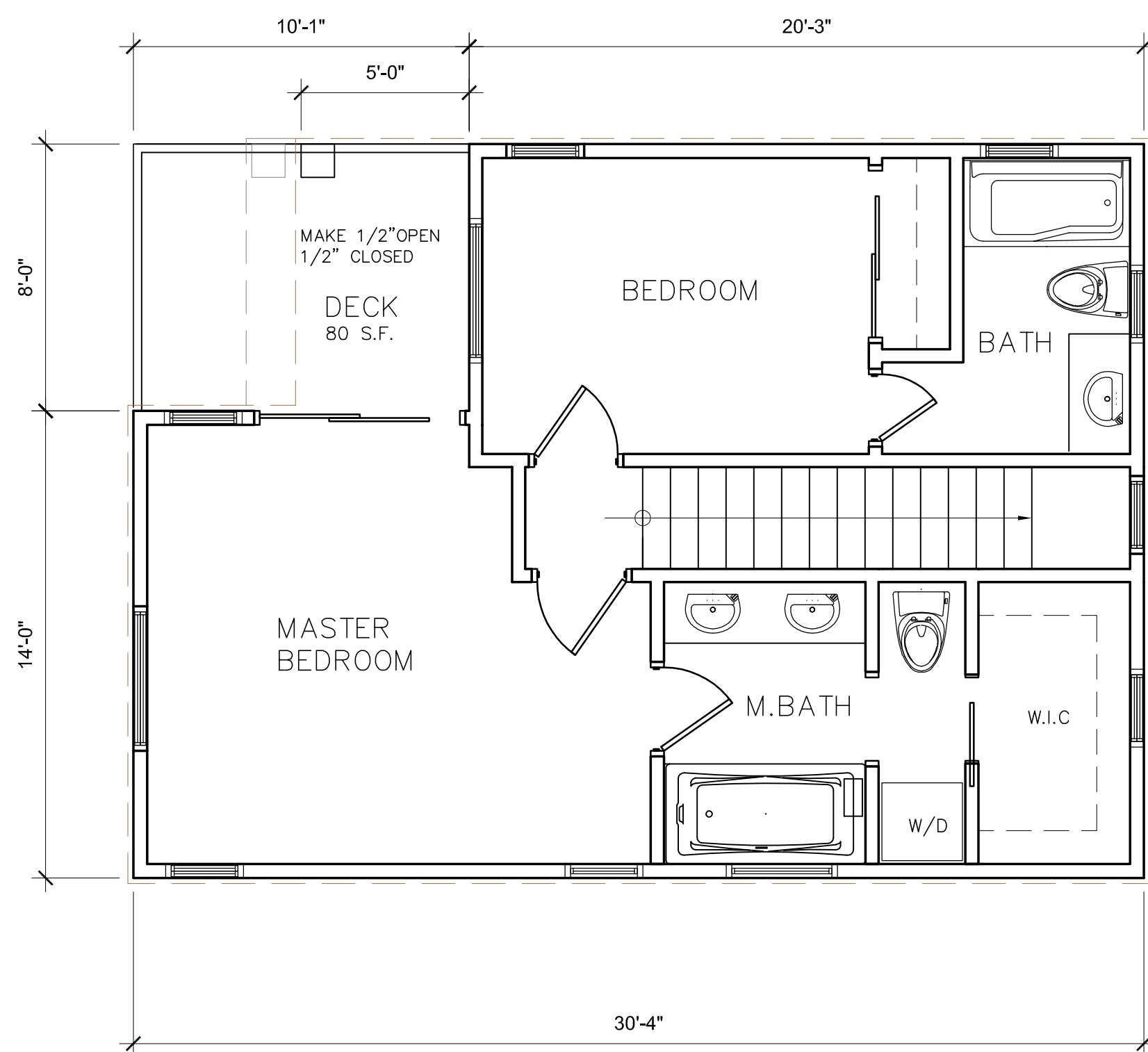
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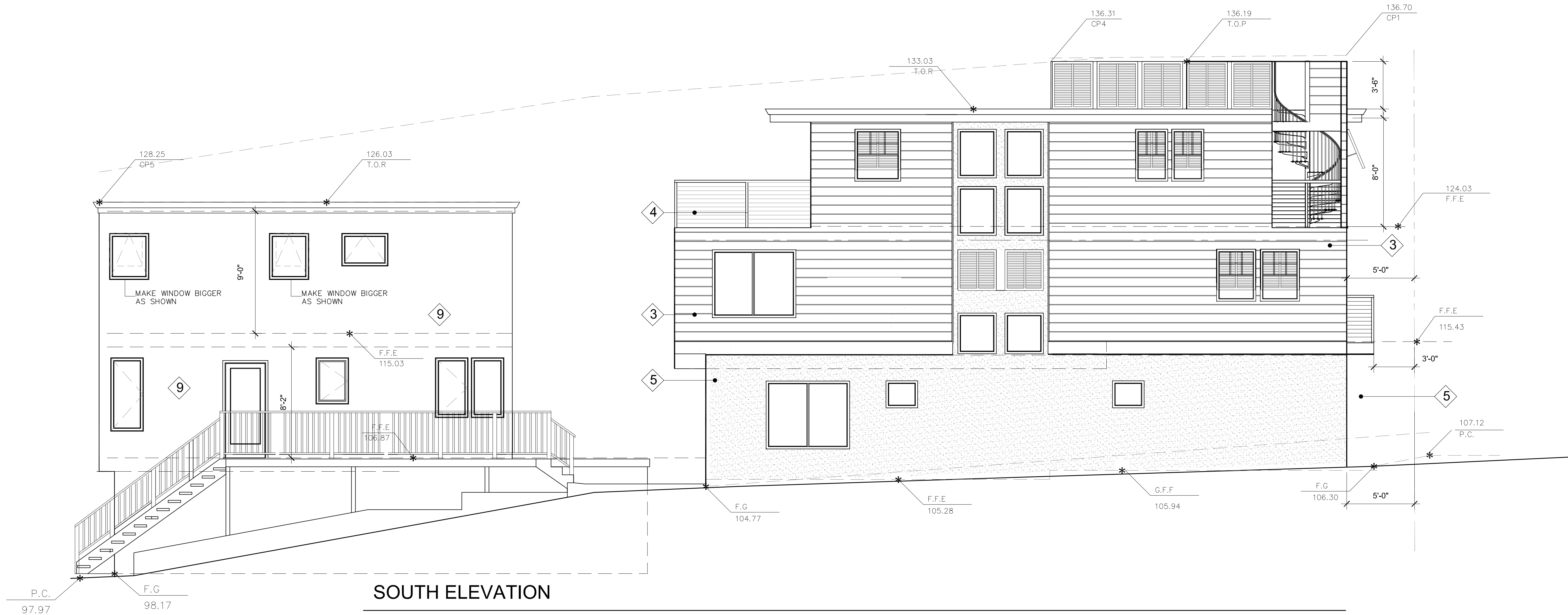




SCALE: 1/4" = 1'-0"







SOUTH ELEVATION

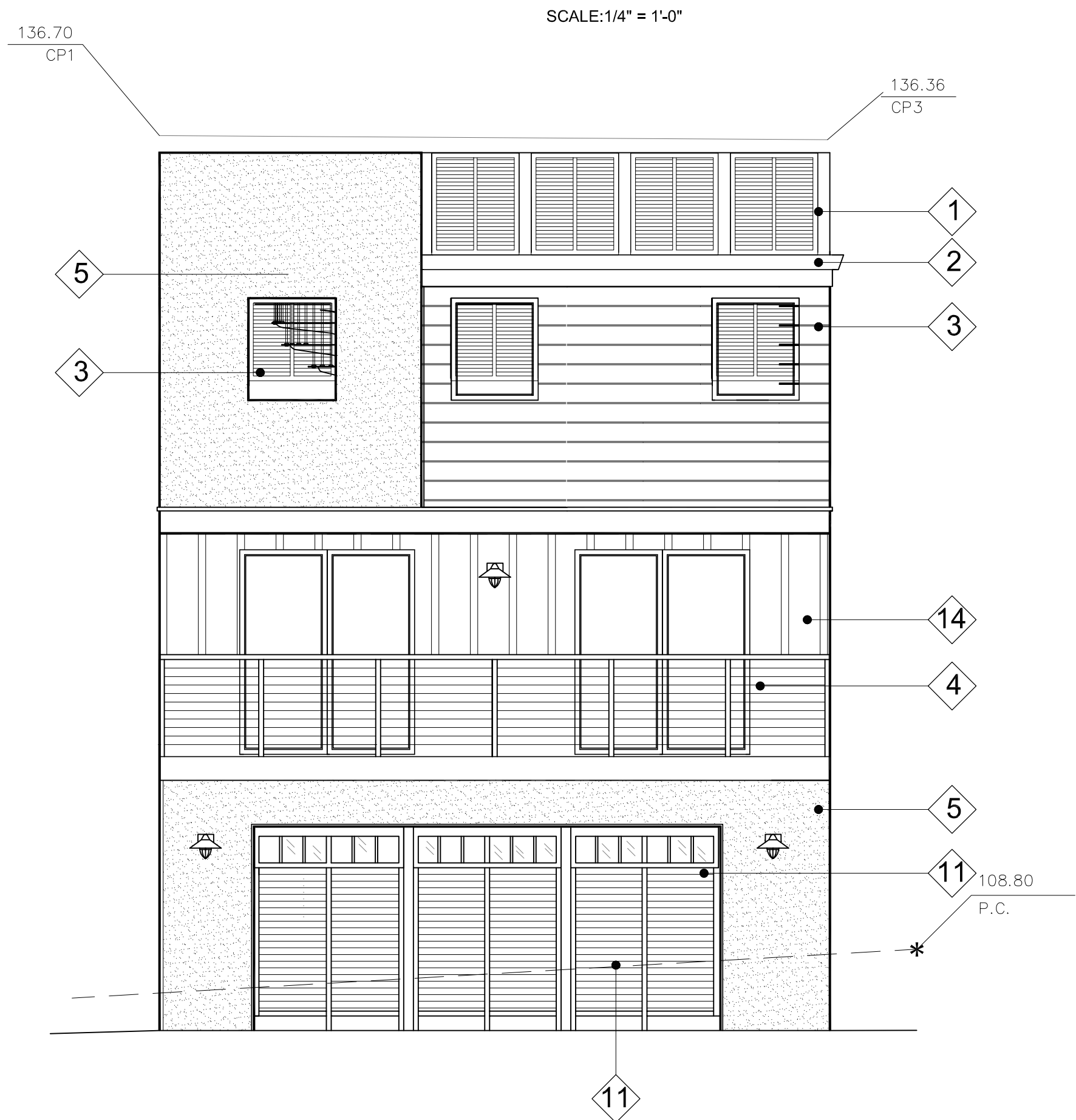


EAST ELEVATION (1460)

SCALE:1/4" = 1'-0"

Key notes:

1. STAINED DECORATIVE WOOD SHUTTERS (DARK STAIN)
2. RAIN GUTTER
3. COMPOSITE HARDY SIDING (PAINTED WHITE)
4. CABLE GUARDRAIL 42" HT.
5. 7/8" STUCCO (SMOOTH) PAINTED WHITE
6. SPARE
7. DECORATING EXPOSED WOOD (MATCH SHUTTER COLOR)
8. WOOD TRIM (PAINT WHITE)
9. (E) SMOOTH STUCCO (PAINT LIGHT GREY)
10. (E) FURR OUT APPLY RECLAIMED WOOD
11. (N) DECORATIVE DARK WOOD GARAGE DOOR
12. (N) STONE VENEER (PER OWNER)
13. LINE OF NEW 6' FENCE
14. BOARD & BATTEN



EAST ELEVATION (1461 MONTEREY)

SCALE:1/4" = 1'-0"

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SHEET TITLE:

FLOOR PLANS/  
EXTERIOR  
ELEVATIONS

DATE: 3-30-15

BY: C.GOLFIN

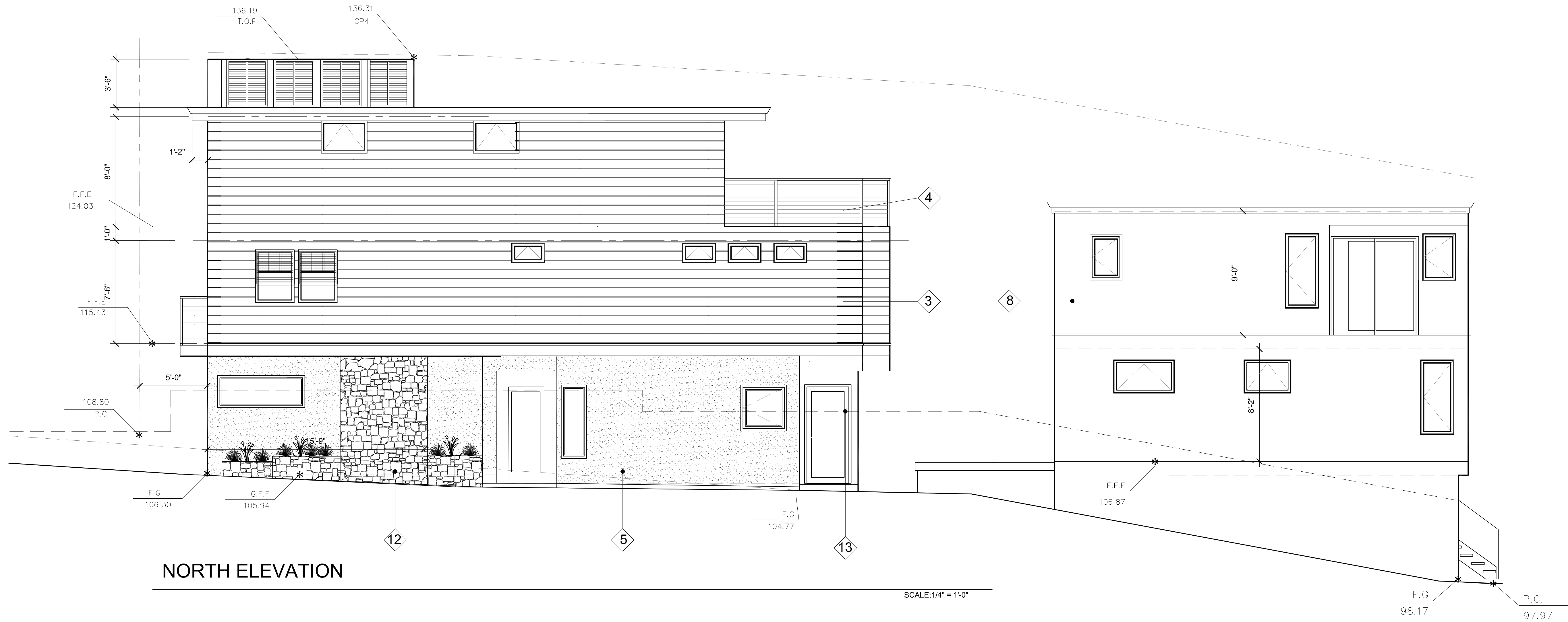
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SCALE: AS NOTED

SHEET NO.

A3





NORTH ELEVATION

SCALE: 1/4" = 1'-0"

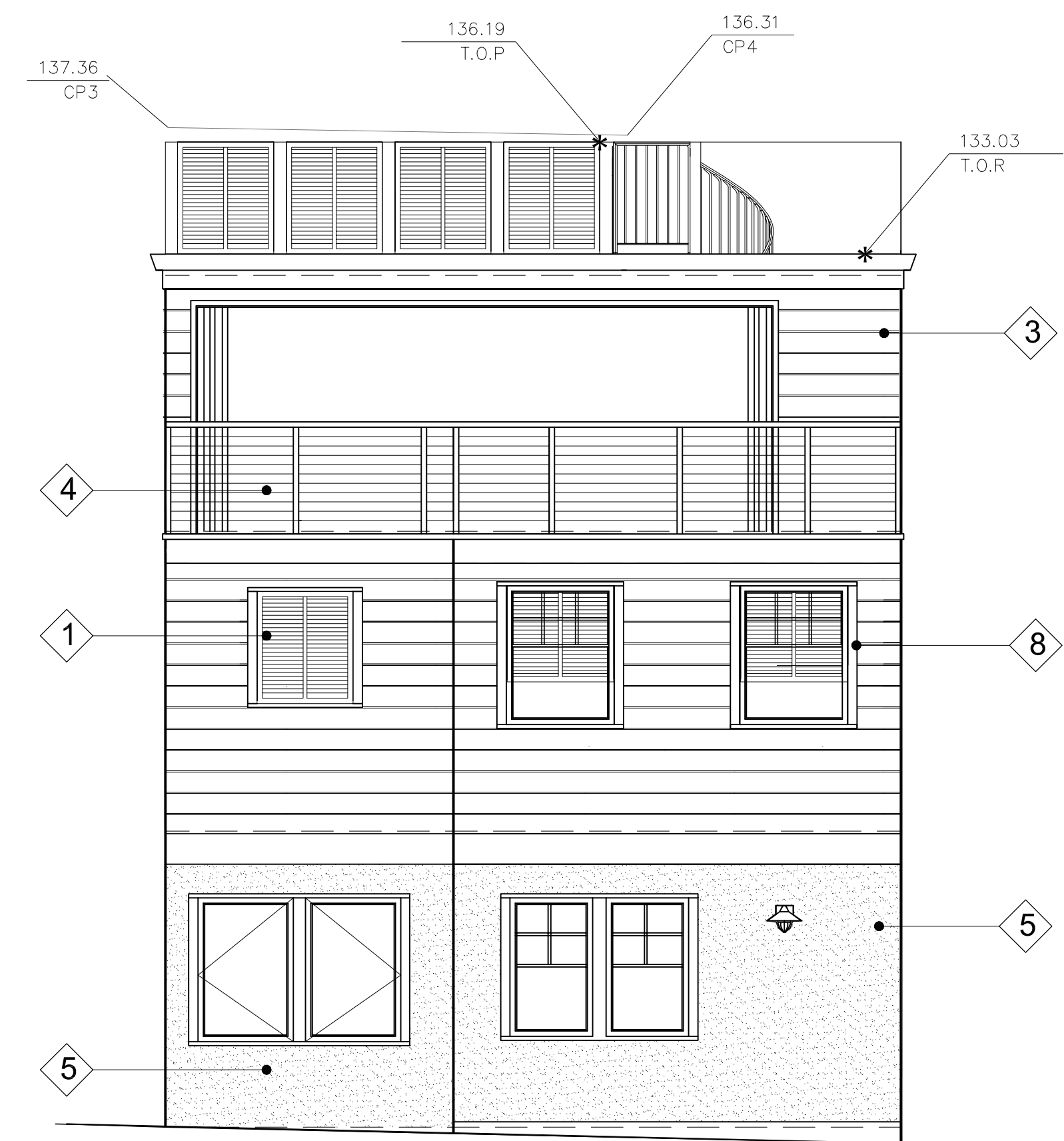


WEST ELEVATION (1460)

SCALE: 1/4" = 1'-0"

### Key notes:

1. STAINED DECORATIVE WOOD SHUTTERS (DARK STAIN)
2. RAIN GUTTER
3. COMPOSITE HARDY SIDING (PAINTED WHITE)
4. CABLE GUARDRAIL 42" HT.
5. 7/8" STUCCO (SMOOTH) PAINTED WHITE
6. SPARE
7. DECORATING EXPOSED WOOD (MATCH SHUTTER COLOR)
8. WOOD TRIM (PAINT WHITE)
9. (E) SMOOTH STUCCO (PAINT LIGHT GREY)
10. (E) FURR OUT APPLY RECLAIMED WOOD
11. (N) DECORATIVE DARK WOOD GARAGE DOOR



WEST ELEVATION (1461)

SCALE: 1/4" = 1'-0"

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REVISIONS  
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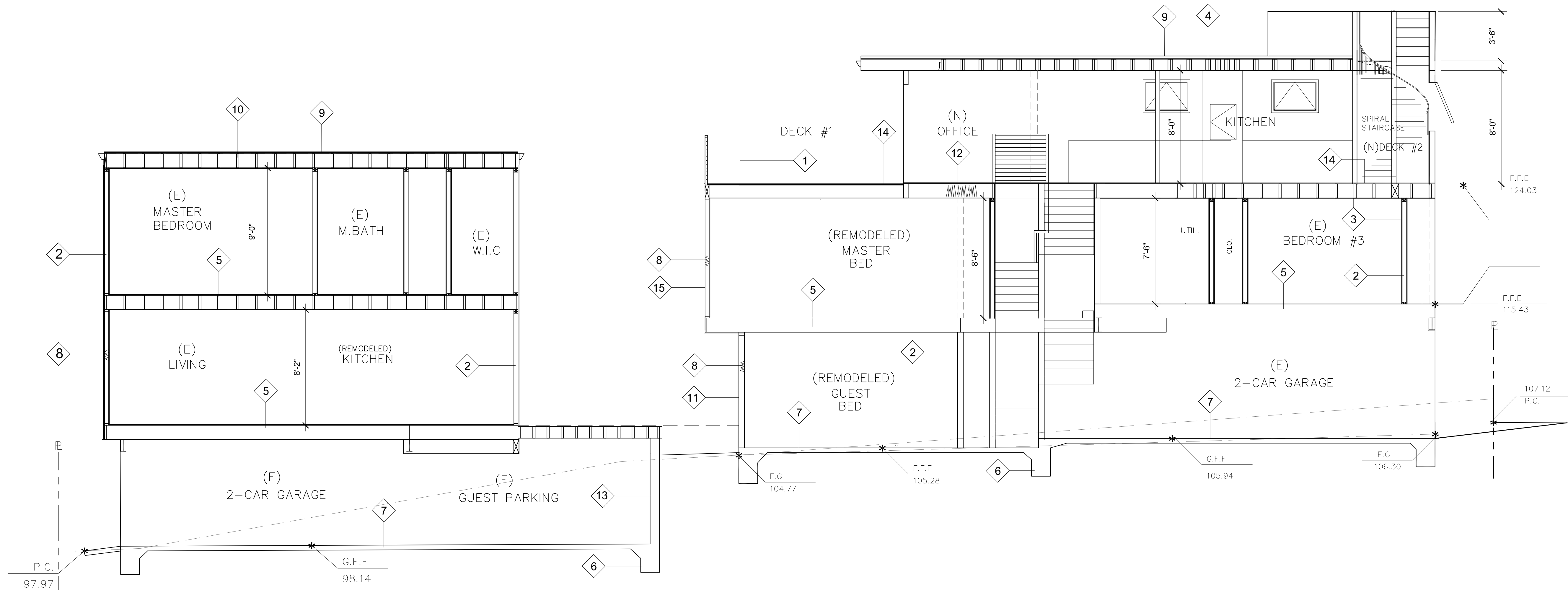
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SHEET TITLE:  
**EXTERIOR  
ELEVATIONS**

DATE: 3-30-15  
BY: C.GOLFIN  
PROJ. #:  
SCALE: AS NOTED

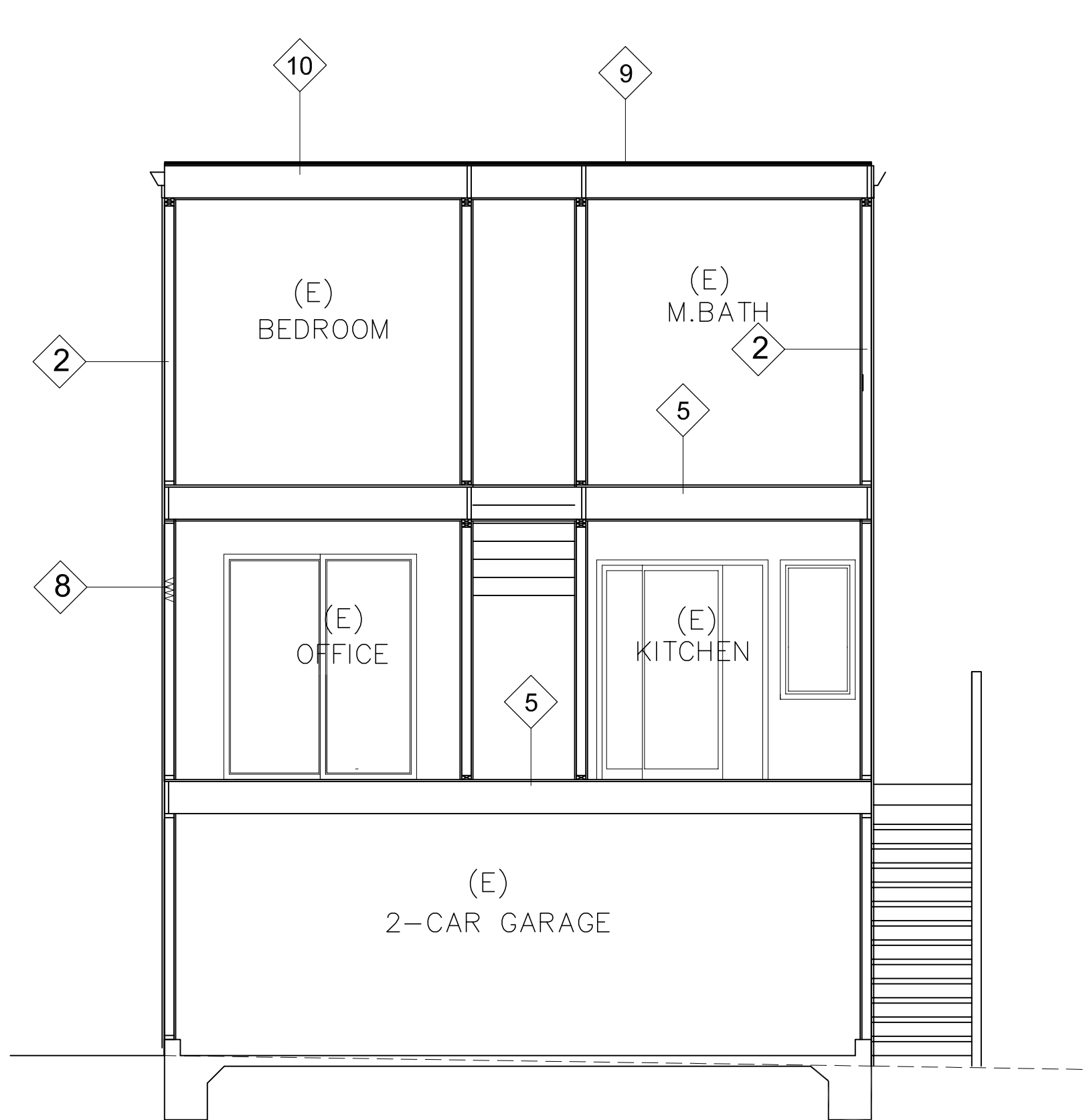
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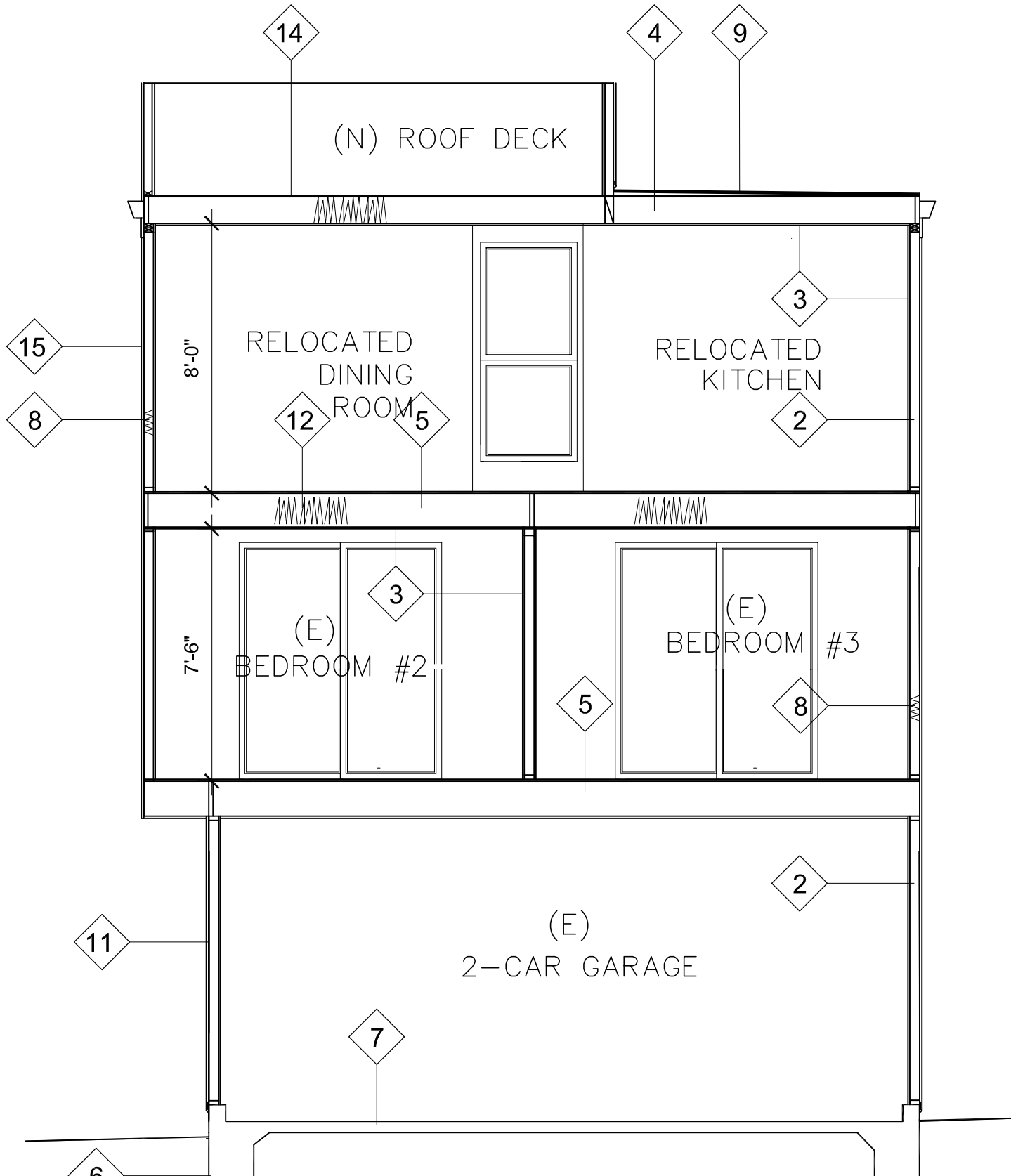
SECTION 'A-A'

SCALE:1/4" = 1'-0"



SECTION 'C-C'

SCALE:1/4" = 1'-0"



SECTION 'B-B'

SCALE:1/4" = 1'-0"

### Key notes

- 42" HIGH CABLE RAILING
- 2X STUD WALL
- 5/8" DRYWALL ON WALLS AND CLG. TYP
- (N) 2X R.R PER STRUCTURAL DWGS.
- (E) 2XFLOOR JOIST @ 16" O.C
- (E) CONCRETE FOOTING
- (E) 4" CONCRETE SLAB
- R-13 INSUL. ON EXT. WALLS (TYP).
- ROLL ROOFING O/ 2 LAYERS OF 19LB FELT O/ 1/2" CDX.
- (E) R.R @ 16" O.C.
- 7.8" STUCCO (SMOOTH)
- R-30 INSUL (TYP).
- (E) RET. CONC. WALL
- (N) DECKING O/ SPACERS O/ WATERPROOFING WATERPROOF DEX-O-REX ICBO #1757
- COMPOSITE HARDY SIDING O/ WATERPROOFING PAPER

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SHEET TITLE:

**BUILDING  
SECTIONS**

DATE: 3-30-15

BY: C.GOLFIN

PROJ. #:

SCALE: AS NOTED

SHEET NO.

**A5**