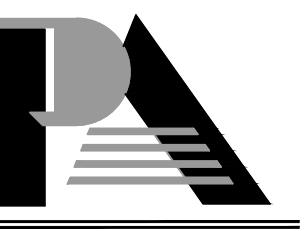


DATE	ISSUE/REVISION
2/9/18	PLANNING
	SUBMITTAL
7/19/19	PLANNING COMMENTS

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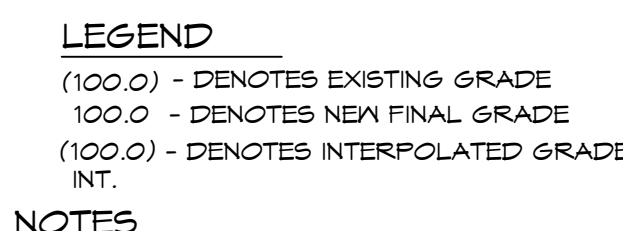
PHOTON



erry Peha, A.I.A

DATE: 10/3/2018
DRAWN: ATR
SHEET NO. 1715
DRAWING TITLE
SITE PLAN

A1.1



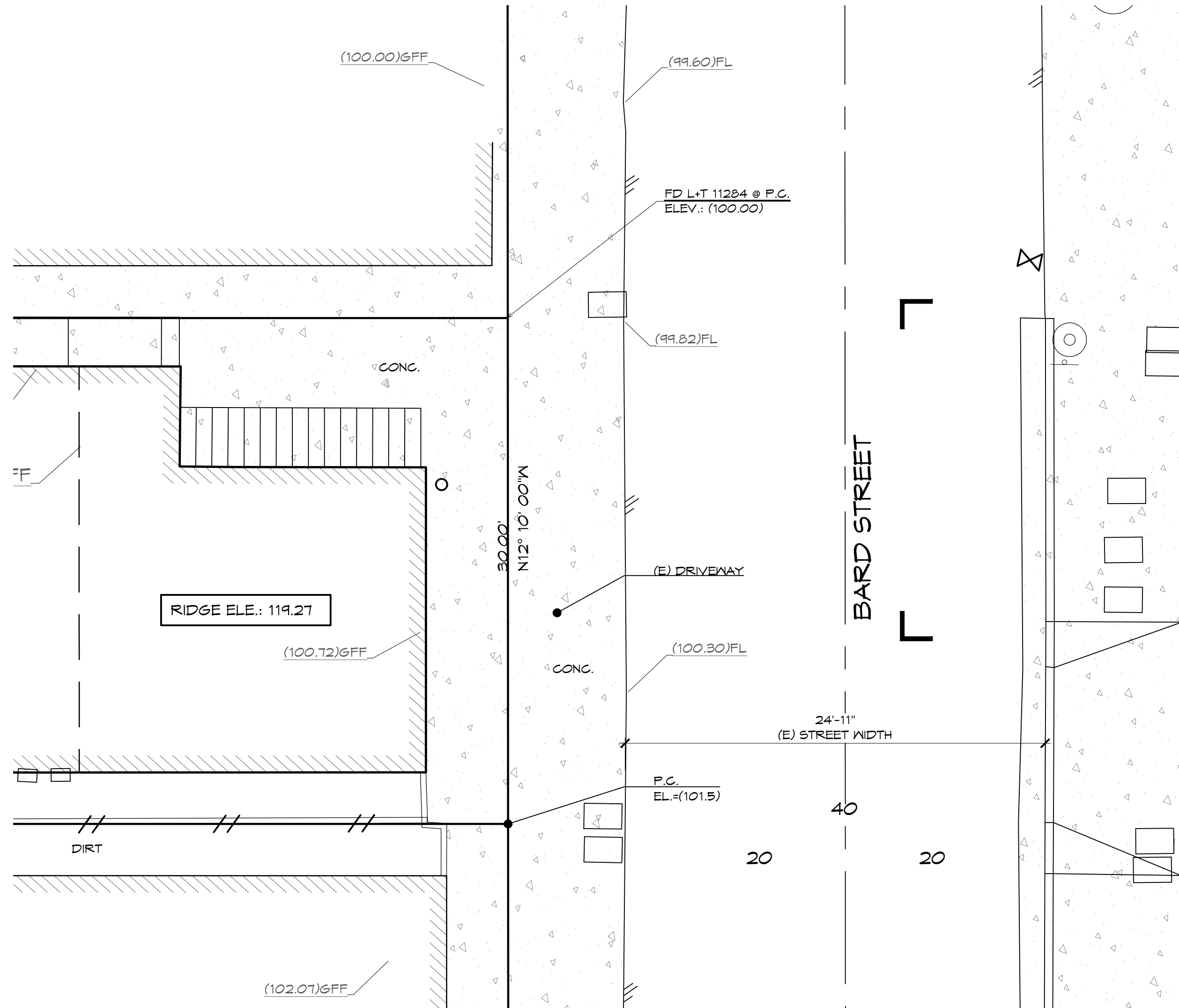
1. CONFIRM ALL HARDSCAPE WITH OWNER PRIOR TO CONSTRUCTION.
2. ALL DRAINAGE TO TERMINATE AT STREET VIA NON-CORROSIVE DEVICE (VIA CURB DRAIN) PER HEMC.
3. CONTRACTOR SHALL COMPLY WITH SECTION 3303 OF CBC AND RB18.2 OF THE CRC REGARDING THE PROTECTION OF PEDESTRIANS DURING CONSTRUCTION.
4. BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE VISIBLE FROM THE LEGAL FRONT OF THE STREET FROM THE OFFICE OF THE CRC.
5. ALL MECHANICAL EQUIPMENT SUCH AS GAS METERS, ELECTRICAL METERS, A/C UNITS OR STUB OUTS OR RAIN BARRELS MUST BE LOCATED OUTSIDE OF ALL REQUIRED SETBACK YARDS.
6. ON JANUARY 22, 2018 THE COMMUNITY DEVELOPMENT DIRECTOR FOUND A SIGNIFICANT VARIATION IN ELEVATIONS AT THE NORTHWEST AND SOUTHWEST PROPERTY CORNERS AND APPROVED THE USE OF ALTERNATIVE POINTS (#4.7 AND #5.3)



 HATCH DENOTES AREA OPEN TO SKY

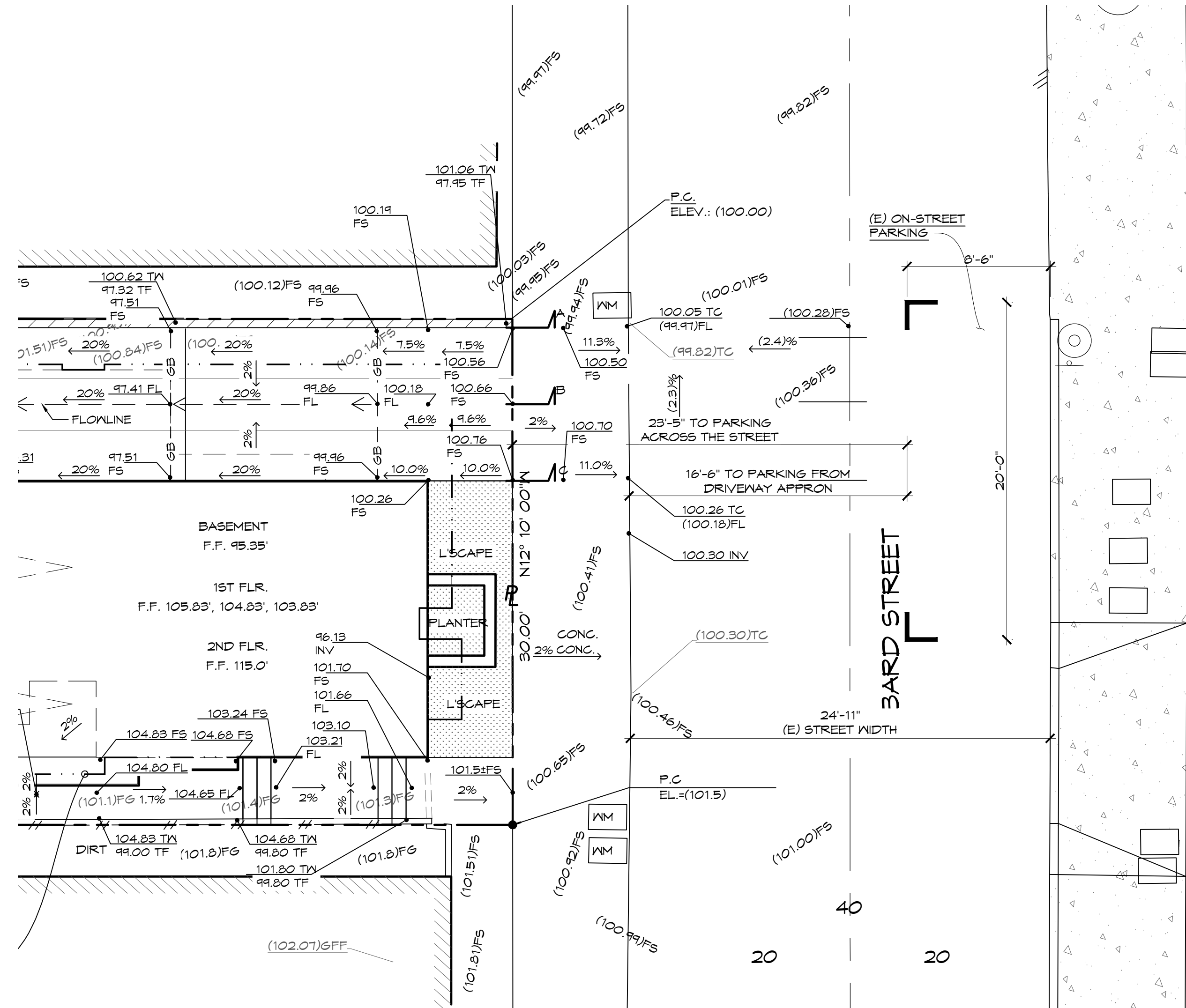
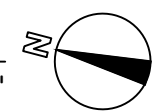
 DENOTES LOT COVERED AREA





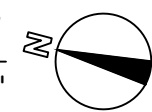
EXISTING ON STREET PARKING

3/16" = 1'-0"



PROPOSED ON STREET PARKING

3/16" = 1'-0"



LEGEND

- (100.0) - DENOTES EXISTING GRADE
- 100.0 - DENOTES NEW FINAL GRADE
- (100.0) - DENOTES INTERPOLATED GRADE

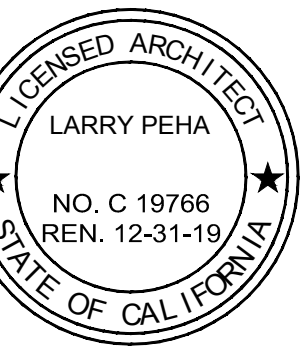


EXISTING STREET PARKING

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DATE: 10/24/15
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2/17/19 PLANNING COMMENTS

NEW TWO UNIT CONDOS FOR:
LEIGHTON LLC
847 BARD STREET



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DATE: 10/3/2018

DRAWN: ATR

JOB NO. 1715

DRAWING TITLE

EXISTING AND
PROPOSED
STREET PARKING

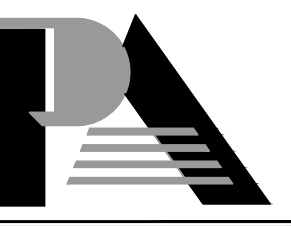
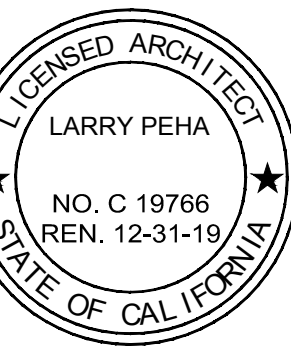
DRAWING NUMBER

A1.2

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NEW TWO UNIT CONDOS FOR:
LEIGHTON LLC
847 BARD STREET



PEHA & ASSOCIATES
ARCHITECTURE

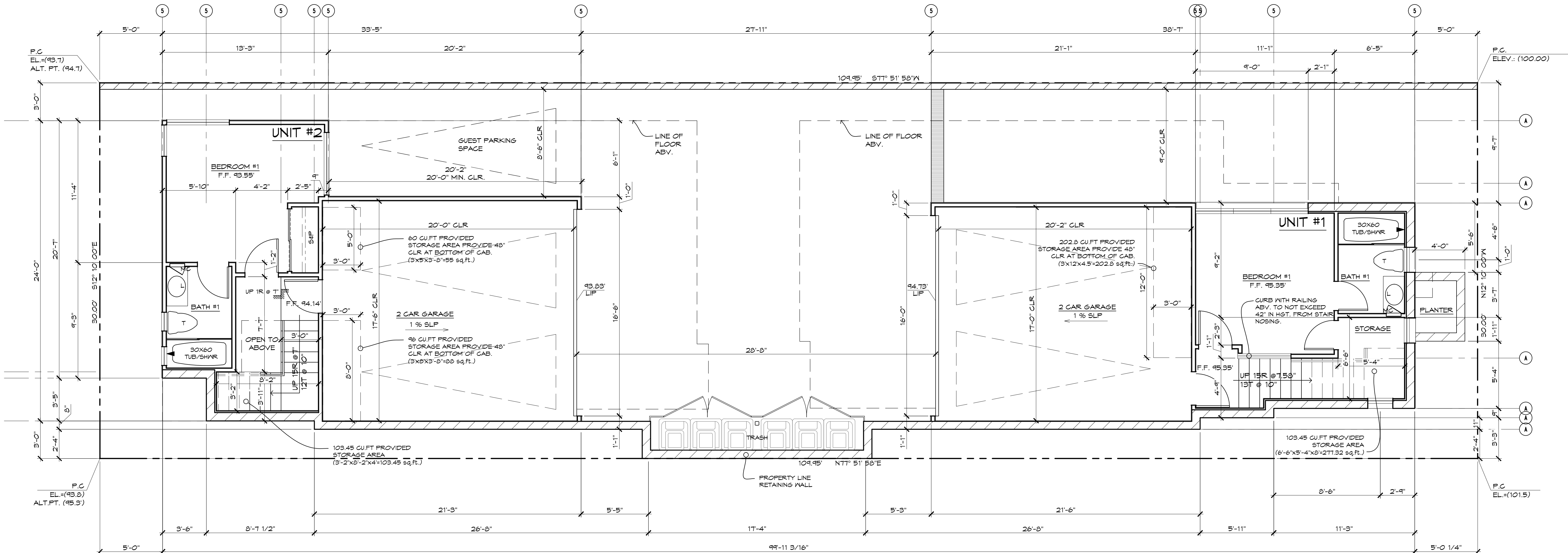
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DATE: 10/3/2018
DRAWN: ATR
JOB NO. 1715
DRAWING TITLE
GARAGE
BASEMENT PLAN

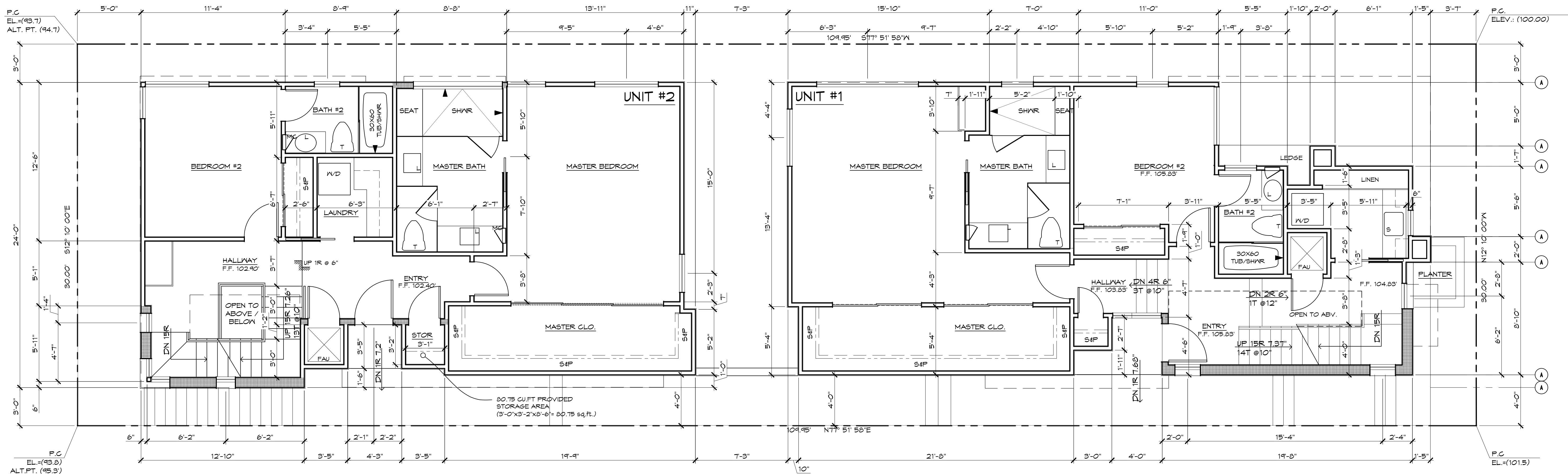
DRAWING NUMBER

A2.1



GARAGE / BASEMENT FLOOR PLAN
1/4" = 1'-0"

LEGEND
2 X 4 STUD WALL
8" P.I.P. CONC. WALL



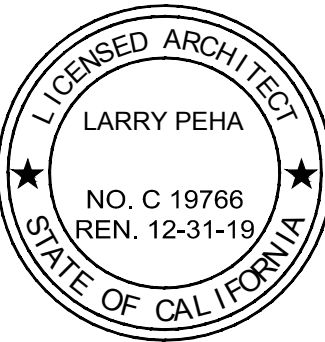
FIRST FLOOR PLAN
1/4" = 1'-0"

- LEGEND
- 2 x 4 STUD WALL
 - 2 x 6 STUD WALL
 - 2 x 10 STUD WALL

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2/17/19	PLANNING COMMENTS

NEW TWO UNIT CONDOS FOR:
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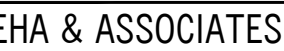
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DATE: 10/3/2018
DRAWN: ATR
JOB NO. 1715
DRAWING TITLE
FIRST FLOOR PLAN

DRAWING NUMBER
A2.2

DATE	ISSUE/REVISION
2/29/18	PLANNING SUBMITTAL
7/19/19	PLANNING COMMENT



erry Peha, A.I.A

DATE: 10/3/2018

RAWN: ATR

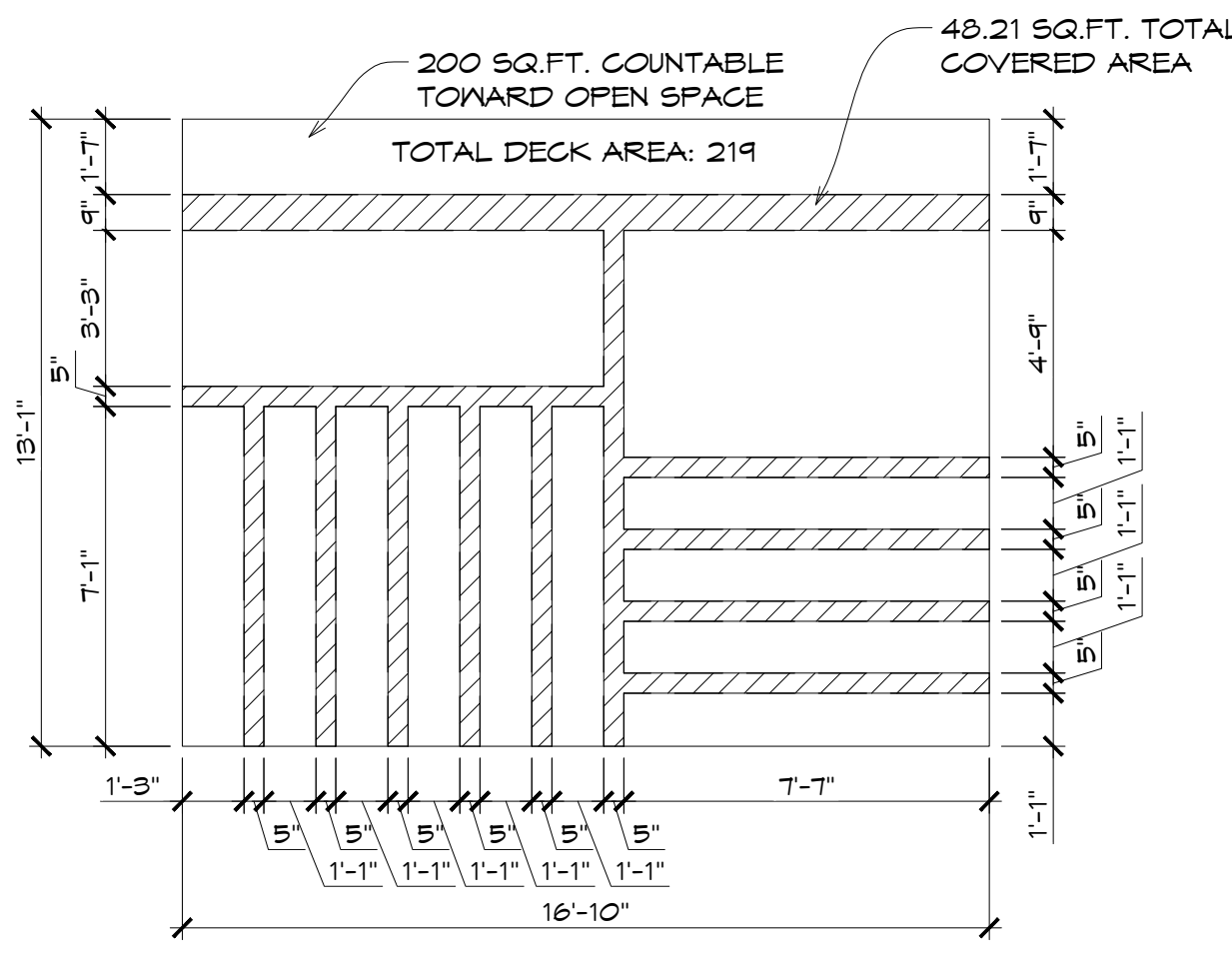
B NO. 1715

DRAWING TITLE




SECOND FLOOR

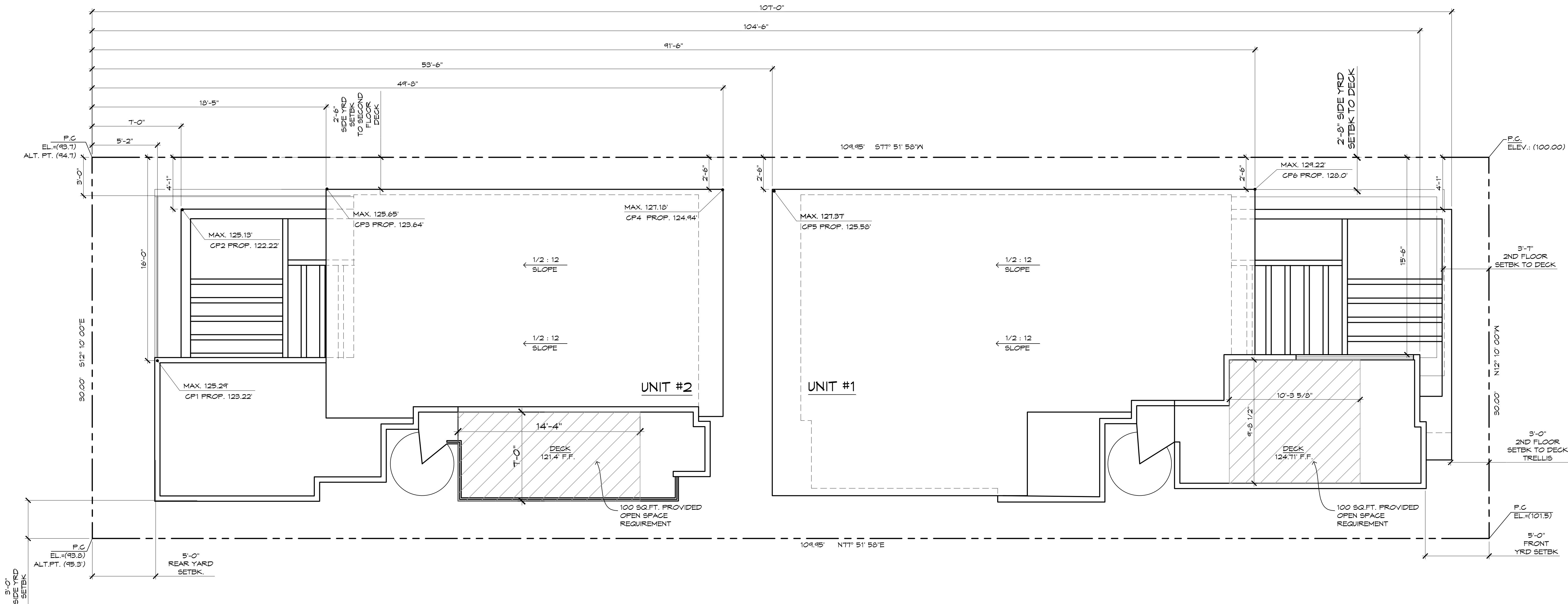
DRAWING NUMBER

A2.3



$1/4" = 1'-0"$

 2 x 4 STUD WALL
 2 x 6 STUD WALL
 2 x 8 STUD WALL
 2 x 10 STUD WALL



HEIGHT CALCULATION

Elev. Pt. A	94.7	
Elev. Pt. B	100	
Length A-B	109.95	
Length A-A'	5.1667	
Elev. AB'	94.9492642	
Elev. Pt. C	95.3	
Elev. Pt. D	101.5	
Length C-D	109.95	
Length C-C'	5.1667	
Elev. CD'	95.5913464	
Length AB'-CD'	30	
Length AB'-CP1	16	
Elev. CP1	95.2916101	
Height Limit	30	
Max. Ht. @ CP1:	125.29	
Proposed Ht @ CP1:		

Elev. Pt. A	94.7	
Elev. Pt. B	100	
Length A-B	109.95	
Length A-A'	18.4167	
Elev. AB'	95.5977526	
Elev. Pt. C	95.3	
Elev. Pt. D	101.5	
Length C-D	109.95	
Length C-C'	18.4167	
Elev. CD'	96.3385242	
Length AB'-CD'	30	
Length AB'-CP1	2.5	
Elev. CP1	95.6923162	
Height Limit	30	
Max. Ht. @ CP3:	125.65	
Proposed Ht @ CP3:		

Elev. Pt. A	94.7	
Elev. Pt. B	100	
Length A-B	109.95	
Length A-A'	7	
Elev. AB'	95.0374261	
Elev. Pt. C	95.3	
Elev. Pt. D	101.5	
Length C-D	109.95	
Length C-C'	7	
Elev. CD'	95.6947249	
Length AB'-CD'	30	
Length AB'-CP1	4.0833	
Elev. CP1	95.126891	
Height Limit	30	
Max. Ht. @ CP2:	125.13	
Proposed Ht @ CP2:		

Elev. Pt. A	94.7	
Elev. Pt. B	100	
Length A-B	109.95	
Length A-A'	49.667	
Elev. AB'	97.0941348	
Elev. Pt. C	95.3	
Elev. Pt. D	101.5	
Length C-D	109.95	
Length C-C'	49.667	
Elev. CD'	98.1006859	
Length AB'-CD'	30	
Length AB'-CP1	2.5	
Elev. CP1	97.1780139	
Height Limit	30	
Max. Ht. @ CP4:	127.18	
Proposed Ht @ CP4:		

Elev. Pt. A	94.7	
Elev. Pt. B	100	
Length A-B	109.95	
Length A-A'	53.5	
Elev. AB'	97.2768995	
Elev. Pt. C	95.3	
Elev. Pt. D	101.5	
Length C-D	109.95	
Length C-C'	53.5	
Elev. CD'	98.3168258	
Length AB'-CD'	30	
Length AB'-CP5	2.5	
Elev. CP5	97.9653934	
Height Limit	30	
Max. Ht. @ CP5:	127.37	
Proposed Ht @ CP5:		

Elev. Pt. A	94.7	
Elev. Pt. B	100	
Length A-B	109.95	
Length A-A'	104.5	
Elev. AB'	98.7372897	
Elev. Pt. C	95.3	
Elev. Pt. D	101.5	
Length C-D	109.95	
Length C-C'	104.5	
Elev. CD'	101.192678	
Length AB'-CD'	30	
Length AB'-CP7	15.5	
Elev. CP7	100.488241	
Height Limit	30	
Max. Ht. @ CP7:	130.49	
Proposed Ht @ CP7:		

Elev. Pt. A	94.7	
Elev. Pt. B	100	
Length A-B	109.95	
Length A-A'	91.5	
Elev. AB'	99.1106412	
Elev. Pt. C	95.3	
Elev. Pt. D	101.5	
Length C-D	109.95	
Length C-C'	91.5	
Elev. CD'	100.459618	
Length AB'-CD'	30	
Length AB'-CP6	2.5	
Elev. CP6	99.2232559	
Height Limit	30	
Max. Ht. @ CP6:	129.22	
Proposed Ht @ CP6:		

Elev. Pt. A	94.7	
Elev. Pt. B	100	
Length A-B	109.95	
Length A-A'	107	
Elev. AB'	99.857799	
Elev. Pt. C	95.3	
Elev. Pt. D	101.5	
Length C-D	109.95	
Length C-C'	107	
Elev. CD'	101.333652	
Length AB'-CD'	30	
Length AB'-CP8	4.0833	
Elev. CP8	100.058677	
Height Limit	30	
Max. Ht. @ CP8:	130.08	
Proposed Ht @ CP8:		

ROOF PLAN

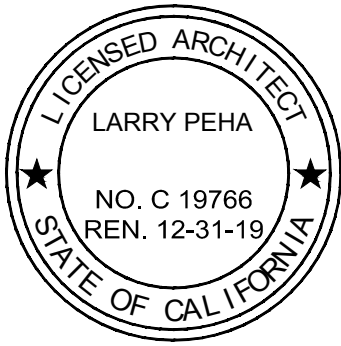
1/4" = 1'-0"

- NOTE:
- DIMENSIONS ON THIS PLAN ARE FOR LOCATING CRITICAL PTS. U.N.O.
 - ON JANUARY 22, 2018 THE COMMUNITY DEVELOPMENT DIRECTOR FOUND A SIGNIFICANT VARIATION IN ELEVATIONS AT THE NORTHWEST AND SOUTHWEST PROPERTY CORNERS AND APPROVED THE USE OF ALTERNATIVE POINTS (94.7 AND 95.3)

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DATE: 10/3/2018
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2/17/19 PLANNING COMMENTS

NEW TWO UNIT CONDOS FOR:
LEIGHTON LLC
847 BARD STREET

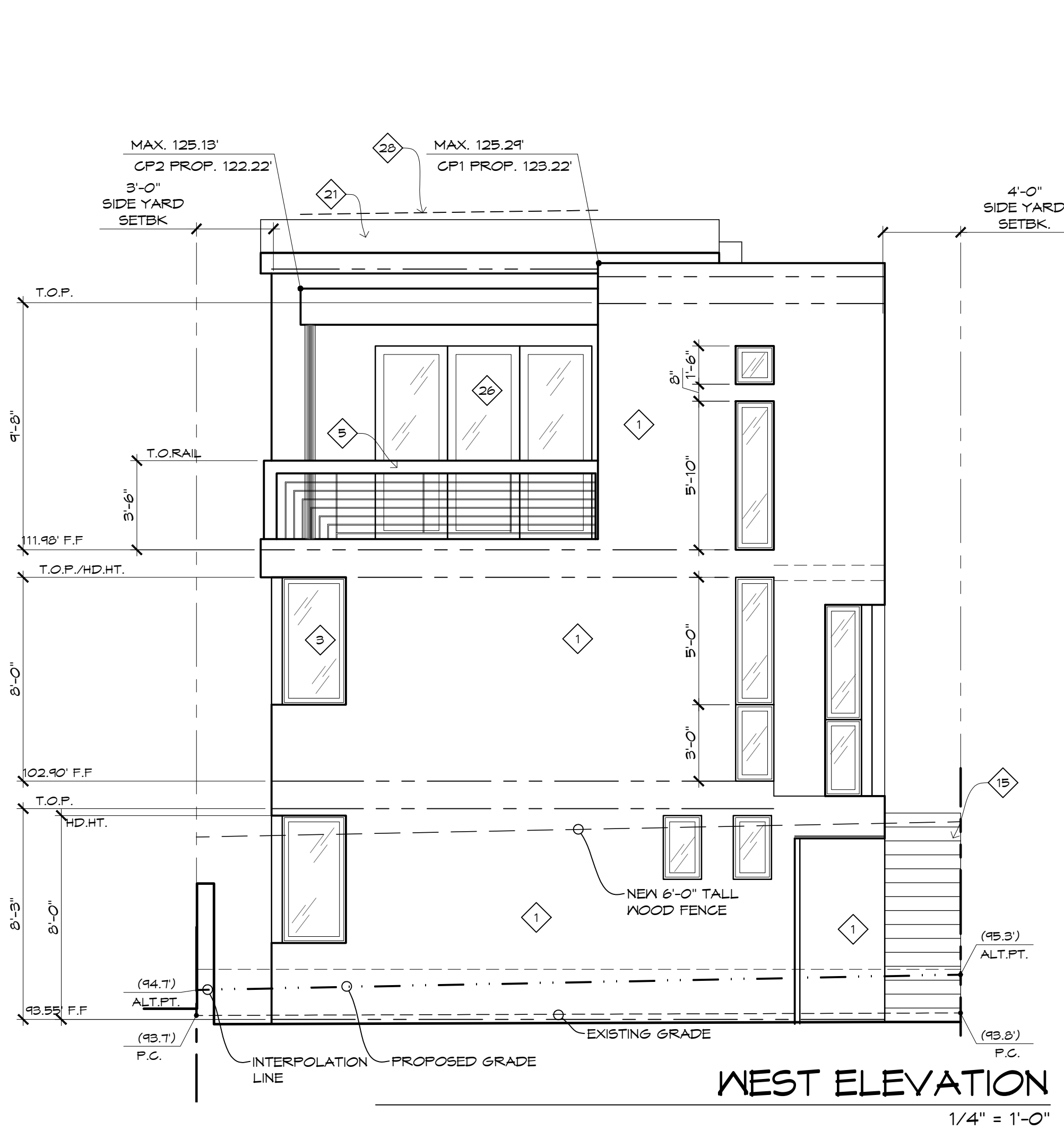


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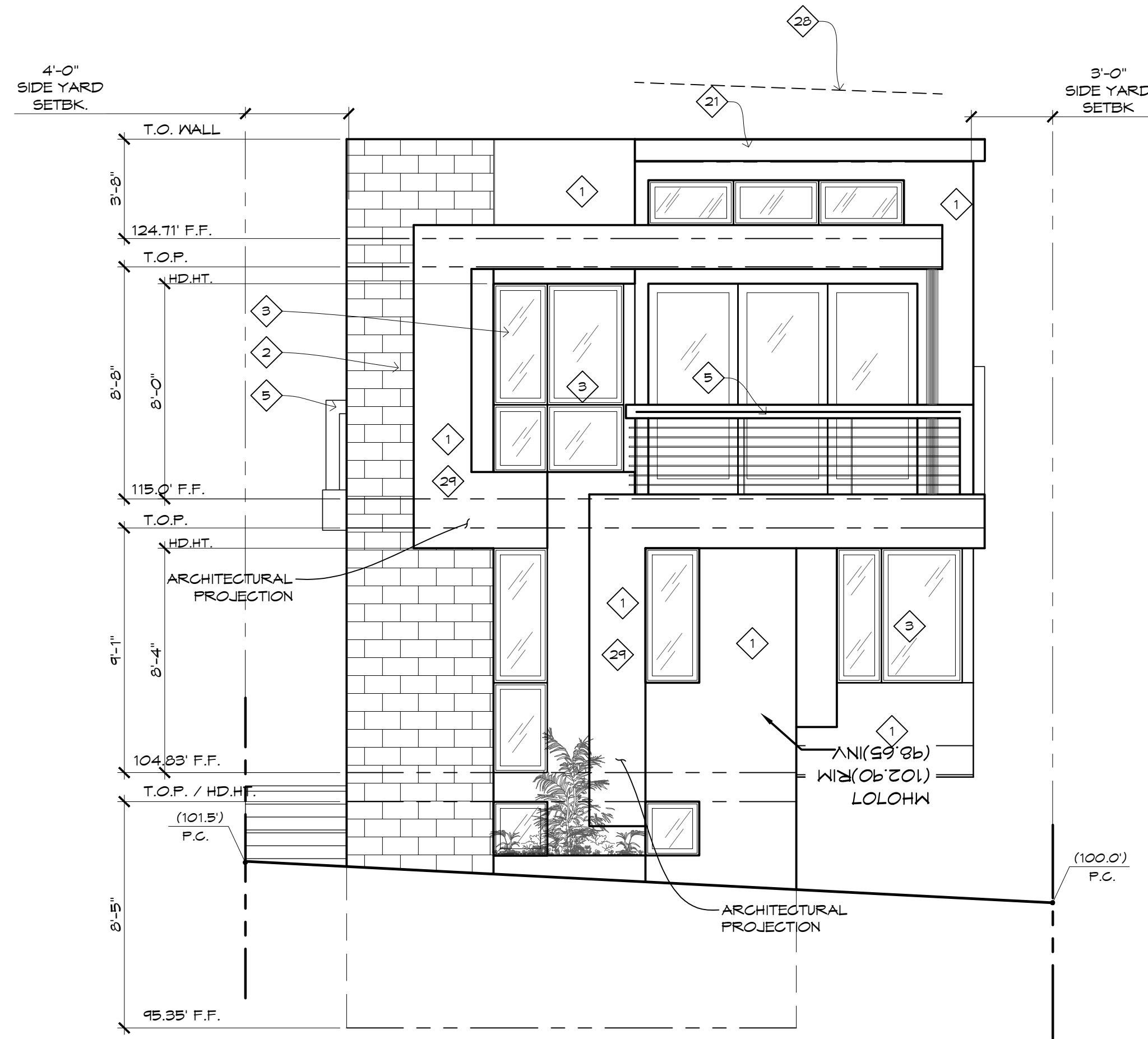
DATE: 10/3/2018
DRAWN: ATR
JOB NO. 1715
DRAWING TITLE
ROOF PLAN

DRAWING NUMBER
A2.4



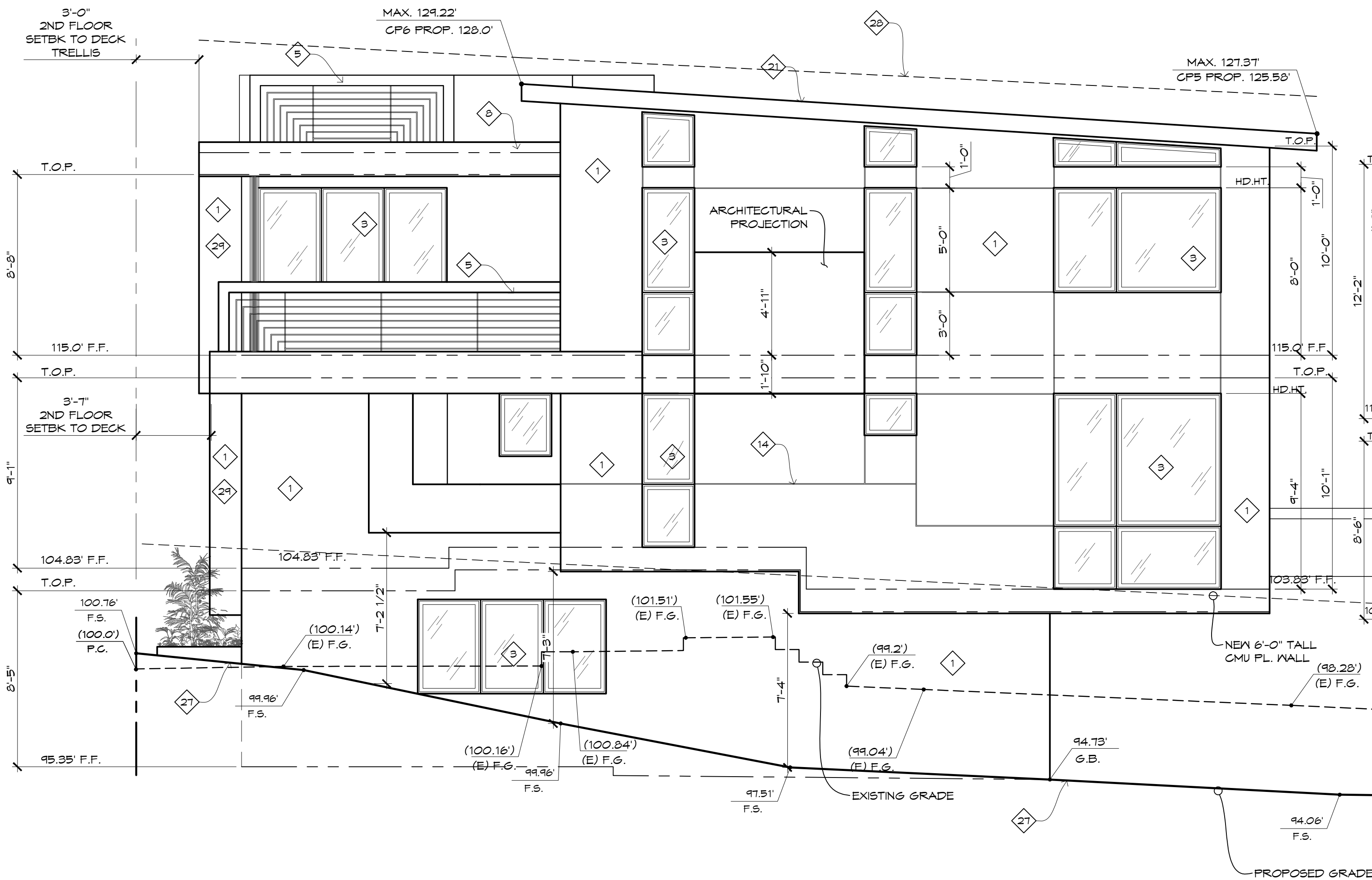
WEST ELEVATION

1/4" = 1'-0"



EAST ELEVATION

1/4" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"

ELEVATION KEYNOTES

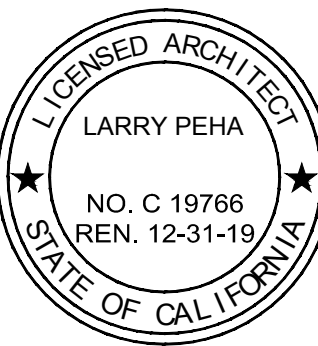
1. EXTERIOR PLASTER FINISH SMOOTH
2. STONE VENEER PER PLAN
3. GLAZING SYSTEM PER PLAN
4. PANEL DOOR SYSTEM
5. RAILING PER PLAN
6. GLASS RAILING
7. ENTRY DOOR
8. TRELLIS
9. ARCHITECTURAL SUPPORT COLUMN
10. SECTIONAL GARAGE DOOR
11. WOOD GATE
12. EXPOSED STAINED WOOD MEMBER
13. GLAZED WOOD POST
14. 1/2" REGLET REVEAL METAL
15. CONCRETE STEPS
16. NEW PROPERTY LINE WALL
17. GAS METER
18. ELECTRIC METER
19. WOOD SIDING ON UNDERSIDE TO MATCH FACE SIDING
20. SPIRAL METAL STAIRS
21. ROOFING PER ROOF SPEC
22. FRENCH DOORS
23. PLASTER ON UNDERSIDE TO MATCH
24. PLASTER WRAPPED TRIM
25. TRASH ENCLOSURE
26. PANEL DOOR SYSTEM PER PLAN
27. DRIVEWAY PER PLAN
28. MAXIMUM HEIGHT LINE
29. BUTTRESS ARCHITECTURAL PROJECTION

NOTE:
ALL WOOD TO BE STAINED/PAINTED
ALL 4 SIDES PRIOR TO INSTALLATION

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DATE: 10/3/2018
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SUBMITTAL: 1
2/17/19 PLANNING COMMENTS: 1

NEW TWO UNIT CONDOS FOR:
LEIGHTON LLC
847 BARD STREET



PEHA & ASSOCIATES
ARCHITECTURE

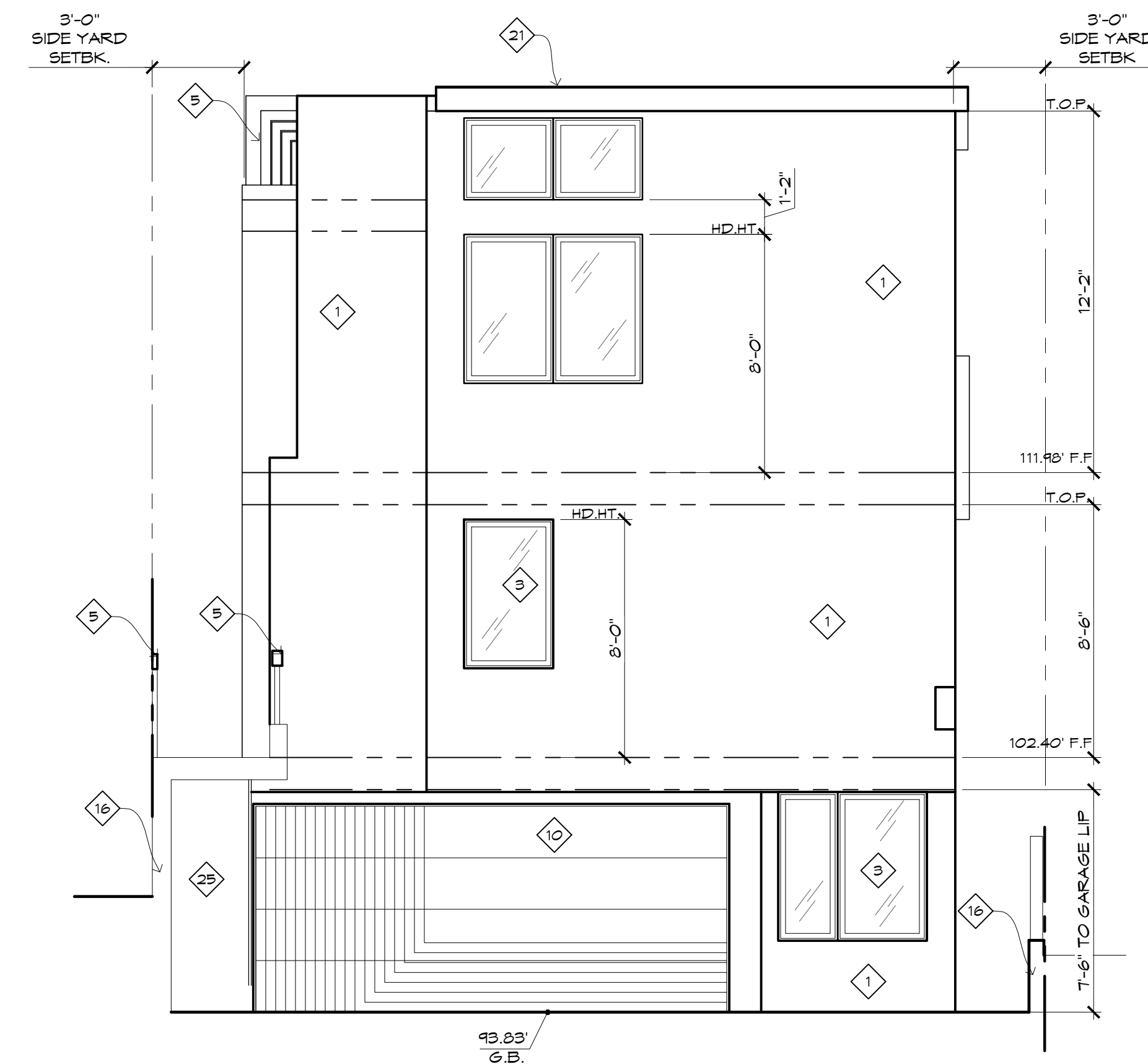
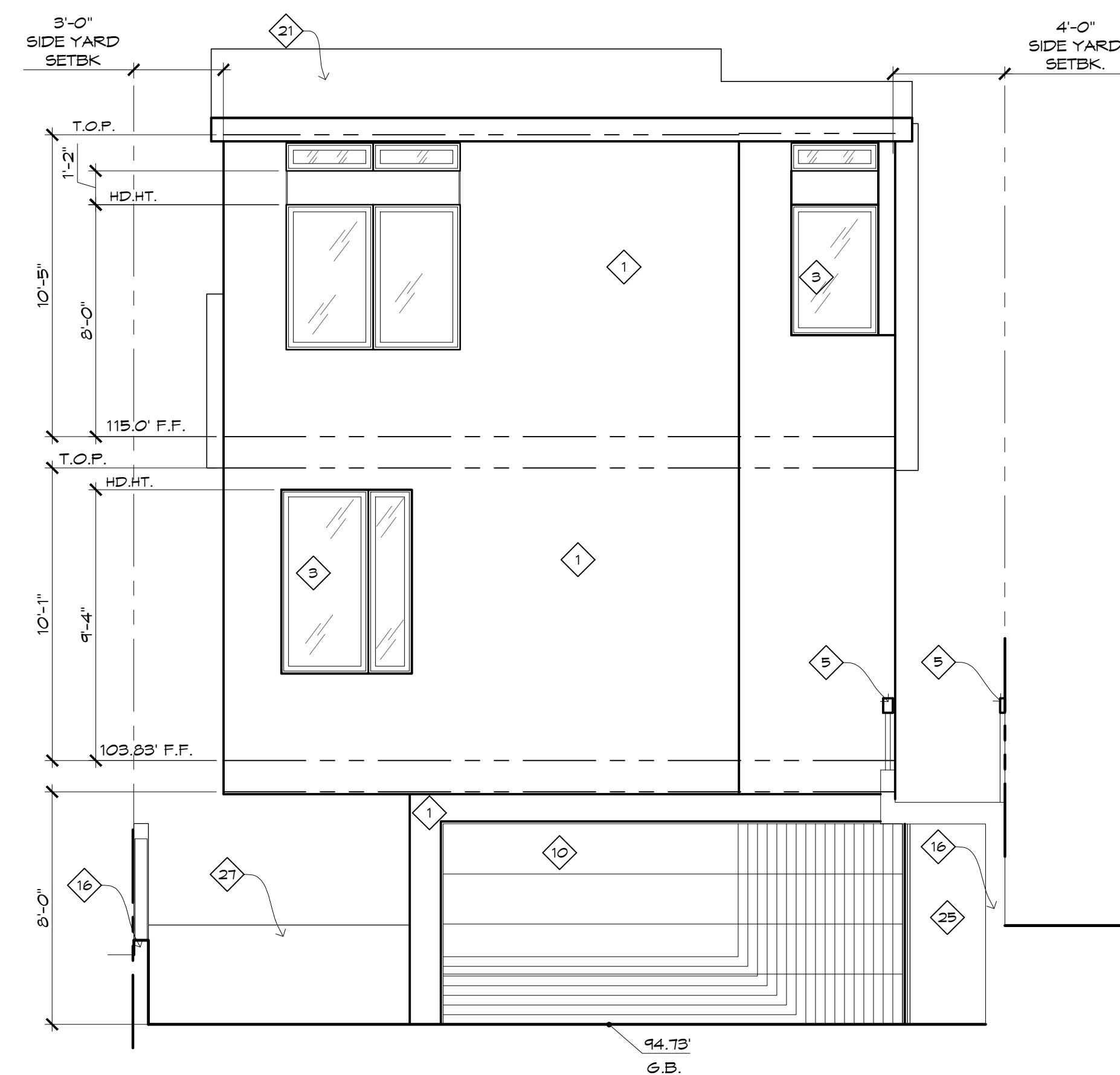
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DATE: 10/3/2018
DRAWN: ATR
JOB NO. 17115
DRAWING TITLE
EXTERIOR ELEVATIONS

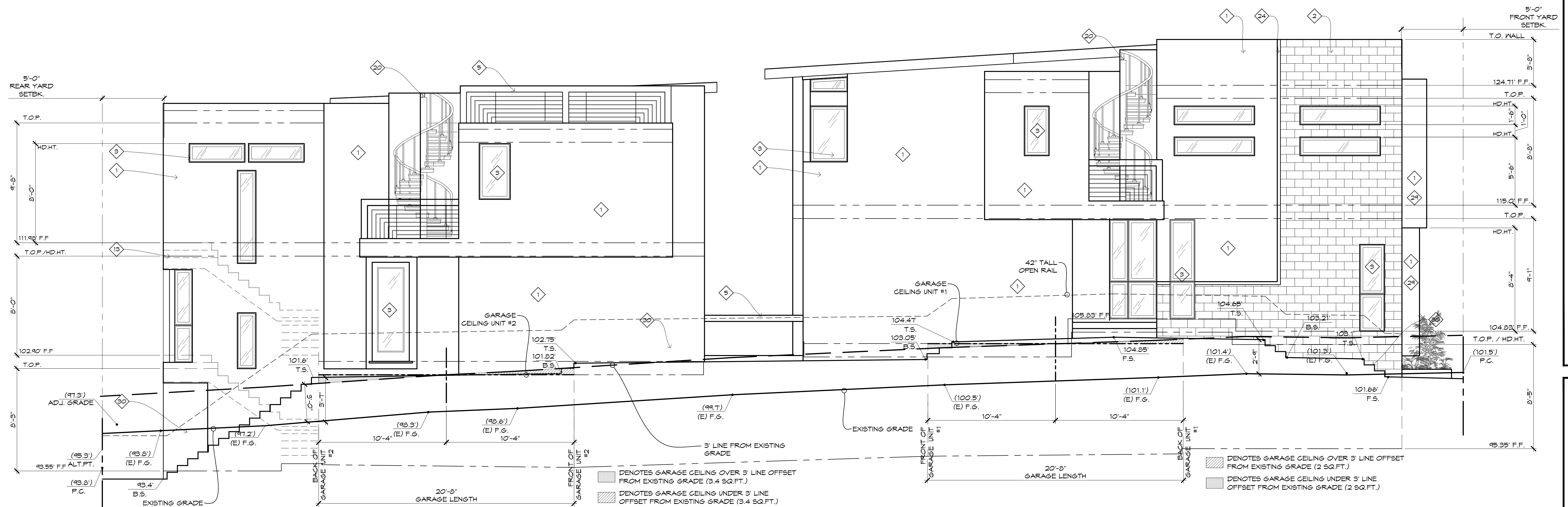
DRAWING NUMBER

A3.1



- # ELEVATION KEYNOTES
-
1. EXTERIOR PLASTER FINISH SMOOTH
 2. STONE VENEER PER PLAN
 3. GLAZING SYSTEM PER PLAN
 4. PANEL DOOR SYSTEM
 5. RAILING PER PLAN
 6. GLASS RAILING
 7. ENTRY DOOR
 8. TRELLIS
 9. ARCHITECTURAL SUPPORT COLUMN
 10. SECTIONAL GARAGE DOOR
 11. WOOD GATE
 12. CROSSLAMINATED WOOD MEMBER
 13. GLAZED WOOD POST
 14. 1/2" REGLET REVEAL METAL
 15. CONCRETE STEPS
 16. NEW PROPERTY LINE WALL
 17. GAS METER
 18. ELECTRIC METER
 19. WOOD SIDING ON UNDERSIDE TO MATCH
FACE SIDING
 20. SPIRAL METAL STAIRS
 21. ROOFING PER ROOF SPEC
 22. FRENCH DOORS
 23. PLASTER ON UNDERSIDE TO MATCH
 24. PLASTER WRAPPED TRIM
 25. TRASH ENCLOSURE
 26. PANEL DOOR SYSTEM PER PLAN
 27. DRIVEWAY PER PLAN
 28. MAXIMUM HEIGHT LINE
 29. BUTTRESS ARCHITECTURAL PROJECTION

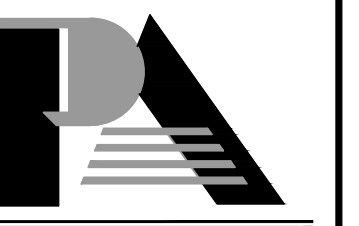
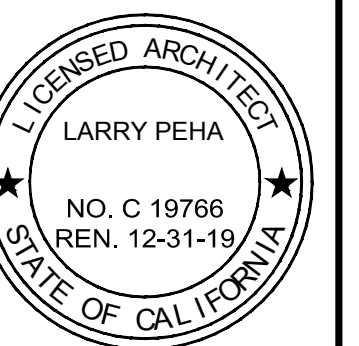
NOTE:
ALL WOOD TO BE STAINED/PAINTED
ALL 4 SIDES PRIOR TO INSTALLATION



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DATE	ISSUE/REVISION
12/29/18	PLANNING
	SUBMITTAL
01/17/19	PLANNING COMMENTS

NEAR TWO UNIT CONDOS FOR:
LEIGHTON LLC
247 BARD STREET



ARCHITECTURE

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DATE: 10/3/2018

DRAWN: ATR

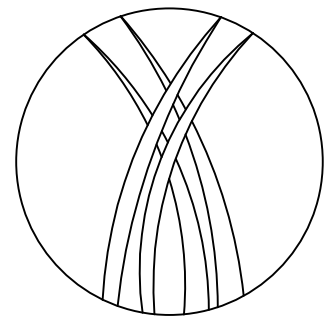
OB NO. 1715

DRAWING TITLE

EXTERIOR

EXTERIOR ELEVATIONS

A3.2



Revision	Date	By
	09-8-18	
	0-26-18	
	03-25-19	
	05-25-19	

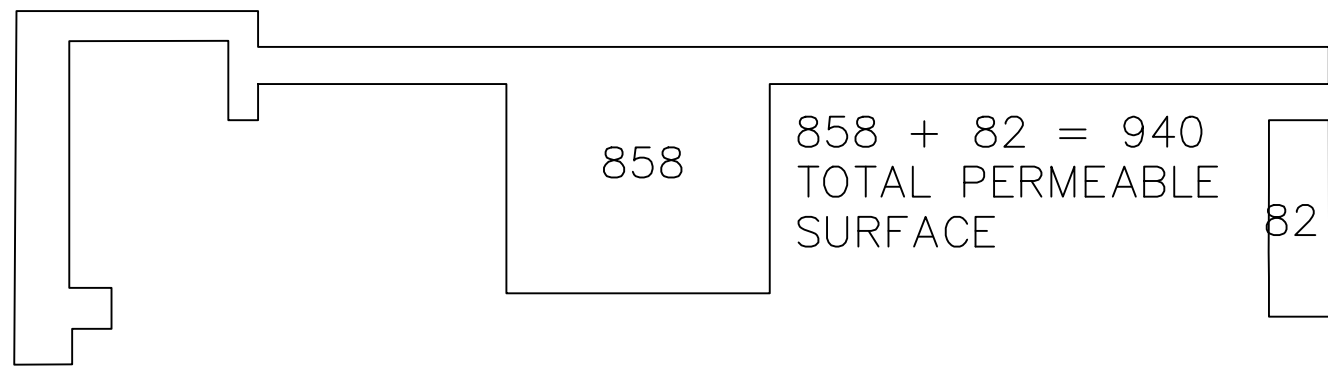
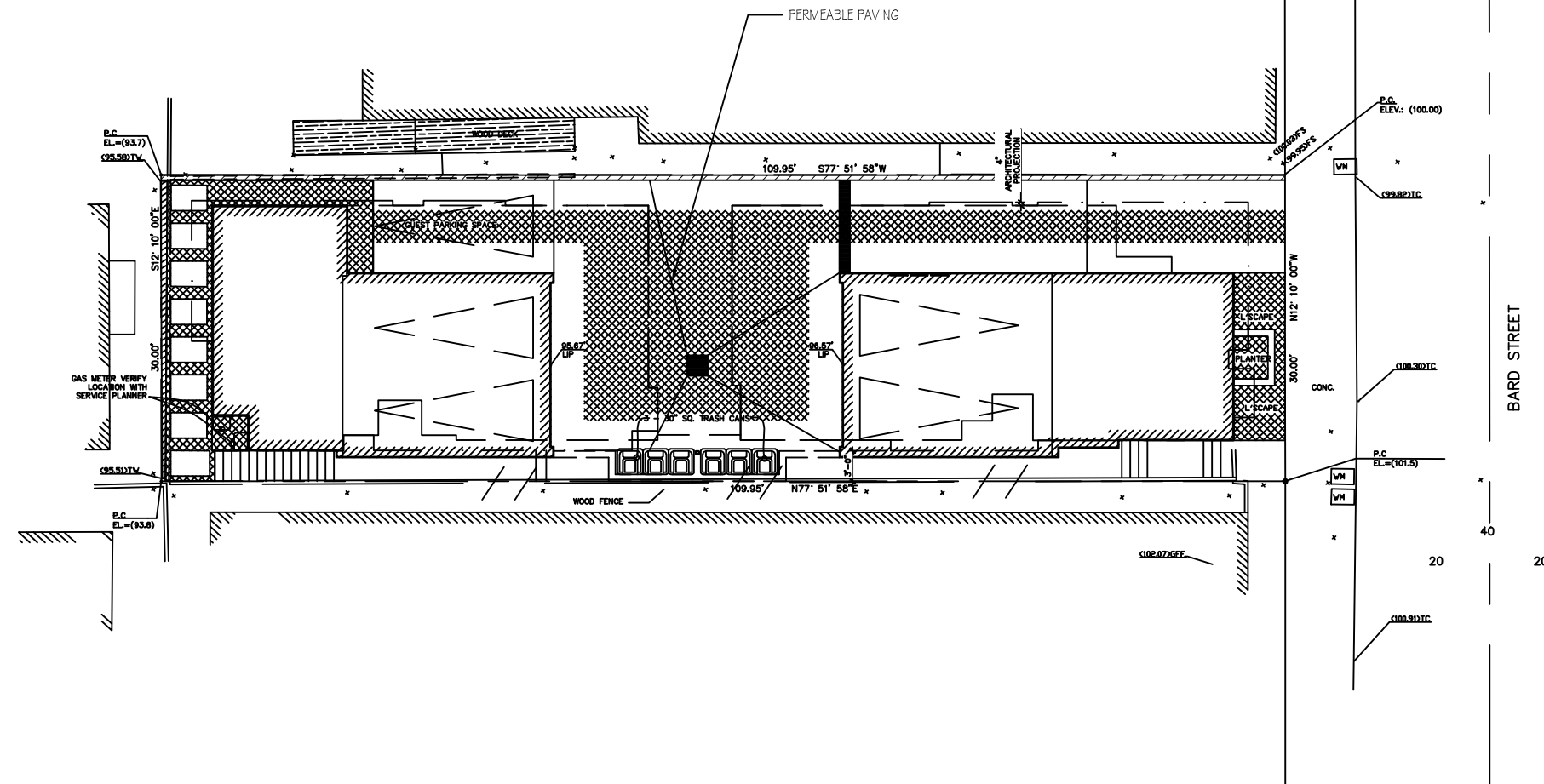
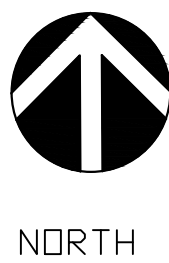
Date: 07-28-18

Scale: AS NOTED

Drawn by: JC

Sheet:

L-1



PERMEABLE AREA

1/16" = 1'-0"

PERMEABLE / LANDSCAPE
PLANTED AREAS

AREA CALCULATION

Lot Square Footage =	3,298 sq.ft
Building Footprint =	1,325 sq.ft
Hardscape Area =	1,033 sq.ft
Landscape / Permeable Area =	940 sq.ft
Permeable Area =	940 sq.ft

STORMWATER AND URBAN RUNOFF POLLUTION CONTROL REGULATIONS

SECTION 8.44.095

F. Incorporation of Low Impact Development Program Requirements into Project Plans.

1. New development and redevelopment projects are required to control pollutants and runoff volume from the project site by minimizing the impervious surface area through effective site design and use of water permeable surfaces (e.g., permeable paving or landscaping) to the extent it is technically feasible on not less than fifty (50) percent of exterior surface areas excluding building footprints, and controlling runoff through infiltration, bioretention, and/or rainfall harvest and use, in accordance with the standards set forth in the Municipal NPDES Permit

Infiltration System Notes:

- The proposed permeable surface is less hand 50% of the exterior surface, an infiltration system will be provided per HBMC 8.44.095 (F)

Irigation Notes:

- An automatic irigation system using either evapotranspiration or soil moisture sensor data, with rain shut-off sensor, shall be pursuant to HBMC 8.60.060.(D)

Planting Notes:

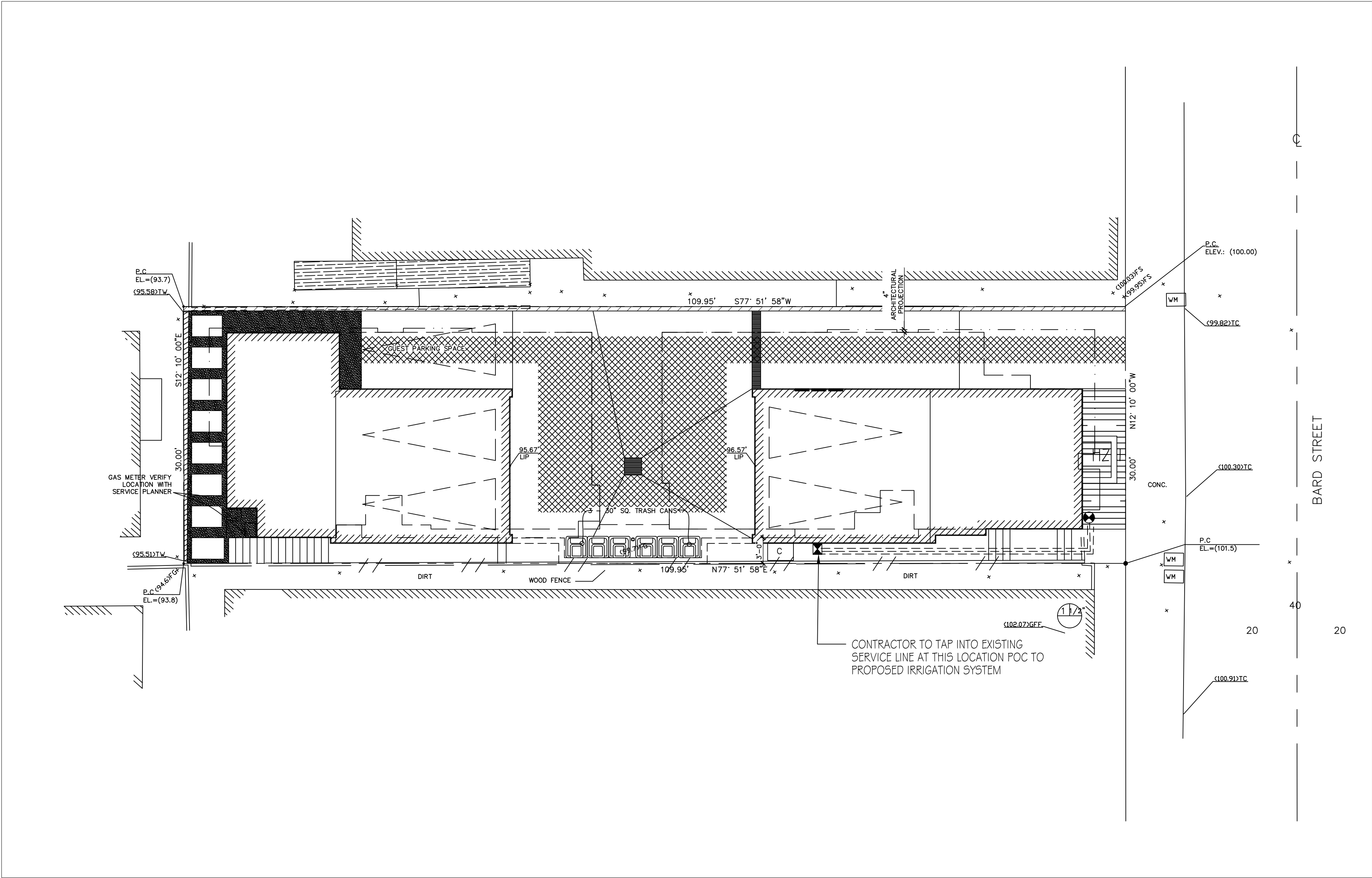
- All construction debris is to be removed prior to planting.
- All exposed areas to be covered with 2" of fine bark mulch

LANDSCAPE PLANTING PLAN

1/8" = 1'-0"





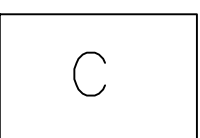

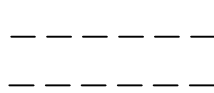

PLANT LEGEND

PICTURE OF PLANTS	SYMBOL	VEGETATION TYPE	BOTANICAL NAME	COMMON NAME	REGIONAL EVALUATIONS WATER NEEDS	SIZE	DIAMETER (MATURED)	HEIGHT (MATURED)	QTY	NOTES
		TREE	CERCIS OCCIDENTALIS 'FOREST PANSY'	FOREST PANSY REDBUD	LOW	24"	15'	20'	2	REPLACEMENT TREES PER PLANNERS NOTES
		SHRUB	ALOE ARBORESCENS	CANDELABRA ALOE	LOW	15 GAL	48"	8'	1	
		SHRUB	WESTRINGEA FRUTICOSA WYNABIE GEM	COASTAL ROSEMARY	LOW	5 GAL	36"	42"	6	
		PERENIAL	ANIGOZANTHOS 'HARMONY'	HARMONY KANGAROO PAW	LOW	5 GAL	24"	24"	5	
		GROUND COVER	SENECIO MANDRAELISCAE	BLUE CHALKSTICKS	LOW	4"	12"	9"	14	PLANT 12" OC

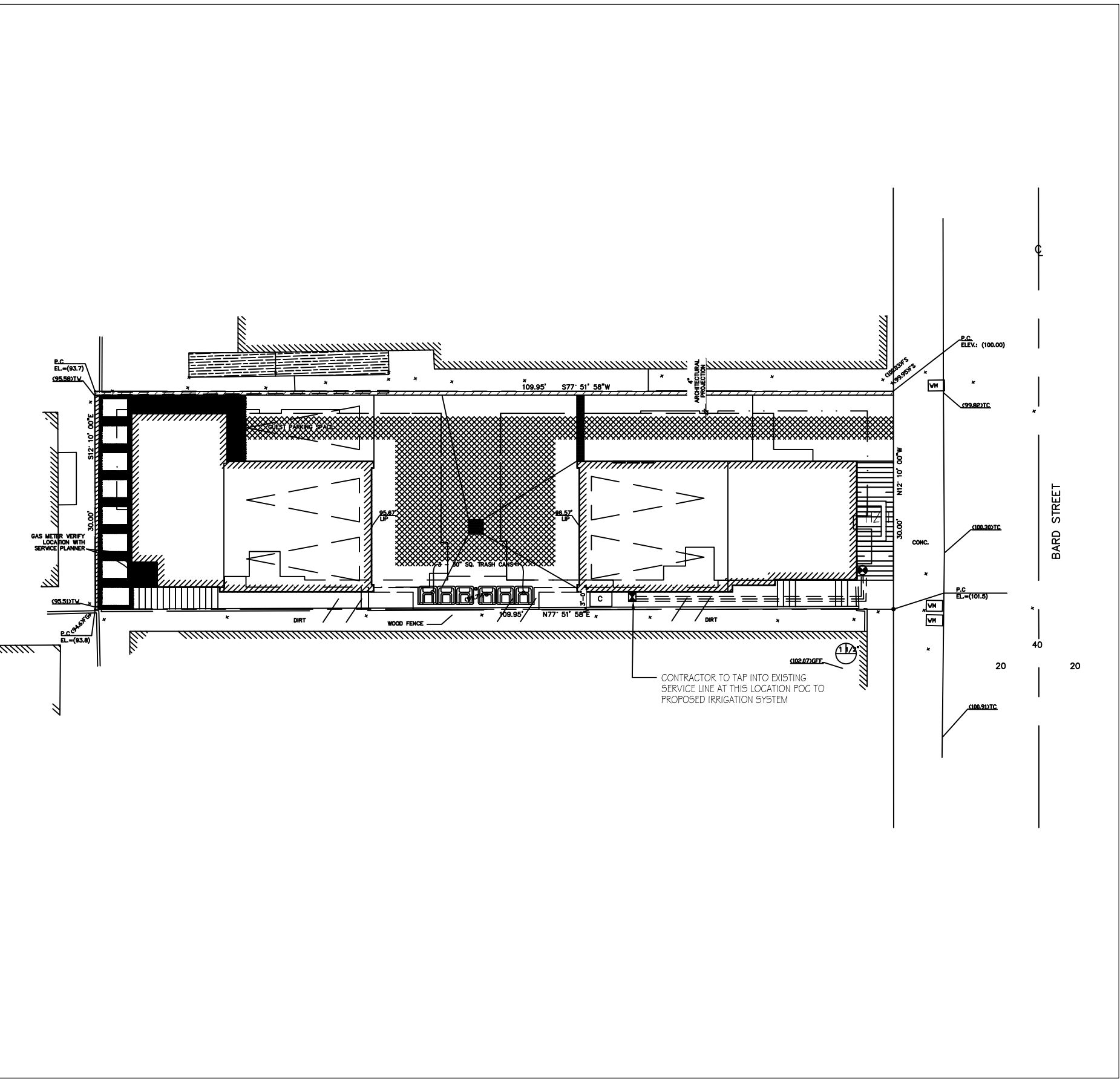


LANDSCAPE IRRIGATION PLAN

1/8" = 1'-0"

IRRIGATION LEGEND						
SYMBOL	MANUFACTURER / MODEL DESCRIPTION	RADIUS	GPM	PSI	PRECIP. RATE	COMMENTS
	NETAFIM TECHLINE EZ	N/A	.60 GPH	30 PSI	N/A	SEE DETAILS FOR INSTALLATION
	NIBCO BALL VALVE: T-FB- 600A					INSTALL W/ CARSON 10" ROUND #910
	FEBCO 825Y-3/4 825-QT-RP					INSTALL PER MANUFACTURE SPECIFICATIONS
	RAINBIRD REMOTE CONTROL ZONE KIT: XCZF-175					
	HUNTER 4 STATION PRO-C- INDOOR IRRIGATION CONTROLLER WITH WIRELESS SOLAR SYNC SENSOR: PC-400-I-SOLAR-SYNC-SEN					INSTALL PER MANUFACTURER SPECIFICATIONS TO BE MOUNTED
	3/4" SCHEDULE 40 LATERAL LINE					SOLVENT WELD
	SCHEDULE 40 PIPE AND WIRE SLEEVING					PVC SLEEVE UNDER ALL PAVING TWO PIPE SIZES GREATER THAN THE PIPING WHICH IS TO RUN IN THE SLEEVE. COVER DEPTH SHALL BE THE SAME AS THE MAINLINE OR LATERAL LINE SOLVENT WELD
	1" SCHEDULE 40 IRRIGATION MAINLINE					

STATION NO. VALVE SIZE
STATION GPM



HYDROZONE AREAS

1/16" = 1'-0"

ESTIMATED TOTAL WATER USE CALCULATIONS (BASED ON Eto=42)							
VALVE #	HYDROZONE	PLANT WATER USE TYPE(S)	(PF) PLANT FACTOR	HA AREA	PF X HA	IE	ETWU GAL/YR
1	1	LOW	.6	82	49	.9	1271
						SUM	1271

AREA CALCULATION

Lot Square Footage = 3,298 sq.ft
Building Footprint = 1,325 sq.ft
Hardscape Area = 1,033 sq.ft
Landscape / Permeable Area = 940 sq.ft
Permeable Area = 940 sq.ft

MAWA = Maximum Applied Water Allowance (gallons per year)
MAWA = (42.00 inches) (0.55) [(0.7 x 82 sq ft) + (0.3 x 0)] = 1326 gallons per year
ETWU = (42.00) (0.55) [(49/0.9) +0]] = 1271 gallons per year

IRRIGATION PLAN



Revision	Date	By
	09-8-18	
	10-26-18	
	03-25-19	
	05-26-19	
Date: 07-28-18		
Scale: AS NOTED		
Drawn by: JC		
Sheet:		

IRRIGATION NOTES

1. THIS IRRIGATION DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY. INSTALL ALL COMPONENTS IN PLANTING AREAS WHEREVER POSSIBLE.

DUE TO THE SCALE OF THE DRAWINGS IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC., WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF HIS WORK AND PLAN HIS WORK ACCORDINGLY, FURNISHING SUCH FITTINGS, ETCH AS MAY BE REQUIRED TO MEET SUCH CONDITIONS.

2. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN ADDRESSED IN THE DESIGN OF THE IRRIGATION SYSTEM.

3.SET ALL VALVES AND QUICK COUPLERS NEXT TO WALKS OR PAVED SURFACES IN LOCATIONS WITH NO ADJACENT PAVING, COORDINATE FINAL LOCATION WITH OWNER.

4. CONTROLLER LOCATION IS DIAGRAMMATIC. OBTAIN FINAL LOCATION APPROVAL FROM THE OWNER PRIOR TO INSTALLATION.

5. PENDING 120VAC ELECTRICAL POWER SOURCE AT CONTROLLER LOCATION IS NOT A PART OF THE IRRIGATION SYSTEM. COORDINATE POWER REQUIREMENTS WITH GENERAL CONTRACTOR AND/OR OWNER.

6. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO BE FAMILIAR WITH THE EXISTING SITE CONDITIONS, UTILITIES GRADE DIFFERENCES, LOCATION OF WALLS, ETC. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS UNDER ROADWAYS AND PAVING, ETC.

7. ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER’S RECOMMENDATIONS AND SPECIFICATIONS.

8. IT IS THE CONTRACTOR’S RESPONSIBILITY TO ENSURE THAT THE NEW SYSTEM HAS THE CORRECT PSI IN ORDER FOR ALL THE VALVES TO OPERATE AS PER PLAN.

8.56. 060 Water Conservation and Drought Management Plan.

This Chapter establishes a water conservation and drought management plan consisting of both permanent regulations designed to reduce water usage and increase the efficiency of water use on an ongoing basis, and three increasingly restrictive levels of drought response actions to be implemented in times of drought conditions.

8.56. 070 Water Conservation Requirements.

The following water conservation requirements shall apply to all persons:

A. Landscaping.

1. Watering hours and duration. No lawn or landscaped area shall be irrigated or watered by any means between the hours of 9:00 a.m. and 6:00 p.m. on any day. Above-ground spray irrigation or watering shall not exceed fifteen (15) minutes per irrigation station or area. This provision shall not apply to drip irrigation systems, use of a hand-held bucket or similar container, use of a hand-held hose equipped with a positive action quick-release shutoff valve or nozzle, irrigation necessary to establish newly planted low water usage plants, or water expended for limited periods of time necessary for irrigation system maintenance or leak repair.

2. Over-watering: No lawn or landscaped area shall be irrigated or watered to the point where excess water ponds, sprays or runs off the lawn or landscaped area onto any walkways, sidewalks, driveways, streets, alleys or storm drains.

3. Irrigation during rainfall: No lawn or landscaped area shall be irrigated or watered during rainfall or within 24 hours after measurable rainfall.

4. Landscape maintenance: All lawns and landscaping shall be regularly maintained to reduce water use by such methods as aerating, thatching and mulching.

5. Landscape irrigation system maintenance: Landscape irrigation systems shall be regularly inspected, maintained and repaired to eliminate leaks, remove obstructions to water emission devices and eliminate over spraying.

B. Pools and spas. New pools and spas shall be equipped with a cover. Not later than July 1, 2012, all existing pools and spas shall be constructed, installed or equipped with a cover. Pools and spas shall be covered overnight and daily when use is concluded.

C. Water fountains and decorative water features. No person shall operate a fountain or other decorative water feature that does not recycle or re-circulate the water utilized by the device.

D. Cleaning. No person shall use water to wash or clean any sidewalks, walkways, patios, driveways, alleys, parking or similar areas, whether paved or unpaved; however, use of water brooms or pressure washers or similar low flow technology, or water recycling systems to clean these surfaces, is permitted. In no case shall such water run off the property or drain onto any walkways, sidewalks, streets, alleys or storm drains.

E. Car washing. No person shall use water to wash or clean any motorized or un-motorized vehicle, including, but not limited to, an automobile, truck, boat, van, bus, motorcycle, trailer or similar vehicle, except by use of a bucket or similar container or a hand-held hose equipped with a positive action quick-release shutoff valve or nozzle. This subsection shall not apply to any commercial car washing facility that uses a water recycling system to capture or reuse water.

F. Waste and leaks. No person shall:

1. Cause, permit or allow water to leak from any exterior or interior pipe, hose or plumbing fixture.

2. Cause, permit or allow water to flow from any source on private or public property onto walkways, sidewalks, streets, alleys or storm drains, except as a result of rainfall or pumping excessive groundwater infiltration, such as by means of a sump pump.

3. The use of water for cleaning, washing and other uses shall be performed in an efficient manner to reduce waste and total water use.

Chapter 8.56 Water Conservation and Drought Management Plan

8.56. 010 Title.

This Chapter shall be known as the “City of Hermosa Beach Water Conservation and Drought Management Plan Ordinance.”

8.56. 020 Findings

A. A reliable supply of potable water is essential to the public health, safety and welfare of the people and economy of the State, the southern California region and City of Hermosa Beach.

B. The State of California, southern California region and the City of Hermosa Beach suffer from periodic water shortages, and a growing population, climate change, environmental concerns, periodic energy shortages, and other factors make the region highly susceptible to water supply reliability issues.

C. An active water conservation program with conservation measures applicable to all sources and uses of water is essential to ensure a reliable supply of water for drinking, sanitation and fire protection, and to protect the public health, safety and welfare.

D. A Water Conservation and Drought Management Plan is necessary to properly manage water supplies and mitigate the effects of water shortages within the City by reducing water consumption by residents, businesses and visitors, while minimizing the hardship caused to the general public to the greatest extent possible.

E. Recycled water (including water reclaimed by the West Basin Municipal Water District, graywater to the extent allowed by law and capture of rainwater) is a valuable resource that can be used to offset imported and other water supplies and shall therefore be regulated under this Chapter.

8.56. 030 Purpose and Intent

A. The purposes of this Chapter are to increase the conservation and efficient use of potable water, maximize the use of recycled water, and provide a drought management plan. The plan will reduce water consumption and extend available water supplies, minimize the effects and hardship of water shortages on the City and the general public to the greatest extent possible, and maximize the socioeconomic and environmental benefits associated therewith.

B. This Ordinance is intended solely to further the conservation of water. It is not intended to implement or supersede any federal, state, or local statute, Ordinance or regulation relating to protection of water quality or control of drainage or runoff.

C. This Ordinance does not modify, terminate or otherwise affect the water services or water rates of any person.

8.56. 040 Definitions.

The terms in this Chapter relating to various uses of property shall be as defined in Title 17 (Zoning) and shall be broadly construed to achieve the purposes of this Chapter. In addition:

“Approval Authority” means the City Manager or his/her designee.

“Commercial” means commercial, industrial, or any other nonresidential business or use.

“Discretionary planning entitlement” means a land use permit or approval granted by the planning commission necessary to proceed with development.

“Existing” as used in this Chapter means, as applicable:

A. An existing building means a building that was constructed or had received all required approvals to commence construction on or prior to April 1, 2010.

B. An existing establishment means a business establishment that was in operation on or prior to April 1, 2010.

G. All commercial establishments

1. Single pass cooling systems. Single-pass cooling systems shall not be installed in new commercial buildings. When single pass cooling systems in existing businesses are replaced, single pass cooling system shall not be installed as a replacement.

2. Toilets. New commercial establishments shall install and use only water-efficient toilets. All existing commercial establishments shall install and use only water-efficient toilets by January 1, 2014.

H. Eating and drinking establishments. The following provisions shall also apply to all restaurants, cafes, snack shops, bars, other eating and drinking establishments, and food catering businesses:

1. All establishments shall only provide drinking water to customers upon request.

2. All establishments shall install and use low-flow pre-rinse dishwashing spray nozzles by July 1, 2011.

3. All establishments shall use low-flow technologies for washing and cleaning floors and surfaces, such as using a hand-held bucket or similar container and mop, water brooms or pressure washers.

4. New establishments shall install and use water-efficient dishwashing machines or systems. When dishwashing machines in existing businesses are replaced, water-efficient dishwashing machines or systems shall be installed. All existing establishments shall install and use only water-efficient dishwashing machines or systems by January 1, 2014.

I. Hotels and motels. The following provisions shall apply to all hotels, motels, hostels, bed and breakfast and similar temporary accommodation establishments:

1. All establishments shall provide customers the option of choosing not to have towels and linens laundered daily and shall prominently display notice of this option in each bathroom and sleeping room using clear and easily understood language.

2. All establishments that provide on-premises facilities for laundering towels or linens shall comply with Subsection J of this Section.

3. All establishments that provide food services shall comply with Subsection H of this Section.

J. Laundry businesses. New commercial laundry businesses shall install and use water recycling systems. When washing machines in existing businesses are replaced, water-efficient laundry washing or water recycling systems shall be installed. All existing laundry businesses shall install and use only water-efficient laundry washing machines or water recycling systems by January 1, 2014.

K. Commercial car wash facilities. New commercial conveyor-type car wash facilities shall install water recycling systems. All existing conveyor car wash systems shall install and operate only water recycling systems by January 1, 2012. All existing commercial car wash operations, including those accessory to another use, shall use high pressure, low volume wash systems, bucket or similar container, and/or a hand-held hose equipped with a positive action quick-release shutoff valve or nozzle, or similar low-flow device by January 1, 2012.

L. Exceptions. The provisions of this Section are not applicable to uses of water that are necessary to protect public health and safety or for essential governmental services when such uses of water cannot be reduced, such as for fire-fighting and other similar emergency services.

8.56. 080 Drought Response Level 1 – Drought Alert Condition.

A. The City Council may by Resolution declare a Drought Alert condition and implement the Level 1 conservation measures set forth in this Section on the grounds that, due to water supply cutbacks caused by drought or reduction in supplies for other reasons, an overall consumer demand reduction of up to ten (10) percent is required in order to have sufficient water supplies available to meet anticipated demands.

B. Except as otherwise stated in this Chapter, during a Level 1 Drought Alert condition all persons using water shall comply with the following additional conservation measures:

1. Watering days and duration. Limit lawn and landscape watering or irrigation to no more than three (3) days per week. Above-ground spray irrigation shall be limited to no more than fifteen (15) minutes per watering station or area; this limitation shall not apply to the use of recycled water to maintain public parks and facilities. The City Council may by Resolution establish a schedule of permissible watering days. This provision shall not apply to commercial nurseries, drip irrigation systems, use of a hand-held bucket or similar container and/or a hand-held hose equipped with a positive action quick-release shutoff valve or nozzle.

"Irrigation system" or "landscape irrigation system" means an irrigation system with pipes, hoses, spray heads, or sprinkling devices that is operated through an automated system.

“New” means as applicable:

A. "New building" means a building that is constructed, or receives all required approvals to commence construction, after April 1, 2010.

B. “New establishment,” “new business” or “new facility” mean a business establishment that initiates operation, or receives all required approvals to initiate operation, after April 1, 2010.

"Person" means any natural person or persons, corporation, public or private entity, governmental agency or institution, or any other user of water within the City.

"Positive action quick-release shutoff valve or nozzle" means a hand-held sprayer or similar device that quickly, automatically and absolutely stops the flow of water when the user stops exerting pressure.

Water-efficient devices emit not more than three (3) gallons of water per minute.

"Pre-rinse dishwashing spray nozzle" means a hand-held device that uses a spray of water to remove food and grease from dishware, utensils and pans before placing them in the dishwasher that emits not more than 1.6 gallons of water per minute.

"Pressure washer" means a water conserving cleaning device that emits not more than three (3) gallons of water per minute.

"Recycled water" or "recycling system" means the capture, reclamation and reuse of non-potable water for beneficial use.

"Single pass cooling system" means equipment where water is circulated only once to cool equipment before the water is disposed.

"Water broom" means a water conserving sweeping device with spray jets that emit not more than three (3) gallons of water per minute.

“Water-efficient” means a water conserving fixture, device or system that complies with the water conservation standards of the most current edition of the California Plumbing Code or, if no standard applies, is EPA WaterSense labeled or its equivalent. In no case shall the fixture, device or system use more water than is indicated by the standard stated in this section.

"Water-efficient irrigation systems" means systems using water conserving devices, including but not limited to weather based controllers, drip/micro-irrigation systems with emitters that emit not more than two (2) gallons of water per hour, and stream rotor sprinklers that meet a seventy (70) percent or greater efficiency standard.

"Water-efficient dishwashing machines or systems” mean devices that use not more than one (1) gallon of water per rack.

"Water-efficient laundry washing machines" means machines have a water factor of 6.0 or less, wherein water factor means the number of gallons of water used per cycle, divided by the tub volume.

"Water-efficient toilet" means toilets using not more than 1.6 gallons per flush or urinals using not more than one (1) gallon per flush.

"Water recycling system" means a system that reclaims and reuses non-potable water.

8.56. 050 Applicability.

This Chapter is applicable to every person, commercial business, or other water user in the use of any water within the City. The City Council may by Resolution exempt pilot programs or special programs of limited scope undertaken by the City or undertaken in conjunction with the City's water providers.

8.56. 060 Water Conservation and Drought Management Plan.

This Chapter establishes a water conservation and drought management plan consisting of both permanent regulations designed to reduce water usage and increase the efficiency of water use on an ongoing basis, and three increasingly restrictive levels of drought response actions to be implemented in times of drought conditions.

8.56. 090 Drought Response Level 2 – Drought Critical Condition

A. The City Council may by Resolution declare a Drought Critical condition and implement the Level 2 conservation measures set forth in this Section on the grounds that, due to water supply cutbacks caused by drought or reduction in supplies for other reasons, an overall consumer demand reduction of ten (10) to twenty (20) percent is required in order to have sufficient water supplies available to meet anticipated demands.

B. During a Drought Critical condition all persons using water shall comply the following additional conservation measures:

1. Watering days and duration. Limit lawn and landscape watering or irrigation to no more than two (2) days per week, provided that the City Council may by Resolution limit lawn and landscape watering or irrigation to no more than one (1) day per week to achieve a reduction of up to twenty (20) percent. Above-ground spray irrigation shall be limited to no more than fifteen (15) minutes per watering station or area; this limitation shall not apply to the use of recycled water to maintain public parks and facilities. The City Council may by Resolution establish a schedule of permissible watering days. This provision shall not apply to commercial nurseries, drip irrigation systems, use of a hand-held bucket or similar container and/or a hand-held hose equipped with a positive action quick-release shutoff valve or nozzle.

8.56. 100 Drought Response Level 3 – Drought Emergency Condition

A. The City Council may by Resolution declare a Drought Emergency condition and implement the Level 3 conservation measures set forth in this section on the grounds that overall consumer demand reduction of more than twenty (20) percent is required because the ordinary demands and requirements of water consumers cannot be satisfied without depleting water supplies to the extent that there would be insufficient water for human consumption, sanitation, and fire protection.

B. During a Drought Emergency condition all persons using water shall comply with Sections 8.56.070 (Water Conservation Requirements) and the following additional mandatory conservation measures:

1. Irrigation and watering prohibition. No lawn or landscaping watering or irrigation shall be allowed. This subsection shall not apply to the following, provided that watering days and watering duration shall comply with Subsection B of Section 8.56.090:

a. Irrigation or watering using recycled water.

b. Irrigation necessary to establish new plantings of low water usage plants or commercial nurseries.

c. Water efficient landscape irrigation systems using water efficient devices, including but not limited to weather based controllers, drip/micro-irrigation systems with emitters that emit no more than two (2) gallons per hour and stream rotor sprinklers that meet a seventy (70) percent or greater efficiency standard.

d. Maintenance of trees and shrubs that are watered by using a bucket or other watering container, hand-held hose equipped with positive action quick-release shutoff valve or nozzle, or similar low-volume non-spray irrigation.

e. Maintenance of existing landscaping necessary for fire protection as specified by the Fire Chief.

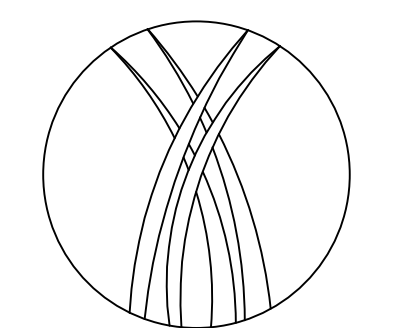
f. Maintenance of existing landscaping on slopes exceeding ten (10) percent for erosion control.

g. Maintenance of landscaping within active public parks and playing fields, day care center play areas, and school grounds.

h. Public works projects.

i. Maintenance of plant materials identified to be rare, threatened or endangered or essential to the health of documented rare, threatened or endangered animals.

2. Cleaning surfaces. Water shall not be used to wash, clean or clear any sidewalks, walkways, patios, driveways, alleys, parking or similar areas, whether paved or unpaved; except commercial or industrial establishments may use water broom, pressure washer or similar low flow technology or water recycling systems when necessary to comply with health, safety, water quality or other regulations verified by the approval authority. Pressure washers may be used to clean surfaces in preparation for painting, construction, or occasional seasonal maintenance when other methods are not practical.



Revision	Date	By
	09-8-18	
	10-26-18	
	03-25-19	
	05-26-19	

Date: 07-28-18
Scale: -
Drawn by: JC
Sheet:

3. Car Washing. Vehicles shall not be washed, except at commercial car wash facilities that recycle water or use high pressure, low volume wash systems. Subject to Subsection E of Section 8.56.070, this provision shall not apply to car washes held as fund raising activities for bona fide community organizations, washing of garbage trucks, or washing of vehicles used to transport food and perishables, and washing of other mobile equipment for which frequent cleaning is essential for the protection of the public health, safety and welfare.

4. Ornamental Ponds and Lakes. Ornamental ponds or lakes if empty shall not be filled, and if filled shall not be refilled or replenished.

5. Hotels and Motels: Mandatory Laundry Opt-Out. Hotels, motels, hostels, bed and breakfasts and similar establishments shall not provide daily towel and linen laundering service to customers, except upon a specific request.

8.56. 110 Procedures for Declaration and Notification of Drought Response Level and Additional Water Conservation Measures.

A. The City Council shall declare a Drought Response Level 1, 2 or 3 by Resolution in the manner required by law and City procedures.

B. The City Council shall declare the end to any Drought Response Level by the adoption of a Resolution in the manner required by law and City procedures.

8.56. 120 Exception

A. An exception to any water conservation requirement of this Chapter may be granted or conditionally granted in accordance with the following requirements.

1. Application. Any water user may file an application with the Community Development Department for an exception from one or more water conservation measures on a form provided by the City, including supporting documents and information demonstrating the grounds for the requested exception, accompanied by a fee set by Resolution of the City Council.

2. Findings. The approving authority may approve, conditionally approve or deny an application for an exception from water conservation measures. An application for an exception shall be denied unless the approval authority finds, based on the information provided in the application, supporting documents or such additional information as may be requested, all of the following:

a. That, due to special circumstances applicable to the property or its use, the strict application of this Ordinance would disproportionately impact the property or use when compared to similar types of uses or properties; and

b. That other water conserving measures to substantially off-set the proposed water use have been or will be employed as a condition of the approval, or the lack of such measures will not materially affect the ability of the City to achieve the purposes of this Chapter; and

c. That the exception does not constitute a grant of special privilege inconsistent with the limitations upon other residents and businesses.

3. Approval authority. The approval authority shall act upon any application no later than ten (10) days after receipt of a complete application, and may approve, conditionally approve, or deny the exception. The applicant requesting the exception shall be promptly notified in writing of any action taken. Unless otherwise specified at the time an exception is approved, the exception shall only apply during the period of the specific circumstances from which an exception is requested.

4. Appeals. An applicant may appeal the approval authority's decision, or any conditions placed on the approval, to the City Council within ten (10) days of the date of decision. A written request shall be submitted to the City Clerk stating the grounds for the appeal accompanied by a fee adopted by Resolution of the City Council. The City Council shall review the appeal at the next available meeting that the item may be heard.

8.56. 130 Penalties and Remedies

Violations of the provisions of this Chapter are subject to the administrative penalty provisions of Chapter 1.10.

7. The use, storage and disposal of all landscape and lawn care products shall comply with all manufacturer's specifications and applicable laws, and minimize the discharge of pollutants to the environment.

G. Notwithstanding the requirements of this Section, landscape design and maintenance shall additionally comply with the requirements of Chapters 8.44 and 8.56, Title 17 (Zoning), any other applicable provisions of this code, and the requirements of a development permit, whichever is more restrictive.

8.60. 060 Standards for New Landscape.

"New landscape" as defined in Section 8.60.040 shall be designed and managed to use the minimum amount of water required to maintain plant health. New landscape shall comply with all of the requirements in Sections 492.6 through 492.15 of the Model Efficient Ordinance and the following, whichever is more restrictive, unless an exception is granted pursuant to Section 8.60.050(D).

A. Plant material.

1. Plant species and landscape design shall be adapted to the climate, soils, topographical conditions, and shall be able to withstand exposure to localized urban conditions such as pavement heat radiation, vehicle emissions and dust, and urban runoff. Water conserving plant and turf species shall be used.

2. Plant species or specifications shall comply with any official list of species, guidelines or regulations adopted by the City to the extent that such lists, guidelines or regulations do not conflict with this Chapter

3. 'Plants listed in the current Invasive Plant Inventory for the southwest region by the California Invasive Plant Council or similar source acceptable the Community Development Director are prohibited, except for known non-fruiting, non-invasive, sterile varieties or cultivars. Plants known to be susceptible to disease or pests in this Climate Zone six (6) shall not be used.

4. The landscape area of projects proposing exclusively commercial or industrial uses shall be designed using exclusively water conserving plants. Single family residential, multi-family residential, mixed use and institutional use projects shall be designed with not more than twenty (20) percent of the total landscaped area in turf or high water use plants in the Water Use Classification for Landscape Species (WUCOLS). Turf may be used as a bio-swale or bio-filter or for functional purposes such as active recreational areas as determined by the Community Development Director. Public agencies shall be exempt from this requirement.

5. Turf shall not be allowed on slopes greater than twenty (20) percent. Where the toe of the slope is adjacent to an impermeable surface, alternatives to turf should be considered on slopes exceeding twenty (20) percent, meaning one (1) foot of vertical elevation change for every five (5) feet of horizontal length. Approved turf areas may be watered at 1.0 of the reference evapotranspiration (ETo).

6 .Planted areas shall be covered with a minimum of two (2) inches of organic mulch, except in areas covered by groundcovers or within twenty-four (24) inches of the base of a tree, or where a reduced application is indicated. Additional mulch material shall be added from time to time as necessary to maintain the required depth of mulch.

7. Species and landscape design shall complement and to the extent feasible in compliance with this Chapter be proportional to the surroundings and streetscape and incorporate deciduous trees to shade west and south exposures. Landscaping shall not interfere with safe sight distances for vehicular traffic, the vision clearance in Section 17.46.060, height restrictions for hedges in 17.46.130, pedestrian or bicycle ways, or overhead utility lines or lighting.

B. Water features, pools and spas.

1. Recirculating water systems shall be used for water features. Where available, recycled water shall be used as a source for decorative water features.

2. Pools and spas shall be equipped with a cover and covered overnight and daily when use is concluded.

C. Grading and runoff. Landscape design shall minimize soil erosion and runoff.

1. Grading plans shall avoid disruption of natural drainage patterns to the extent feasible.

2. Grading plans shall demonstrate that normal rainfall and irrigation will remain within the property lines and not drain onto impermeable surfaces, walkways, sidewalks, streets, alleys, gutters, or storm drains.

3. Plans and construction shall protect against soil compaction within landscape areas.

4. Stormwater best management practices to minimize runoff, to increase on-site retention and infiltration, and control pollutants shall be incorporated into project plans. Rain gardens, cisterns, swales, structural soil, permeable pavement, connected landscape areas, and other landscape features and practices that increase onsite rainwater capture, storage and infiltration, emphasizing natural approaches over technology-based approaches that require ongoing maintenance, shall be considered during project design. Plans and practices shall comply with Chapter 8.44.

D. Irrigation systems.

1. An automatic irrigation system using either evapotranspiration or soil moisture sensor data, with a rain shut-off sensor, shall be installed. Drip irrigation emitters shall emit no more than two (2) gallons per hour.

2. An average landscape irrigation efficiency of 0.71 shall be used for the purpose of determining Maximum Applied Water Allowance. Irrigation systems shall be designed, maintained, and managed to meet or exceed this efficiency. Landscapes using recycled water are considered Special Landscape Areas, where the ET Adjustment Factor shall not exceed 1.0.

3. The irrigation system shall be designed to prevent water waste resulting in runoff, overspray, or similar conditions where irrigation water ponds or flows onto non-irrigated areas, walkways, sidewalks, streets, alleys, gutters, storm drains, adjacent property, or similar untargeted areas. Runoff to other permeable or impermeable surfaces shall not be allowed.

4. Narrow or irregularly shaped areas, including turf less than eight (8) feet in width in any direction, shall be irrigated with subsurface irrigation or low volume above-ground irrigation system.

5. Overhead irrigation shall not be permitted within two (2) feet of any impermeable surface. Drip, drip line, or other low flow non-spray technology shall be used.

6. All sprinklers shall have matched precipitation rates within each valve and circuit. All irrigation systems shall be designed to include optimum distribution uniformity, head to head spacing, and setbacks from sidewalks, pavement and impermeable surfaces.

7. All irrigation systems shall provide backflow prevention devices in accordance with the current edition of the California Building/Plumbing Code and check valves at the low end of irrigation lines to prevent unwanted draining of irrigation lines. Pressure regulators may be required if the pressure at the sprinkler head exceeds the manufacturer's recommended optimal operating pressure.

8. Reclaimed water and graywater irrigation systems shall be used when reasonably feasible and shall conform to the current edition of the California Building/Plumbing Code, and all other applicable local, state and federal laws.

E. Irrigation system hydrozones.

1. The irrigation system shall conform to the hydrozones of the landscape design plan.

2. Each hydrozone shall have plant materials with similar water use, with the exception of hydrozones with plants of mixed water use where the plant factor of the higher water using plant is used for calculations. No hydrozone shall mix high and low water use plants.

3. Sprinkler heads and other emission devices shall be appropriate for the plant type within that hydrozone. Where feasible, trees shall be placed on separate valves from turf, shrubs and groundcovers.

4. No landscape plan or restriction of any type, including those applicable to common interest developments such as condominiums, shall prohibit or include conditions that have the effect of prohibiting native or water conserving plants.

F. Landscape and irrigation maintenance.

1. All landscape and related elements shall be designed and properly maintained to insure long-term health and shall maintain conformance with the requirements of this Chapter.

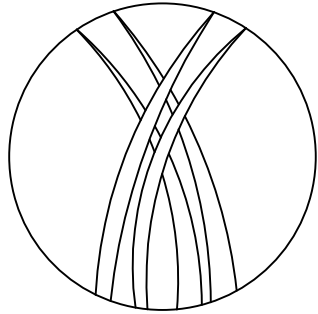
2. Irrigation scheduling shall be regulated by automatic irrigation controllers.

3. Watering hours and duration shall be scheduled compliant with the requirements of Chapter 8.56.

4. A regular maintenance schedule shall include, but not be limited to, routine inspection, adjustment and repair of the irrigation system, aerating and dethatching turf areas, replenishing mulch, fertilizing, pruning, weeding and removing any obstruction to emission devices.

5. Repair of all irrigation equipment shall be promptly undertaken, using the originally installed components, or equivalent or enhanced components compatible with the irrigation system.

6. Landscape areas shall be permanently maintained and kept free of weeds, debris and litter; plant materials shall be maintained in a healthy growing condition and diseased or dead plant materials shall be replaced, in kind, pursuant to the approved plans within thirty (30) days. Alternatively, diseased or dead plant materials may be replaced with plant materials that have low water needs, as rated in the current edition of the Water Use Classification of Landscape Species.



Revision	Date	By
	09-8-18	
	10-26-18	
	03-25-19	
	05-26-19	

Date: 07-28-18

Scale: -

Drawn by: JC

Sheet:

L-3.1

PUBLIC WORKS STANDARD NOTES

GENERAL CONSTRUCTION NOTES:

1. CONSTRUCTION WORK HOURS ARE LIMITED TO 8:00 AM TO 6:00 PM, MONDAY THROUGH FRIDAY. WORK PROHIBITED ON SATURDAYS, SUNDAYS AND NATIONAL HOLIDAYS.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE PLANS, THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ("GREENBOOK"), AND CITY OF HERMOSA BEACH PUBLIC WORKS STANDARD PLANS
3. ALL WORK DONE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE BY A LICENSED CONTRACTOR WITH A CLASS A; C-8 OR C-12 LICENSE FOR ALL SIDEWALK, CURB AND GUTTER; C-12 LICENSE FOR ALL STREET PAVEMENT WORK; AND CLASS C-34 LICENSE FOR UTILITY WORK SUCH AS SEWER LATERAL, SEWER CAP AND UNDERGROUND UTILITY WORK IN CONJUNCTION WITH A SINGLE FAMILY RESIDENTIAL STRUCTURE.
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS. PUBLIC WORKS TEMPORARY RIGHT-OF-WAY PERMITS ARE REQUIRED FOR ANY SCAFFOLDING, UTILITY TRENCHING, LUMBER DROPS, CRANES, DUMPSTERS, ETC ON PUBLIC PROPERTY. THE PUBLIC WORKS PERMIT MUST BE ON THE JOB SITE AND AVAILABLE FOR REVIEW BY CITY OFFICIALS AT ALL TIMES. IF ANY WORK HAS BEGUN BEFORE OBTAINING A PERMIT, THE JOB WILL BE STOPPED UNTIL THE PERMIT IS OBTAINED.
5. ALL CONTRACTORS WORKING ON PUBLIC WORKS PROJECTS MUST HAVE A CURRENT CITY OF HERMOSA BEACH BUSINESS LICENSE.
6. THE CONTRACTOR SHALL CALL IN A LOCATION REQUEST TO UNDERGROUND SERVICE ALERT (USA) AT (800) 227-2800 TWO WORKING DAYS BEFORE PERFORMING ANY DIGGING. SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES THAT A DIGALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID.
7. ALL EXCAVATIONS SHALL BE BACKFILLED AT THE END OF EACH WORKING DAY AND ROADS OPENED TO VEHICULAR TRAFFIC UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
8. CONTACT PUBLIC WORKS FOR INSPECTION AT LEAST 24 HOURS IN ADVANCE. INSPECTIONS ARE AVAILABLE MONDAY THROUGH FRIDAY, 8:30 A.M. TO 12:00 A.M. AND 1:00 P.M. TO 4:30 P.M.; OFFICE COUNTER ASSISTANCE IS AVAILABLE FROM 7:00 A.M. TO 8:30 A.M. AND 4:30 P.M. TO 6:00 P.M.
9. ALL FORMS AND COMPACTION SHALL BE INSPECTED PRIOR TO ANY CONCRETE POUR OR ASPHALT BEING PLACED.
10. ALL SURVEY POINTS AND MONUMENTS SHALL BE PROTECTED IN PLACE OR RE-ESTABLISHED IF THEY ARE REMOVED OR DESTROYED DURING CONSTRUCTION.
11. THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL, DUST CONTROL, AND TEMPORARY DRAINAGE CONTROL AT ALL TIMES.
12. ALL CONSTRUCTION TO BE IN CONFORMANCE WITH THE REGULATIONS OF CAL-OSHA.

GENERAL NOTES FOR STREET AND STORM DRAIN IMPROVEMENTS:

1. ALL STREET CLOSURES REQUIRE A TRAFFIC CONTROL PLAN TO BE REVIEWED AND APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION. ALL TRAFFIC CONTROL SHALL BE PER THE WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) MANUAL. STREET CLOSURES APPROVED BY THE CITY ENGINEER WILL REQUIRE A MINIMUM OF 48 HOUR NOTICE TO BE POSTED AND DISTRIBUTED WITH PROPER DOOR-HANGERS TO ALL RESIDENCES ON SAME BLOCK. THE CONTRACTOR SHALL ALSO NOTIFY THE DISPATCH CENTER FOR HERMOSA BEACH POLICE AND FIRE DEPARTMENTS AT (310) 524-2750 OF ANY CLOSURES OR RESTRICTIONS IN ACCESS.
2. GRAFFITI IN FRESHLY POURED CONCRETE SHALL BE REMOVED BY WHATEVER MEANS NECESSARY UP TO AND INCLUDING REMOVAL AND REPLACEMENT.
3. ANY ASPHALT OR CONCRETE PAVEMENT WITHIN THE PROPERTY LIMITS THAT IS DAMAGED PRIOR TO CONSTRUCTION SHALL BE REMOVED AND REPLACED TO MEET CURRENT CITY STANDARDS.
4. ANY PUBLIC PROPERTY DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN KIND OR BETTER TO THE SATISFACTION OF THE CITY PUBLIC WORKS INSPECTOR. THE CITY SHALL AT ITS DISCRETION, AND IN THE INTEREST OF PUBLIC SAFETY, MAKE ANY REPAIRS DEEMED NECESSARY; THE COST OF WHICH WILL BE DEDUCTED FROM THE DEPOSIT HELD BY THE CITY.
5. ALL EXISTING PAVEMENT TO BE REMOVED SHALL BE SAW-CUT OR WHEEL-CUT AND REMOVED TO CLEAN STRAIGHT LINES.
6. AT ALL LOCATIONS WHERE NEW PAVEMENT JOINS EXISTING, THE EXISTING PAVEMENT SHALL BE COATED WITH AN ASPHALTIC EMULSION.

GENERAL NOTES FOR SEWER AND UTILITY IMPROVEMENTS:

1. SEPARATION OF SEWER AND WATER FACILITIES SHALL BE IN CONFORMANCE WITH LATEST EDITION OF THE STATE OF CALIFORNIA DEPT OF HEALTH SERVICES.
2. SEWER LATERALS SHALL BE CONNECTED TO THE SEWER MAIN WITH WYES.
3. THE SEWER LINE SHALL BE TESTED PRIOR TO MAKING PERMANENT SERVICE CONNECTIONS.
4. BACKFILL OF TRENCHES SHALL BE DONE IN LIFTS OF NO MORE THAN 8-INCHES WITH WATER AND APPROPRIATE COMPACTION TOOLS USED BETWEEN EACH LIFT. ONE SACK SLURRY MIX CAN BE USED IN PLACE OF NATIVE SOIL. AFTER BACKFILLING THE TRENCH, A TEMPORARY ASPHALT PATCH SHALL BE PLACED OVER THE TRENCH AND REMAIN FOR NO MORE THAN TWO WEEKS. THE FINAL PATCH SHALL BE A MINIMUM OF 5" THICK OR 1" THICKER THAN THE EXISTING PAVEMENT. THE CONTRACTOR SHALL FOLLOW THE LATEST HERMOSA BEACH STANDARD PLANS FOR AC AND P.C.C. PAVEMENT.
5. THE FINAL PATCH IN ASPHALT STREETS SHALL BE DONE IN TWO LIFTS, A BASE OF 3" MINIMUM 3/4" AGGREGATE AND A TOP LIFT OF 2" OF 3/8" AGGREGATE. ALL EDGES OF THE CUT ASPHALT TO BE TACKED THOROUGHLY AND THE PATCH COMPACTED BY MECHANICAL MEANS TO A HEIGHT SLIGHTLY HIGHER THAN THE EXISTING ASPHALT AND ALL EDGES TO BE TACKLE.
6. THE FINAL PATCH ON CONCRETE STREETS TO BE CLASS 3500 P.S.I (7 SACK). EXISTING CONCRETE TO BE DRILLED TWO AND ONE HALF INCHES (2 1/2") BELOW THE SURFACE TO A DEPTH OF 6" MINIMUM AND DOWELED WITH #5 REBAR ON 18" SPACING. FINISH TO MATCH EXISTING OR MEDIUM BROOM.
7. ALL UTILITY BOXES ARE TO BE ADJUSTED TO THE NEW GRADE. DAMAGED BOXES SHALL BE REPLACED. KEEP ALL UTILITY BOXES OUT OF DRAINAGE FLOW LINES, CURB RETURNS, DRIVEWAY APPROACH AND WHEEL CHAIR RAMPS, UNLESS APPROVED BY THE CITY ENGINEER.

JOB SAFETY REQUIREMENTS:

1. PROPER BARRICADES SHALL BE PLACED AROUND ANY CONSTRUCTION SITE WITHIN THE PUBLIC RIGHT-OF-WAY. THESE BARRICADES SHALL COMPLY WITH THE REQUIREMENTS OF THE WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) MANUAL.
2. ALL CONSTRUCTION FENCING SHALL BE BEHIND THE SIDEWALK AND ALL CONSTRUCTION MATERIAL WITHOUT PERMITS ARE TO BE BEHIND THE FENCE. SIDEWALKS ARE TO BE ACCESSIBLE TO PEDESTRIANS AT ALL TIMES.
3. NO CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIAL, PORTABLE TOILETS, DUMPSTERS, ETC. SHALL BE LEFT ON THE PUBLIC RIGHT-OF-WAY WITHOUT PROPER PERMITS. THESE OBSTRUCTIONS MUST HAVE PROPER BARRICADES WITH FLASHING YELLOW LIGHTS AFTER DARK.
4. ANY PUBLIC SIDEWALK DAMAGED TO THE POINT OF CAUSING A TRIP HAZARD MUST BE REPAIRED IMMEDIATELY. THE PANEL OF CONCRETE SHALL BE REMOVED AND PATCHED WITH A TEMPORARY ASPHALT PATCH AND MUST BE KEPT IN GOOD REPAIR UNTIL THE PERMANENT SIDEWALK IS CONSTRUCTED.
5. ALL VEHICLES THAT INTRUDE INTO A NORMAL TRAFFIC LANE MUST HAVE PROPER SIGNAGE AND BARRICADES AS REQUIRED BY THE (WATCH) MANUAL.
6. ALL WORK VEHICLES ARE SUBJECT TO ALL APPLICABLE PARKING RESTRICTIONS.
7. FLAGMEN ARE REQUIRED FOR ANY VEHICLES THAT BLOCK THE TRAVEL LANE AND REQUIRE TRAFFIC TO USE THE OPPOSING LANE TO PASS.

WATER QUALITY REQUIREMENTS:

1. PRECAUTIONS SHALL BE TAKEN TO PREVENT ANY CONSTRUCTION MATERIAL DEBRIS OR RUNOFF FROM ENTERING ANY PUBLIC RIGHT-OF-WAY OR COUNTY STORM DRAIN. ALL SAW CUT RESIDUE MUST BE RETAINED WITH BERMS OR SANDBAGS AND VACUUMED TO PREVENT IT FROM ENTERING INTO ANY STORM DRAIN SYSTEM.
2. SANDBAGS ARE REQUIRED FOR EROSION CONTROL DURING THE RAINY SEASON, OCTOBER 15TH THROUGH APRIL 15TH, AND MAY BE REQUIRED AT OTHER TIMES. SANDBAGS ARE REQUIRED AT NEARBY CATCH BASINS DURING CONSTRUCTION. SANDBAGS SHALL BE MAINTAINED AND IN GOOD CONDITION AT ALL TIMES.
3. MAKE SURE BROKEN PAVEMENT DOES NOT COME IN CONTACT WITH RAINFALL OR RUNOFF.
4. SHOVEL OR VACUUM SAW-CUT SLURRY AND REMOVE FROM THE SITE. FOR DISPOSAL INFORMATION CONTACT THE L.A. COUNTY DEPARTMENT OF PUBLIC WORKS AT 800-552-5218.
5. COVER OR BARRICADE STORM DRAIN OPENINGS DURING SAW-CUTTING.
6. DURING CONSTRUCTION:
- A. PROTECT CATCH BASINS AND MAINTENANCE HOLES WHEN APPLYING SEAL COAT, SLURRY SEAL, FOG SEAL, ETC.
- B. USE CHECK DAMS, DITCHES OR BERMS TO DIVERT RUNOFF AROUND EXCAVATIONS.
- C. COLLECT AND RECYCLE EXCESS ABRASIVE GRAVEL OR SAND.
- D. AVOID OVER-APPLICATION BY WATER TRUCKS FOR DUST CONTROL.
- E. NEVER HOSE DOWN "DIRTY" PAVEMENT OR SURFACES. CLEAN UP ALL SPILLS AND LEAKS USING "DRY" METHODS (WITH ABSORBENT MATERIALS AND /OR RAGS), OR DIG UP AND REMOVE CONTAMINATED SOIL. FOR DISPOSAL INFORMATION CALL (800) 552-5218.
- F. CATCH DRIPS FROM PAVER WITH DRIP PANS OR ABSORBENT MATERIAL (CLOTH, RAGS, ETC.) PLACED UNDER MACHINE WHEN NOT IN USE.

PROJECT DESCRIPTION:

1. DEMOLISH EXISTING HOUSE.
2. CONSTRUCT NEW TWO THREE-STORY SINGLE FAMILY RESIDENCE, EACH WITH AN ATTACHED 2-CAR GARAGE.

GRADING NOTES:

1. HAUL ROUTE MUST BE APPROVED BY ENGINEERING SERVICES. SEE CITY'S APPROVED ROUTE ON VICINITY MAP HEREON.
2. OFFSITE GRADING APPROVAL MUST BE OBTAINED IN WRITING.
3. BORROW OR DISPOSAL SITE MUST BE PERMITTED & BONDED (IF WITHIN CITY) AND PERMITTED.

DRAINAGE NOTE:

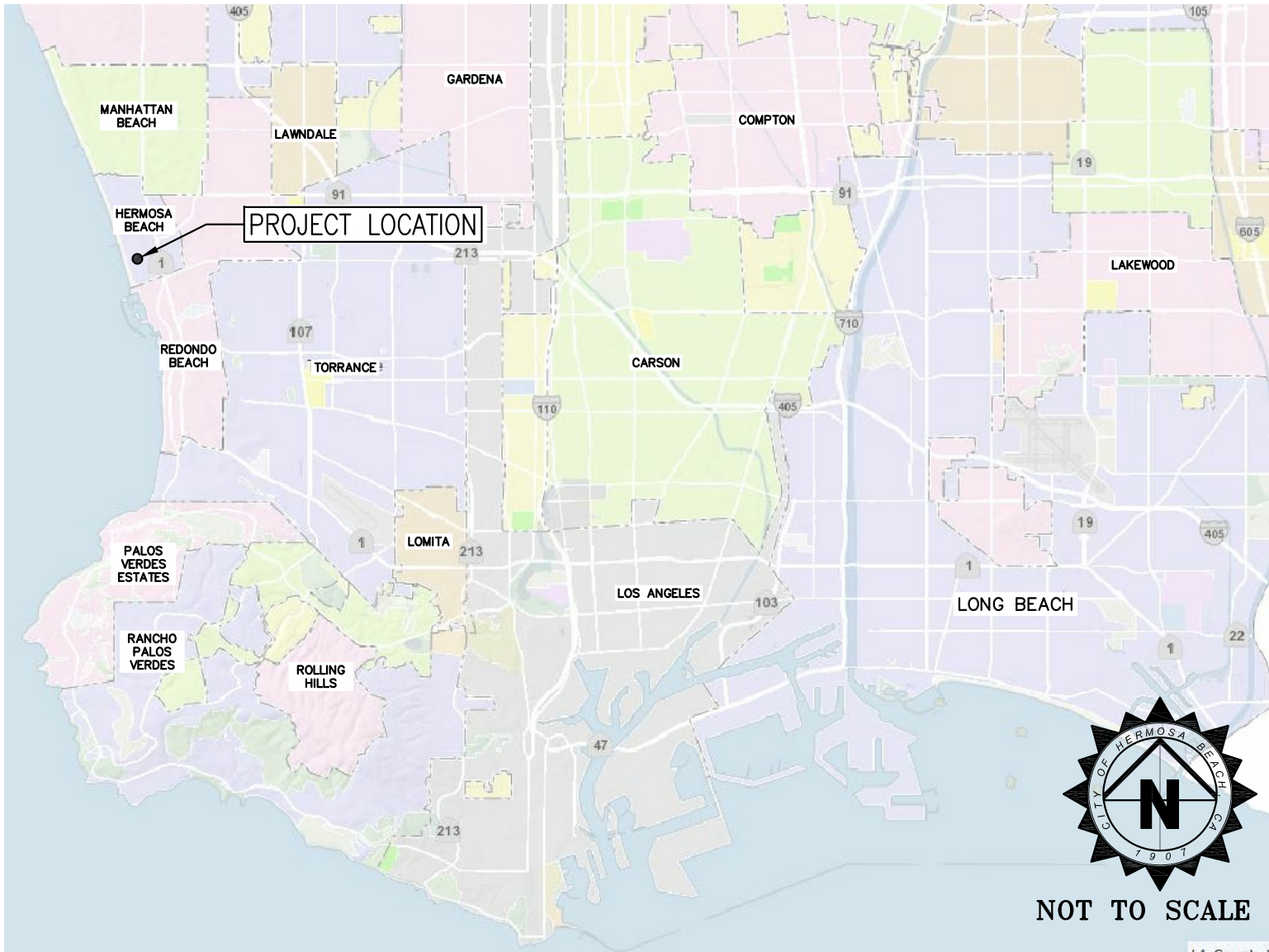
PROVISIONS FOR CONTRIBUTORY DRAINAGE SHALL BE MADE AT ALL TIMES.

PROJECT CUBIC YARDAGE DATA

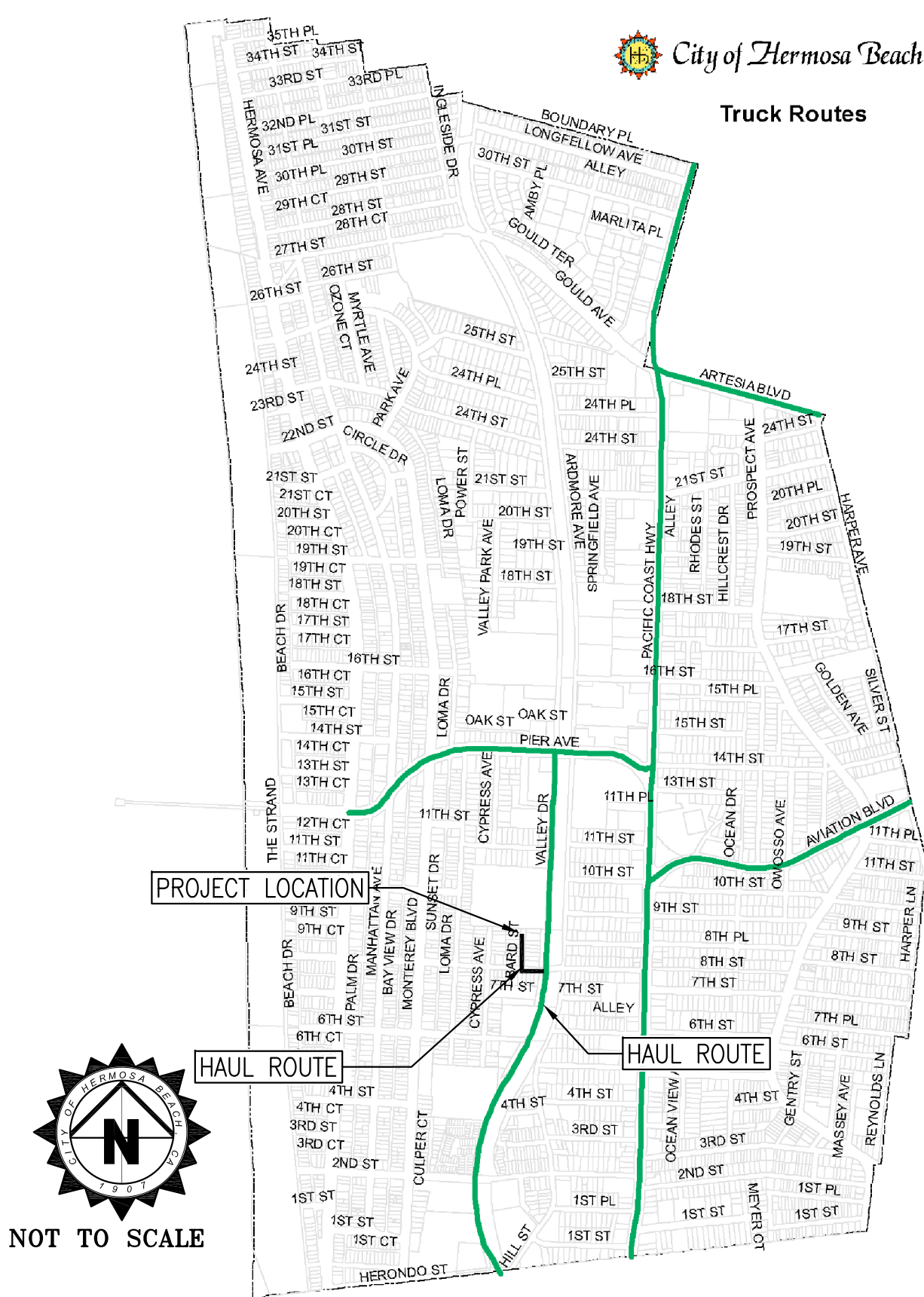
TOTAL CUT SOILS:	500 CUBIC YARDS ±
TOTAL FILL SOILS:	0 CUBIC YARDS ±
TOTAL EXPORT SOILS:	0 CUBIC YARDS ±
TOTAL IMPORT SOILS:	0 CUBIC YARDS ±

1. CONTRACTOR IS RESPONSIBLE FOR COMPLETING HIS OWN CUT AND FILL CALCULATIONS. VOLUMES SHOWN ARE FOR OWNERS PLANNING PURPOSES ONLY AND NO GUARANTEE IS EXPRESSED OR IMPLIED REGARDING THEIR ACCURACY.

REGIONAL MAP



VICINITY MAP



SHEET INDEX

- C-0 TITLE SHEET
C-1 SITE PLAN
C-2 DETAILS
C-3 DRIVEWAY PROFILE AND SECTIONS
C-4 EROSION CONTROL PLAN

PROPERTY INFORMATION:

APN: 4187-014-043
LOT# 2, BLOCK# T
TRACT NO.: 2002
LATITUDE & LONGITUDE: 33°51'38.5"N, 118°23'42.9"W
PROPERTY TYPE: RESIDENTIAL
LOT SIZE: 3,299 SF
SITE ADDRESS: 847 BARD STREET, HERMOSA BEACH, CA 90254

LID INFORMATION

SOIL INFILTRATION RATE: 88 IN/HR
SOIL TYPE: SILTY SAND
BMP TYPE: INFILTRATION PIT
TOTAL DRAINAGE AREA (ACRES): 0.075 ACRES

IMPERVIOUS AREA: 2,359 SF
PERVIOUS AREA: 940 SF
PDESIGN: 0.80 IN

CATCHMENT AREA (SF) = IMPERVIOUS AREA (SF)*0.9 + PERVIOUS AREA (SF)*0.1
SWOOD (CF) = CATCHMENT AREA (SF)*PDESIGN*0.083(FI/IN)

CATCHMENT AREA (SF) = 2,217 SF
SWOOD (CF) = 147 CF

TREATMENT VOLUME (CUBIC FEET): 7,741 CF
STORM WATER QUALITY DESIGN VOLUME (CUBIC FEET): 147 CF

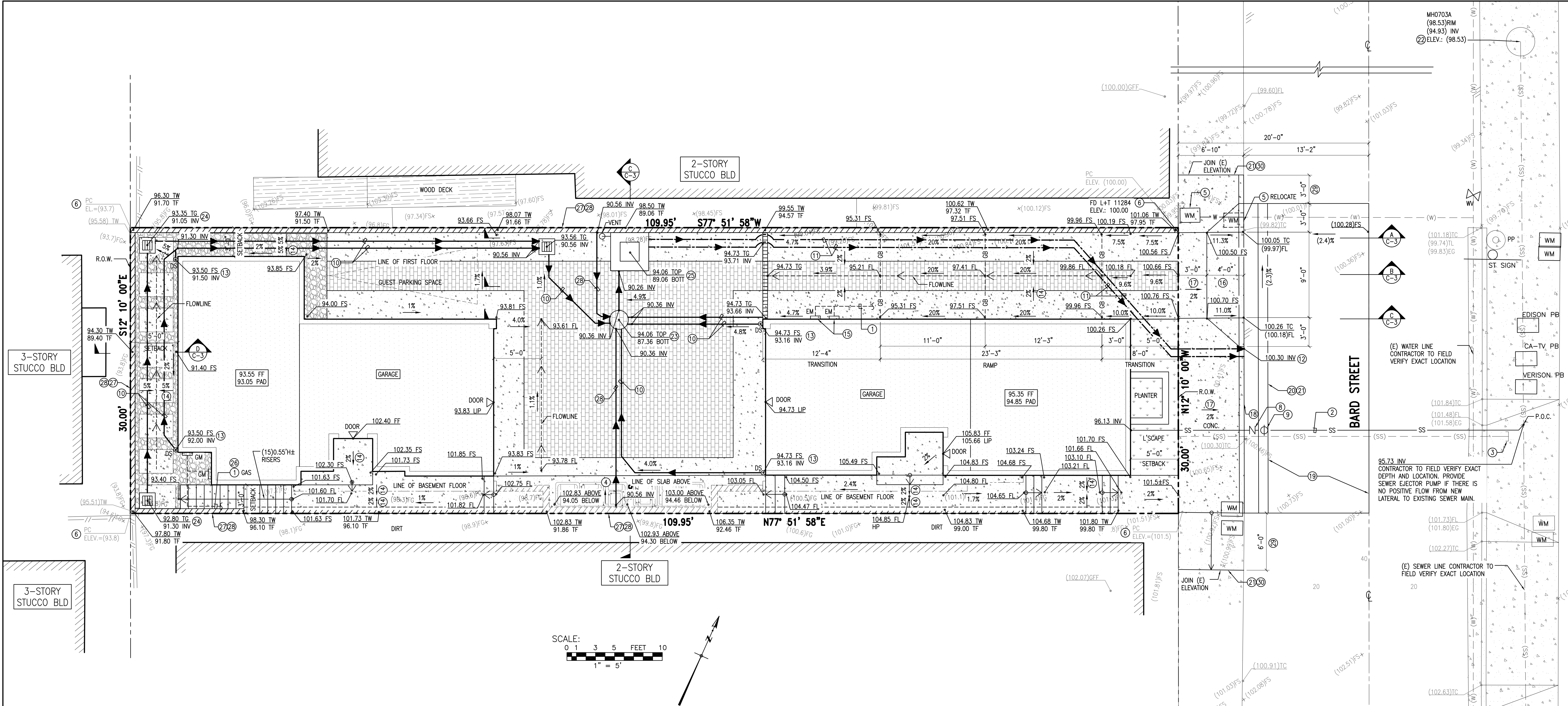
LEGEND:

	CATCH BASIN WITH FILTER INSERT
	4" DIA. PVC SDR-35 SANITARY SEWER PIPE
	4" DIA. PVC SCH 40 PERFORATED PIPE
	GRADE BREAK
	LIMIT OF NEW PAVING
	POINT OF CONNECTION
	GRASS/LANDSCAPE SURFACE
	CONCRETE PAVING SURFACE
	GRAVEL SURFACE
	PERMEABLE PAVING SURFACE
	79.50 FS PROPOSED ELEVATION
	(79.50)FS EXISTING ELEVATION

ABBREVIATIONS:

BOTT.	BOTTOM OF BASIN ELEVATION.
DS	DOWNSPOUT
(E)	EXISTING
ELE.	ELEVATION
EM	ELECTRICAL METER
FF	FINISH FLOOR
FL	FLOW LINE
FS	FINISH SURFACE
FG	FINISH GRADE
GM	GAS METER
GTEPB	GTE PULLBOX
GB	GRADE BREAK
H	HEIGHT
HP	HIGH POINT
INV	INVERT ELEVATION
PC	PROPERTY CORNER
P.O.C	POINT OF CONNECTION
PP	POWER POLE
RIM	RIM ELEVATION
SD	STORM DRAIN
TC	TOP OF CURB
TF	TOP OF FOOTING
TG	TOP OF GRATE
TVPB	TELEVISION PULL BOX
TW	TOP OF WALL
TYP.	TYPICAL
TT.	TOP OF TANK

BENCH MARK: TEMPORARY BENCHMARK TO BE MANHOLE RIM ELEVATION. ELEV. = 98.53 FEET SEE KEYNOTE 22 ON C-1.		REVISIONS				PLANS PREPARED BY: 04/30/2019 DATE CHRISTIAN J. PEREZ, RCE LICENSE No. 80680	CITY OF HERMOSA BEACH PUBLIC WORKS DEPARTMENT	PRIVATE IMPROVEMENT PLANS	FILE NUMBER 19036-CIVIL
		No.	DESCRIPTION	DATE			RECOMMENDED FOR PERMIT ISSUANCE:		847 BARD STREET CIVIL PLANS TITLE SHEET
		△	1ST SUBMITTAL	04/30/19					



CONSTRUCTION NOTES

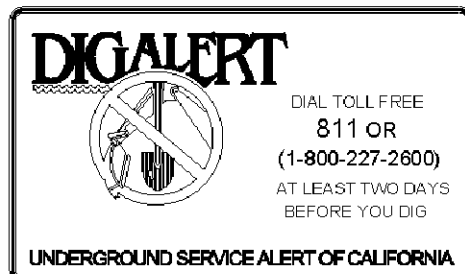
- ALL OVERHEAD UTILITIES IN BARD STREET ARE UNDERGROUNDED.
- CONSTRUCT NEW 6" VCP SEWER LATERAL PER APWA STD PLAN N' 222-1. CONNECTION IN TO MAIN LINE SHALL INCORPORATE THE INSTALLATION OF A NEW "WYE". SADDLES SHALL NOT BE ALLOWED. IF THE SEWER MAIN HAS A LINER, SADDLE CONNECTION SHALL BE USED.
- EXISTING SEWER LATERAL SHALL BE CAPPED AT MAIN IF SEWER LATERAL REPLACEMENT IS NOT AT SAME LOCATION. OBTAIN A PERMIT FROM PUBLIC WORKS FOR THE SEWER CAP.
- NO TRASH AREA IS PERMITTED WITHIN THE PUBLIC RIGHT OF WAY.
- NO METER BOXES ARE PERMITTED WITHIN 2 FT OF DRIVEWAY APPROACH.
- PROTECT SURVEY MONUMENT PER NOTE #10 OF THE GENERAL CONSTRUCTION NOTES HEREON.
- TRENCH SEPARATION REQUIREMENTS SHALL BE IN ACCORDANCE WITH CALIFORNIA DEPARTMENTS OF HEALTH SERVICES, "CRITERIA FOR THE SEPARATION OF WATER MAINS AND NON-POTABLE PIPELINES."

- BACKFLOW PREVENTION VALVE.
- 6" CLEANOUT.
- 4" PVC SDR-35 SOLID PIPE. SLOPE=0.02 MIN.
- 3" PVC SCH40 FORCE MAIN.
- (2) 3" C.I. PIPES THROUGH CURB PER SPPWC STD DETAIL No 150-3 (CURB DRAIN).
- DOWNSPOUTS.
- 5% MIN. SLOPE AWAY FROM BUILDING FOR UNPAVED/LANDSCAPE ADJACENT TO BUILDING AND 2% MIN. SLOPE AWAY FROM BUILDING FOR PAVEMENT ADJACENT TO BUILDING.
- ELECTRIC METER LOCATION.
- CONSTRUCT NEW DRIVEWAY APPROACH PER CITY STANDARD PLAN No 102. (W=9', Y=4', X=3').

- CONSTRUCT NEW 4" THICK P.C.C. SIDEWALK 6 FEET WIDE OR MATCH EXISTING ADJACENT SIDEWALK WIDTH, WHICHEVER IS GREATER, AT HILLCREST DR. FROM PL TO PL OR THE NEXT CONSTRUCTION JOINT, WHICHEVER IS GREATER, PER CITY STD PLAN No 106.
- CONSTRUCT NEW P.C.C. CURB & GUTTER PER CITY STD REFERENCE PLAN No.101 TYPE A. FROM P/L TO P/L TO CENTER LINE OR THE NEXT CONSTRUCTION JOINT WHICHEVER IS GREATER.
- 2" AC OVERLAY PER CITY STANDARDS FROM P/L TO P/L TO C/L OR THE NEXT CONSTRUCTION JOINT WHICHEVER IS GREATER.
- AC PATCHBACK.
- SAWCUT (E) PAVING.
- TEMPORARY BENCHMARK (TBM).
- 2' DIA. X 3' DEEP INFILTRATION PIT.

- 12"x12" CATCH BASIN WITH FILTER INSERT.
- INSTALL TWO ZOELLER PUMPS MODEL 95 INSIDE A 30"x30"x48" DEEP PIT WITH SOLID COVER.
- INSTALL UNDERGROUND UTILITIES (SEWER ONLY. EXISTING WATER, GAS, ELECTRICAL, CABLE TO REMAIN). CONTRACTOR TO FIELD VERIFY EXACT LOCATION AND DEPTH OF EXISTING MAIN UTILITY LINES (CONTACT DIG ALERT). COORDINATE WITH THE UTILITY COMPANY & PUBLIC WORKS PRIOR TO INSTALLATION. REPAIR PAVING TO MATCH EXISTING. IF INSTALLATION IS IN A MORATORIUM STREET, PUBLIC WORKS WILL DETERMINE THE EXTENT OF THE AREA TO BE REPAVED.
- NEW RETAINING WALL PER SEPARATE PERMIT. PROVIDE PROVISIONS OF SHORING TO PROTECT ADJACENT WALL AND ASSOCIATED IMPROVEMENTS DURING EXCAVATION OPERATIONS. CONTRACTOR SHALL COMPLY WITH THE SOILS ENGINEERS RECOMMENDATIONS, DEVELOPED BY NORCAL ENGINEERING DATED 07/11/2018.
- 4" SUBDRAIN FROM FOUNDATION TO ECORAIN TANKS.
- TRANSITION FOR FUTURE IMPROVEMENTS ON NEIGHBOR'S PROPERTY.
- JOIN EXISTING GRADE.

BENCH MARK:
TEMPORARY BENCHMARK TO BE MANHOLE RIM ELEVATION.
ELEV. = 98.53 FEET
SEE KEYNOTE 22 ON C-1.



REVISIONS		
No.	DESCRIPTION	DATE
1	1ST SUBMITTAL	04/30/19



PLANS PREPARED BY:
CHRISTIAN J. PEREZ, RCE LICENSE No. 80680
DATE: 04/30/2019

CITY OF HERMOSA BEACH
PUBLIC WORKS DEPARTMENT
RECOMMENDED FOR PERMIT ISSUANCE:
DATE:

PRIVATE IMPROVEMENT PLANS
847 BARD STREET
CIVIL PLANS
SITE PLAN

FILE NUMBER
19036-CIVIL
C-1
SHT. 2 OF 5



NOT TO SCALE



NOT TO SCALE



AN ALARM SYSTEM & MECHANICAL OR ELECTRICAL ALTERNATORS SHOULD BE CONSIDERED FOR THE PUMP SYSTEM.



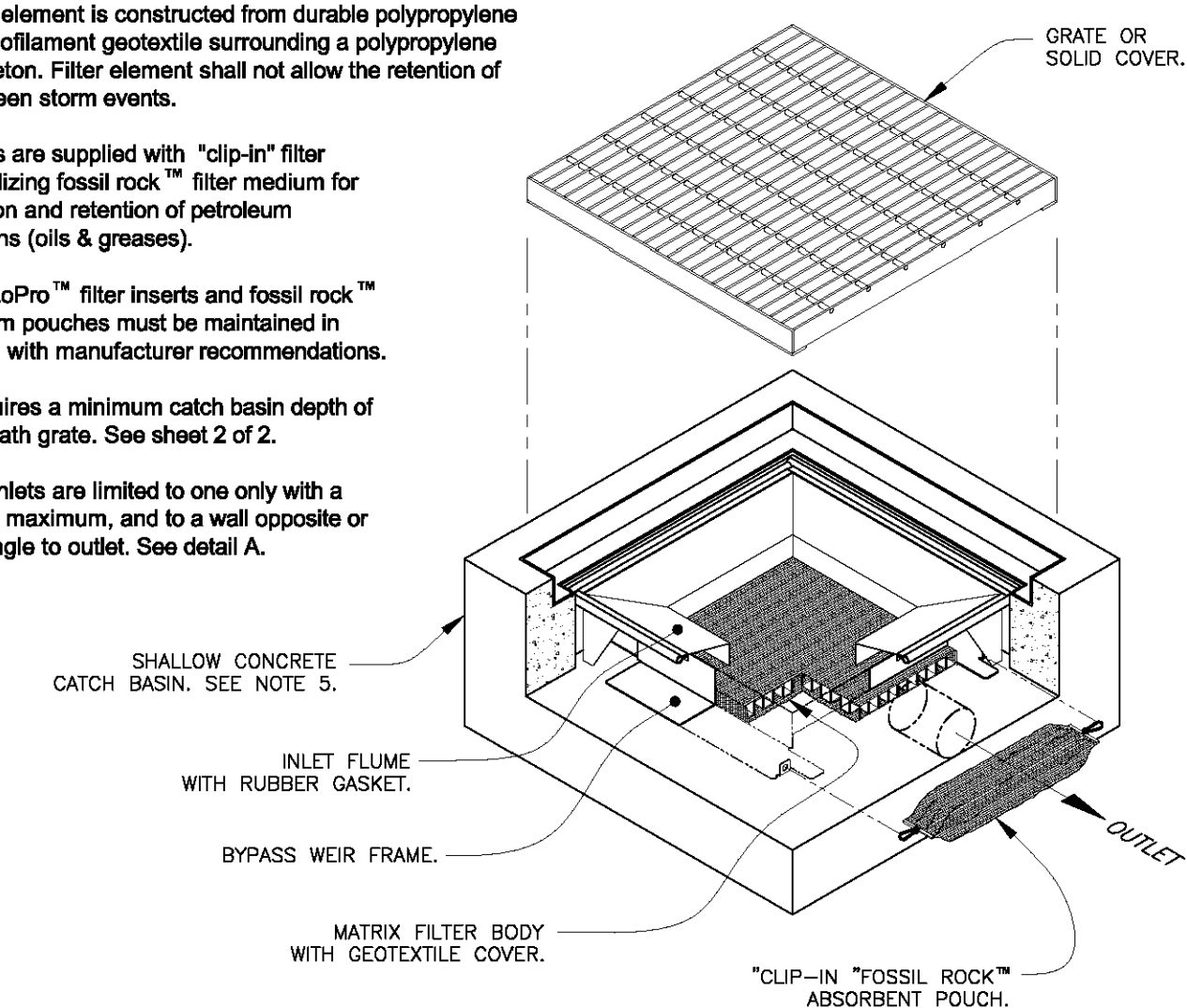
A schematic diagram of a square duct. It consists of a large outer square frame and a smaller inner square frame. The space between these two frames is divided into four quadrants by a horizontal and a vertical line. The top and bottom quadrants are labeled 'INLET' and 'OUTLET' respectively. The left and right quadrants are unlabeled. Each of these four quadrants contains a small square with a diagonal line from the top-left to the bottom-right corner. The central square area, bounded by the inner square frame, is filled with a dense cross-hatch pattern. Four ports are shown: one on the left side labeled 'INLET', one on the right side labeled 'OUTLET', and two on the top side, each with a small circular symbol above it. Arrows indicate flow direction: entering from the left 'INLET' and exiting from the right 'OUTLET'.

ADDITIONAL INLET OPTIONS
CAN BE ACCOMMODATED.
SEE NOTE 6.

DETAIL A
ADDITIONAL INLETS
SCALE: 1X

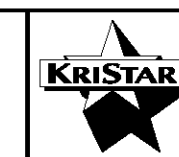
- NOTES:

1. Inlet flume & bypass weir frame shall be constructed from stainless steel Type 304.
2. Matrix filter element is constructed from durable polypropylene woven monofilament geotextile surrounding a polypropylene matrix skeleton. Filter element shall not allow the retention of water between storm events.
3. Filter inserts are supplied with "clip-in" filter pouches utilizing fossal rock™ filter medium for the collection and retention of petroleum hydrocarbons (oils & greases).
4. FloGard® LoPro™ filter inserts and fossal rock™ filter medium pouches must be maintained in accordance with manufacturer recommendations.
5. Device requires a minimum catch basin depth of 6.50' beneath grate. See sheet 2 of 2.
6. Additional inlets are limited to one only with a 6" diameter maximum, and to a wall opposite or at right angle to outlet. See detail A.



TITLE	
-------	--

FloGard® LoPro™
SHALLOW CATCH BASIN
FILTER INSERT



KriStar Enterprises, Inc.

360 Sutton Place, Santa Rosa, CA 95407
Ph: 800.579.8819, Fax: 707.524.8186, www.kristar.com

DRAWING NO.
FG-LP-0001

REV	ECO	DATE	
D	0104 JPR 6/6/12	JPR 12/18/06	SHEET 1 OF 2

NOTE:

1. USE FG-M1212.
2. INFLOW PIPE TO CATCH BASIN FILTER IS ABOVE FILTER MEDIA TO ENSURE FLOW IS FILTERED PRIOR TO DISCHARGE INTO TANKS.

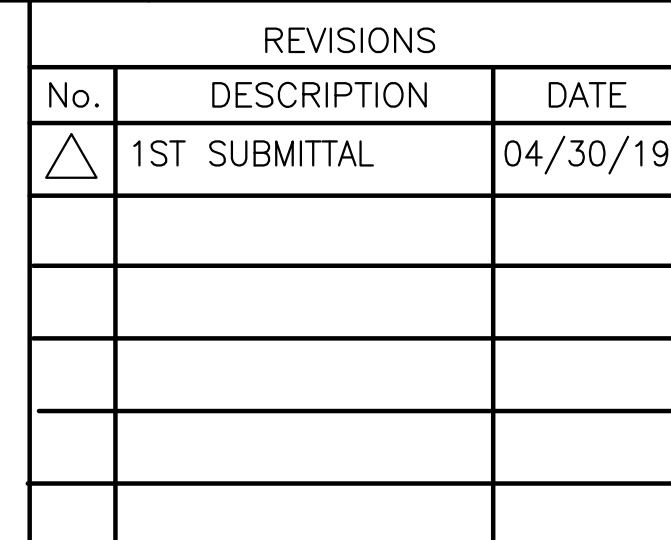


NOT TO SCALE

$$\frac{4}{C-2}$$

BENCH MARK:

TEMPORARY BENCHMARK TO BE MANHOLE RIM ELEVATION.
ELEV. = 98.53 FEET
SEE KEYNOTE (22) ON C-1.



PERU CONSULTANTS, LLP
CIVIL ENGINEERING & DRAFTING SERVICES

1976 W 234Th Street, Torrance, CA 90501
Phone: (310)-270-0811 peruconsultants@live.com

PLANS PREPARED BY:	
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CHRISTIAN J. PEREZ, RCE LICENSE No. 80680

04/30/2019

DATE _____

**CITY OF HERMOSA BEACH
PUBLIC WORKS DEPARTMENT**

RECOMMENDED FOR PERMIT ISSUANCE:

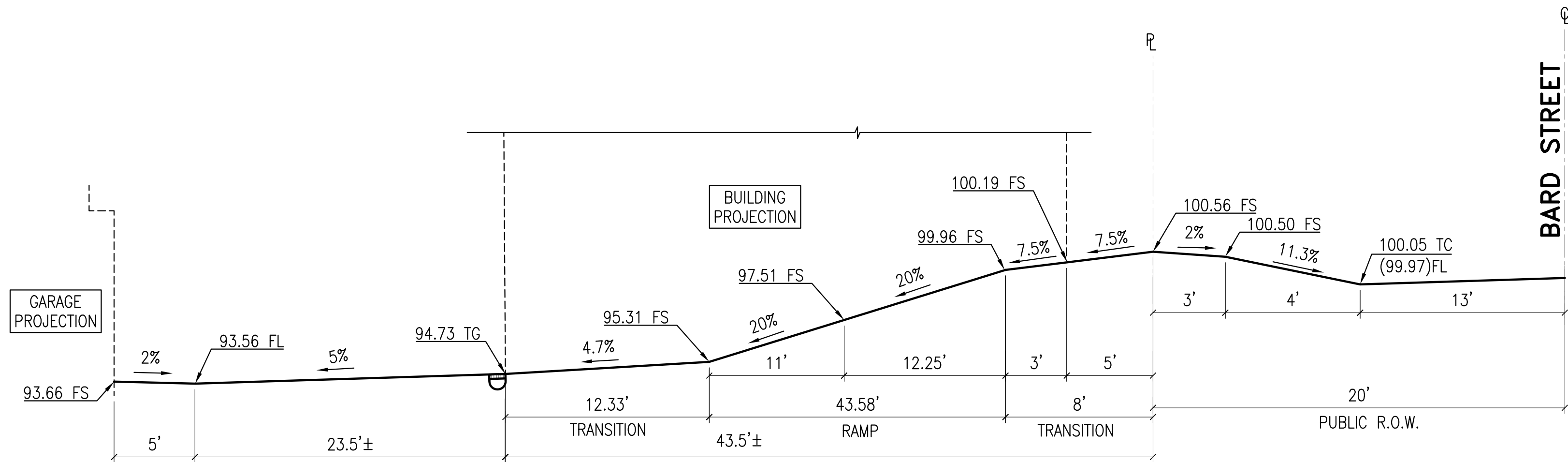
PRIVATE IMPROVEMENT PLANS

FILE NUMBER
19036-CIVIL

847 BARD STREET
CIVIL PLANS
DETAILS

C-2

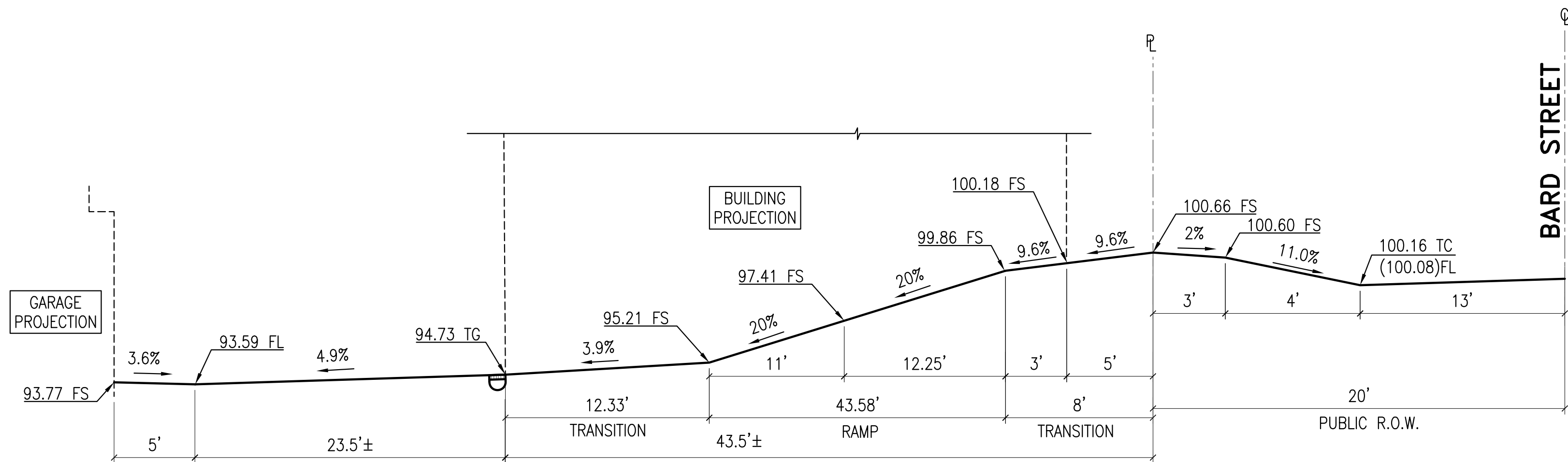
SHT. 3 OF 5



DRIVEWAY PROFILE

NOT TO SCALE

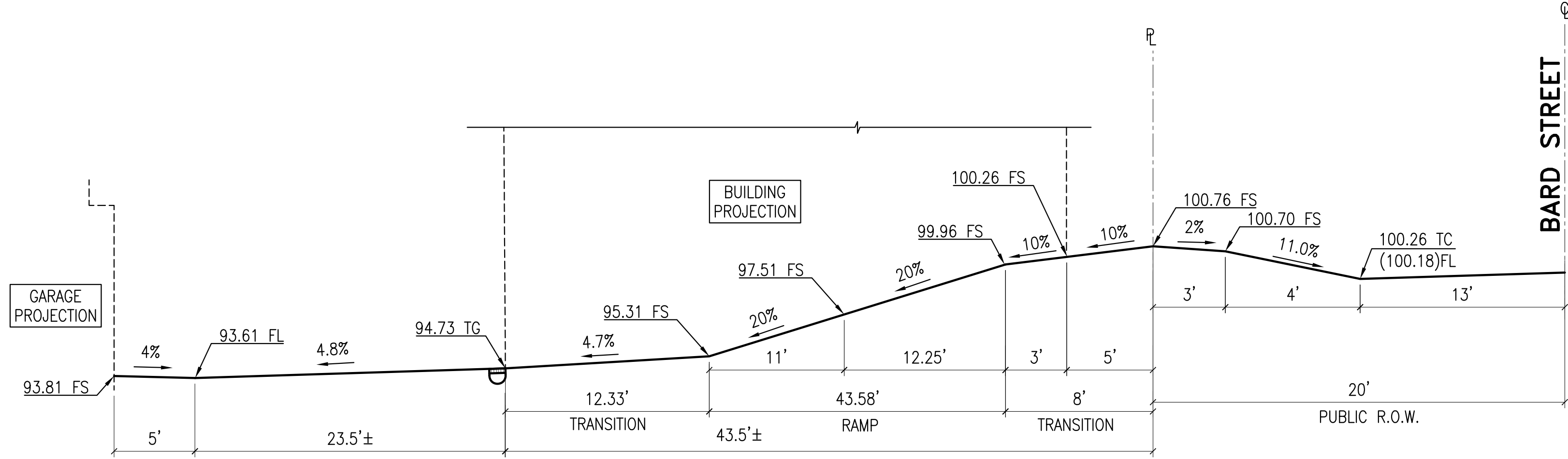
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C-3



DRIVEWAY PROFILE

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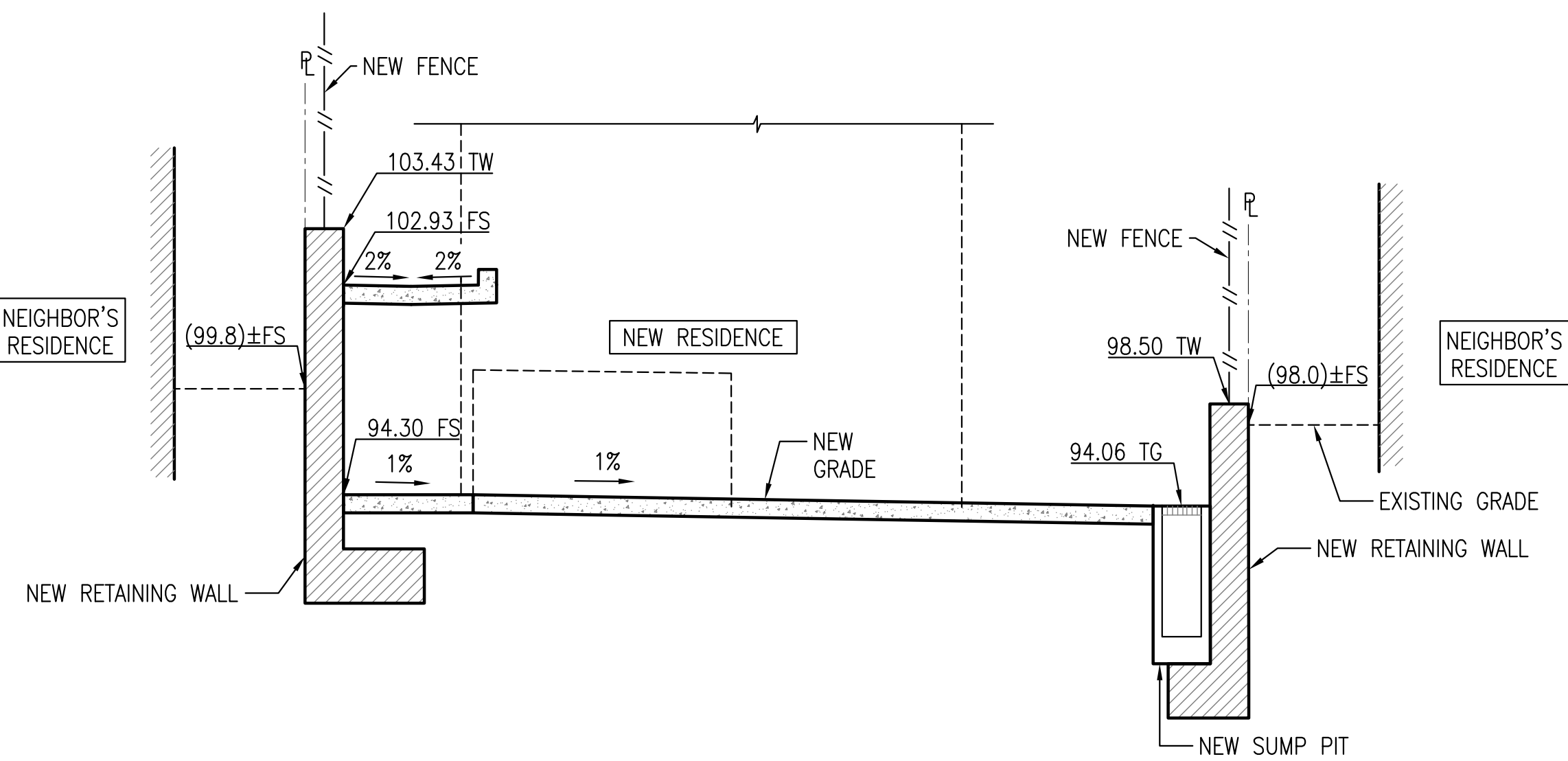
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DRIVEWAY PROFILE

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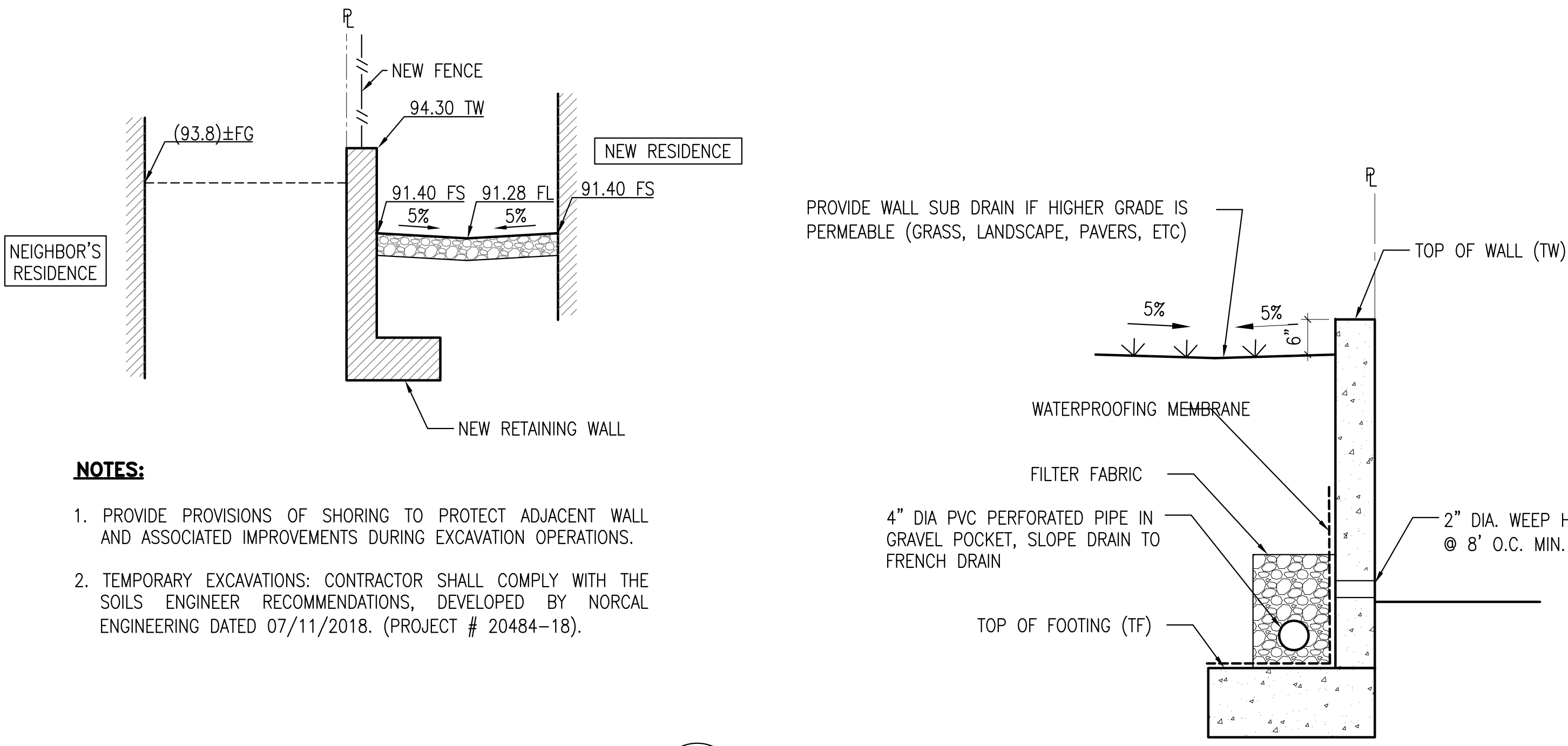
C
C-3



DRIVEWAY PROFILE

NOT TO SCALE

C
C-3



NOTES:

1. PROVIDE PROVISIONS OF SHORING TO PROTECT ADJACENT WALL AND ASSOCIATED IMPROVEMENTS DURING EXCAVATION OPERATIONS.
2. TEMPORARY EXCAVATIONS: CONTRACTOR SHALL COMPLY WITH THE SOILS ENGINEER RECOMMENDATIONS, DEVELOPED BY NORCAL ENGINEERING DATED 07/11/2018. (PROJECT # 20484-18).

DRIVEWAY PROFILE

NOT TO SCALE

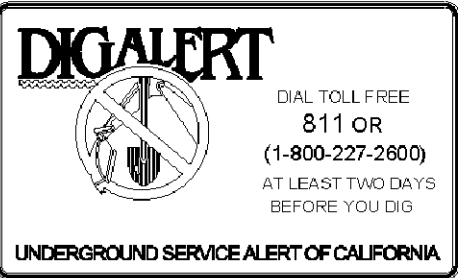
D
C-3

WALL SUB-DRAIN

NOT TO SCALE

1
C-3

BENCH MARK:
TEMPORARY BENCHMARK TO BE MANHOLE RIM ELEVATION.
ELEV. = 98.53 FEET
SEE KEYNOTE 22 ON C-1.



REVISIONS		
No.	DESCRIPTION	DATE
△ 1	1ST SUBMITTAL	04/30/19



PLANS PREPARED BY:
REGISTERED PROFESSIONAL ENGINEER
CHRISTIAN J. PEREZ
No. C80680
CIVIL
STATE OF CALIFORNIA
04/30/2019
DATE

CITY OF HERMOSA BEACH
PUBLIC WORKS DEPARTMENT
RECOMMENDED FOR PERMIT ISSUANCE:
DATE

PRIVATE IMPROVEMENT PLANS
847 BARD STREET
CIVIL PLANS
DRIVEWAY PROFILES AND SECTIONS

FILE NUMBER
19036-CIVIL
C-3
SHT. 4 OF 5

BMP'S SPECIFIED ON THIS PLAN REFERENCE THE NOVEMBER 2009 EDITION OF CASQA "CALIFORNIA STORMWATER HANDBOOK". IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN BMP DETAILS AVAILABLE AT WWW.CAQA.ORG.

THE FOLLOWING BMP'S ARE NOT SHOWN IN SPECIFIC LOCATIONS ON THIS PLAN AND ARE APPLICABLE TO THE PROJECT. THE CONTRACTOR SHALL INCORPORATE THESE BMP'S INTO THE PROJECT SCOPE:

A cross-sectional diagram of a trench used for erosion control. The trench is filled with a permeable geotextile filter fabric. On either side of the trench, there are sandbags, with the text 'SANDBAGS 2 HIGH' indicating their height. The diagram shows the fabric extending from the bottom of the trench up the sides, secured by the sandbags.

THE FOLLOWING BMP'S ARE SPECIFIED ON THIS PLAN:

THE FOLLOWING BMP'S SHALL BE USED IN THE CONTRACTOR STAGING AREA:

WM-1	MATERIAL STORAGE
WM-2	MATERIAL USAGE
WM-3	STORAGE MANAGEMENT
WM-4	SPILL PREVENTION KIT
WM-5	SOLID WASTE (TRASH)
WM-8	CONCRETE WASTE (WASHOUT)
WM-9	SEPTIC/SANITARY FACILITIES

1. UTILIZE APPROPRIATE DEWATERING SYSTEMS AND TECHNIQUES TO MAINTAIN THE EXCAVATED AREA SUFFICIENTLY DRY FROM GROUNDWATER AND/OR SURFACE RUNOFF SO AS NOT TO ADVERSELY AFFECT CONSTRUCTION PROCEDURES OR CAUSE EXCESSIVE DISTURBANCE OF UNDERLYING NATURAL GROUND.
2. PROVIDE AND STORE AUXILIARY DEWATERING EQUIPMENT ON THE SITE IN THE EVENT OF BREAKDOWN. PROVIDE NON-WOVEN FILTER FABRIC WHERE REQUIRED FOR UNDERDRAIN SYSTEMS. THE NON-WOVEN FILTER FABRIC SHALL BE SPECIFICALLY DESIGNED FOR SUBSURFACE DRAINAGE APPLICATIONS.
3. WATER FROM THE TRENCHES AND EXCAVATIONS SHALL BE DISPOSED OF IN SUCH A MANNER AS TO AVOID PUBLIC NUISANCE, INJURY TO PUBLIC HEALTH OR THE ENVIRONMENT, DAMAGE OR PUBLIC OR PRIVATE PROPERTY, OR DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR DAMAGE TO THE WORK COMPLETED OR IN PROGRESS. DO NOT DISCHARGE WATER INTO ANY SANITARY SEWER SYSTEM. SILTATION BARRIERS SHALL BE UTILIZED AS NECESSARY.
4. WATER FROM TRENCHES AND EXCAVATIONS SHALL NOT BE DISCHARGED DIRECTLY TO STORM DRAIN SYSTEMS. PROPER TREATMENT TO A SEDIMENTATION AREA IS TO TAKE PLACE PRIOR TO DISCHARGE TO ANY DRAINAGE SYSTEMS.
5. THE CONTRACTOR SHALL REPAIR ANY DAMAGE RESULTING FROM THE FAILURE OF THE DEWATERING OPERATIONS OR FROM FAILURE TO MAINTAIN ALL THE AREAS OF WORK IN SUITABLE DRY CONDITION.
6. PRECAUTIONS SHALL BE TAKEN TO PROTECT NEW WORK FROM FLOODING DURING STORMS OR FROM OTHER CAUSES. GRADING IN THE AREAS SURROUNDING ALL EXCAVATIONS SHALL BE PROPERLY SLOPED TO PREVENT WATER FROM RUNNING INTO THE EXCAVATED AREA OR TO ADJACENT PROPERTIES. WHERE REQUIRED, TEMPORARY DITCHES SHALL BE PROVIDED FOR DRAINAGE. UPON COMPLETION OF THE WORK AND WHEN DIRECTED, ALL AREAS SHALL BE RESTORED IN A SATISFACTORY MANNER AND AS DIRECTED.
7. ALL PIPELINES OR STRUCTURES NOT STABLE AGAINST UPLIFT DURING CONSTRUCTION OR PRIOR TO COMPLETION SHALL BE THOROUGHLY BRACED OR OTHERWISE PROTECTED.
8. DO NOT EXCAVATE UNTIL THE DEWATERING SYSTEM IS OPERATIONAL AND THE EXCAVATION MAY PROCEED WITHOUT DISTURBANCE TO THE FINAL SUBGRADE.
9. UNLESS OTHERWISE SPECIFIED, CONTINUE DEWATERING UNINTERRUPTED UNTIL THE STRUCTURES, PIPES, AND APPURTENANCES TO BE BUILT HAVE BEEN PROPERLY INSTALLED WHERE SUBGRADE MATERIALS ARE UNABLE TO MEET THE SUBGRADE DENSITY REQUIREMENTS DUE TO THE REMAINING DEWATERING TECHNIQUES. REMOVE AND REPLACE THE MATERIALS AS DIRECTED BY THE INSPECTOR.

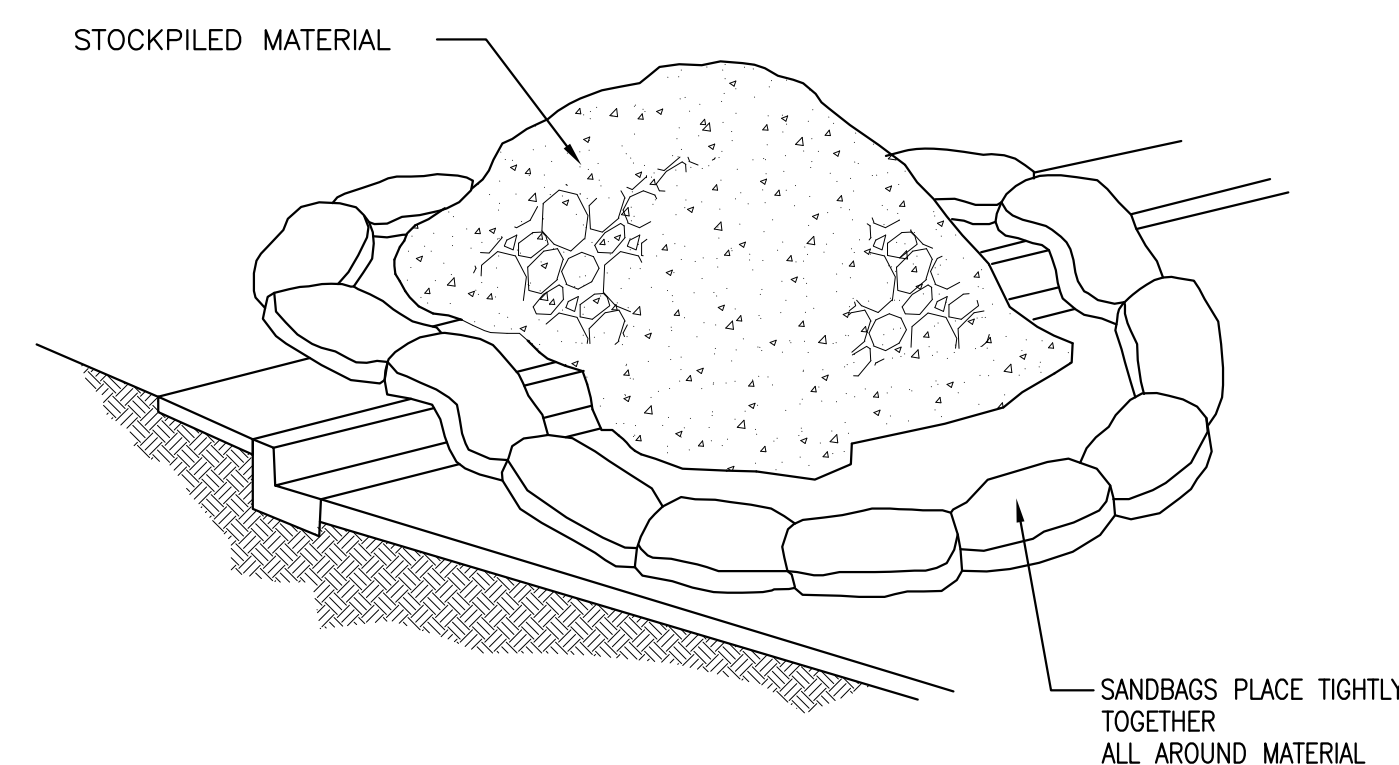
IT IS UP TO US. RAIN WATER OR URBAN RUN OFF MIXES WITH URBAN POLLUTANTS CREATES STORMWATER POLLUTION. THE POLLUTANTS INCLUDE: OIL AND OTHER AUTOMOTIVE FLUIDS, PAINT AND CONSTRUCTION DEBRIS, YARD AND PET WASTES, PESTICIDES AND LITTER. THE FOLLOWING BEST MANAGEMENT PRACTICES (BMP'S) WILL INSURE A CLEANER OCEAN AND CITY.

1. GENERAL BUSINESS PRACTICES
 - A. KEEP MATERIALS OUT OF THE RAIN. STORE THEM UNDER COVER, WITH TEMPORARY ROOFS OR PLASTIC SHEETS, PROTECTED FROM RAINFALL, RUNOFF AND THE WIND.
 - B. SCHEDULE EXCAVATION AND GRADING WORK FOR DRY WEATHER.
 - C. DEVELOP AND IMPLEMENT EROSION AND SEDIMENT CONTROL PLANS FOR EMBANKMENTS.
2. EQUIPMENT MAINTENANCE
 - A. MAINTAIN ALL VEHICLES AND HEAVY EQUIPMENT. INSPECT FREQUENTLY FOR LEAKS.
 - B. CONDUCT ALL VEHICLE/EQUIPMENT MAINTENANCE AND REFUELING AT ONE LOCATION – AWAY FROM STORM DRAINS.
 - C. PERFORM MAJOR EQUIPMENT/VEHICLE REPAIRS AND WASHING WHERE IT IS PERMITTED.
 - D. DO NOT USE DIESEL OIL TO LUBRICATE OR CLEAN EQUIPMENT OR PARTS.
3. ASPHALT AND CONCRETE REMOVAL
 - A. AFTER BREAKING UP PAVING, BE SURE TO REMOVE ALL CHUNKS AND PIECES. RECYCLE THEM AT A CRUSHING COMPANY. USE THE REFERRAL NUMBERS LISTED BELOW.
 - B. DISPOSE OF SMALL AMOUNTS OF DRY CONCRETE IN THE TRASH.
 - C. MAKE SURE BROKEN PAVEMENT DOES NOT COME IN CONTACT WITH RAINFALL OR RUNOFF.
 - D. SHOVEL OR VACUUM SAW-CUT SLURRY AND REMOVE FROM THE SITE. FOR DISPOSAL INFORMATION CONTACT THE L.A. COUNTY DEPARTMENT OF PUBLIC WORKS AT 800-552-5218.
 - E. COVER OR BARRICADE STORM DRAIN OPENINGS DURING SAW-CUTTING.
4. ASPHALT AND CONCRETE DISPOSAL OPTIONS
 - A. USE A CRUSHING COMPANY LIKE THOSE LISTED BELOW TO RECYCLE CEMENT, ASPHALT AND PORCELAIN RATHER THAN TAKING THEM TO A LANDFILL.
 - BLUE DIAMOND, SOUTH GATE, 800-300-6120
 - COPP CRUSHING, ANAHEIM, TEMECULA, CHINO AND SANTA FE SPRINGS, 310-802-2141
 - RJ NOBLE, SANTA ANA, 714-637-1550
5. DURING CONSTRUCTION
 - A. COVER CATCH BASINS AND MAINTENANCE HOLES WHEN APPLYING SEAL COAT, SLURRY SEAL, FOG SEAL, ETC.
 - B. USE CHECK DAMS, DITCHES OR BERMS TO DIVERT RUNOFF AROUND EXCAVATIONS.
 - C. NEVER WASH MATERIALS FROM EXPOSED AGGREGATE CONCRETE, ASPHALT, OR SIMILAR TREATMENTS INTO A STREET.
 - D. GUTTER OR STORM DRAIN. COLLECT AND RECYCLE, OR LEGALLY DISPOSE OF.
 - E. COLLECT AND RECYCLE EXCESS ABRASIVE GRAVEL OR SAND.
 - F. AVOID OVER-APPLICATION BY WATER TRUCKS FOR DUST CONTROL.
6. SPILLS
 - A. NEVER HOSE DOWN "DIRTY" PAVEMENT OR SURFACES. CLEAN UP ALL SPILLS AND LEAKS USING "DRY" METHODS (WITH ABSORBENT MATERIALS AND/OR RAGS), OR DIG UP AND REMOVE CONTAMINATED SOIL. FOR DISPOSAL INFORMATION, CALL (800) 552-5218.
 - B. CATCH DRIPS FROM PAVER WITH DRIP PANS OR ABSORBENT MATERIAL (CLOTH, RAGS, ETC.) PLACED UNDER MACHINE WHEN NOT IN USE.



MATERIAL STORAGE:

1. DIRT AND OTHER CONSTRUCTION RELATED MATERIALS PLACED IN THE STREET OR ON OTHER IMPERVIOUS SURFACES MUST BE CONTAINED WITH SANDBAGS OR OTHER MEASURES TO PREVENT TRANSPORT TO THE STORMDRAIN SYSTEM.
2. ANY CONSTRUCTION MATERIAL STORED OR STOCKPILED ON-SITE SHALL BE PROTECTED FROM BEING TRANSPORTED BY THE FORCE OF WIND OR WATER.

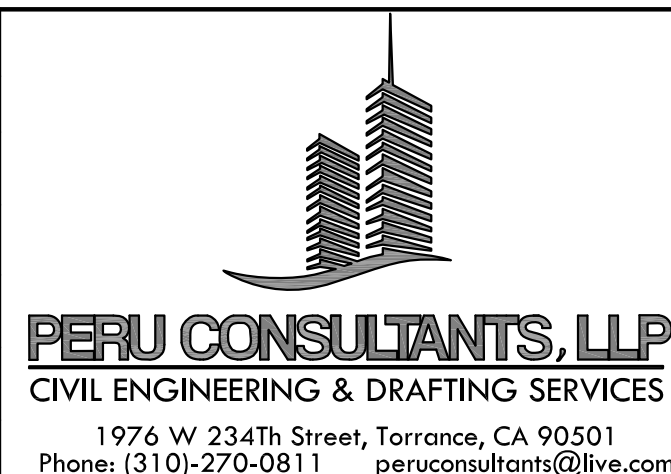


WM-3 STOCKPILE MANAGEMENT
NOT TO SCALE

BENCH MARK:
TEMPORARY BENCHMARK TO BE MANHOLE RIM ELEVATION
ELEV. = 98.53 FEET
SEE KEYNOTE (22) ON C-1.



REVISIONS		
No.	DESCRIPTION	DATE
△	1ST SUBMITTAL	04/30/19



PLANS PREPARED BY:	
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CHRISTIAN J. PEREZ, RCE LICENSE No. 80680

**CITY OF HERMOSA BEACH
PUBLIC WORKS DEPARTMENT**

RECOMMENDED FOR PERMIT ISSUANCE:

PRIVATE IMPROVEMENT PLANS

FILE NUMBER
19036-CIVIL

847 BARD STREET
CIVIL PLANS
EROSION CONTROL PLAN

C-4
SHT. 5 OF 5