

ABBREVIATIONS

AND
ANGLE
AT
CENTERLINE
DIAMETER OR ROUND
PERPENDICULAR
ROUND OR NUMBER
PENNY (WEIGHT)

&
24
Ø
C
⊥
#

A.B
ABV.
A/C
A.C.
ACOUS.
A.D.
ADJ.
AGGR.
AL
APPROX.
ASPH.
ARCH.
B.B.
BD.
BITUM.
BLDG.
BLK.
BLKG
BM.
B.N.
BOT.
BTWN.
CAB.
C.B.
CER.
C.I.
CLP.
C.L.
CLG.
CLHG.
CLO.
CLR.
COL.
CONC.
CONN.
CONST.
CONT.
CORR.
CNTR.
CTR.
CTSK.
DBL.
DEPT.
DET.
D.F.
DIA.
DIAG.
DIM.
DISP.
DN.
D.O.
DO.
DR.
DS.
DWE.
DWR.
E.
E.A.
E.G.
ELEV.
ELEC.
EMER.
E.N.
ENCL.
E.P.
EQ.
EQUIP.
E.W.
EXIST.
EXPO.
EXP.
EXT.
F.A.
F.B.
F.D.
FDM.
F.E.
F.E.G.
F.F.
F.G.
F.H.C.
FHL.
F.J.
FLR.
FLUR.
FLASH.
F.O.C.
F.O.T.
F.O.M.
F.O.S.
F.PRF.
F.S.
FT.
FTG.
FURR.
FUT.
GA.
GALV.
G.B.
G.I.
G.L.B.
GND.
GYP.
H.B.
H.C.
HRD.
HDWD.
HDWE.
HT.
HT.
H.M.
HNGR.
HORIZ.
HR.
HS.
H.V.A.C.

JAN.
JST.
JT.
KIT.
LAB.
LAC.
LAM.
LAV.
L.H.
L.KR.
L.L.H.
L.L.V.
LT.
LT. WT.
MAX.
M.C.
MECH.
MEM.
MEMB.
MFR.
MHL.
MIR.
MISC.
M.O.
MTD.
MTL.
MUL.
N.
N.G.
N.I.C.
NO.
NOM.
N.T.S.
O
O.A.
OBS.
O.C.
O.D.
OFF.
O.H.
OPNG.
OPP.
P.I.
PL.
P.L.
P.LAM.
PLYWD.
PR.
PRCST.
PROP.
P.S.I.
PT.
PTN.
R.
RAD.
R.D.
REF.
REFR.
REINF.
REGD.
RESL.
RFR.
RGR.
R.H.
R.W.
R.O.
RWD.
S.
S.B.
S.C.
SCH.
SECT.
SEL. ST.
S.F.
SH.
SHWR.
SHTS.
SIM.
SPEC.
SQ.
SST.
S.S.X.
STA.
STAG.
S.T.C.
STG.
STL.
STR.
STRUC.
SUSP.
SYM.
T.
T.B.
T&B
T.C.
TEL.
TEMP.
TFR.
T.F.
T&G
THK.
THRU.
T.P.
T.S.
T.S.TL.
T.V.
T.W.
TYP.
UNF.
UNO.
VERT.
VEST.
W.
W/
W.C.
WD.
WDW.
W/O.
WP.
WSC.
WT.
W.W.M.

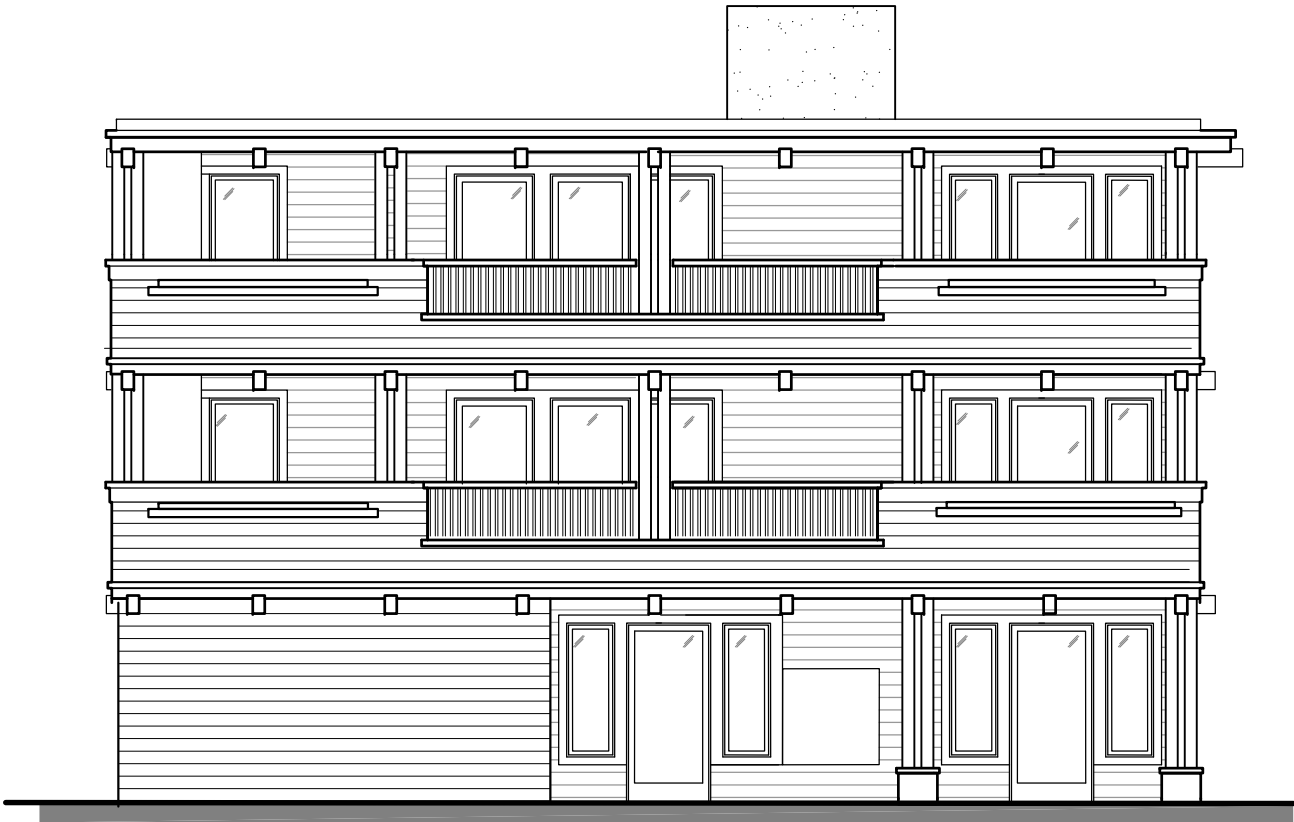
JANITOR
JOIST
JOINT
KITCHEN
LABORATORY
LAC SCREW
LAMINATED
LAVATORY
LEFT HAND
LOOKER
LONG LEG HORIZONTAL
LONG LEG VERTICAL
LIGHT
LIGHT WEIGHT
MAXIMUM
MECHANICAL CABINET
MECHANICAL
MEMBER
MEMBRANE
MANUFACTURER
MANHOLE
MINIMUM
MIRROR
MISCELLANEOUS
MOUNTED
METAL
MULLION
NORTH
NATURAL GRADE
NOT IN CONTRACT
NUMBER
NOMINAL
NOT TO SCALE
OVEN
OVERALL
OBSOURE OBSERVE
ON CENTER
OUTSIDE DIAMETER
OFFICE
OVER HEAD
OPENING
OPPOSITE
PANEL INDEX
PLATE
PROPERTY LINE
PLASTIC LAMINATE
PLYWOOD
PAIR
PRE-CAST
PROPERTY
POUNDS / SQUARE INCH
POINT
PARTITION
RISE
RADIUS
ROOF DRAIN
REFERENCE
REFRIGERATOR
REINFORCED
REGISTERED
RESILIENT
RAFTER
REGISTER
RIGHT HAND
ROOM
ROUGH OPENING
REDWOOD
SOUTH
SILL BOLT
SOLID CORE
SCHEDULE
SECTION
SELECT STRUCTURAL
SUB FLOOR
SHELF
SHOWER
SHEATHING
SIMILAR
SPECIFICATION
SQUARE
STAINLESS STEEL
SERVICE SINK
STATION
STAGGERED
SOUND TRANSMISSION CLASS
STRONG
STEEL
STORAGE
STRUCTURAL
SUSPENDED
SYMMETRICAL
TREAD
TOP OF BEAM
TOP AND BOTTOM
TOP OF CURB
TELEPHONE
TEMPORARY/TEMPERED
TERRAZZO
TOP OF FRAME
TONGUE & GROVE
THICK
THROUGH
TOP OF PAVEMENT
TOP OF SHEATHING
TOP OF STEEL
TELEVISION
TOP OF WALL
TYPICAL
UNFINISHED
UNLESS NOTED OTHERWISE
VERTICAL
VESTIBULE
WEST
WITH
WATER CLOSET
WOOD
WINDOW
WITHOUT
WATERPROOF
WARRANTY
WEIGHT
WELODED WIRE MESH

ARCHITECTURAL

60.0
C-1
A1.1
A2.01
A2.02
A2.11
A2.12
A2.13
A2.14
A3.00
A3.01
A3.10
A3.11
A5.1

COVER SHEET
SITE SURVEY
SITE PLAN
EXISTING FIRST LEVEL FLOOR PLAN
EXISTING SECOND LEVEL FLOOR PLAN
PROPOSED FIRST LEVEL FLOOR PLANS
PROPOSED SECOND LEVEL FLOOR PLANS
PROPOSED THIRD LEVEL FLOOR PLANS
ROOF PLANS
EXISTING ELEVATIONS
EXISTING SITE IMAGES
PROPOSED EXTERIOR ELEVATIONS
PROPOSED EXTERIOR ELEVATIONS
DOOR & WINDOW SCHEDULES

NEW MOTEL BUILDING
FOR B&J CAPITAL GROUP INVESTMENTS
TO 10th STREET, HERMOSA BEACH, CA 90266



PROJECT DIRECTORY

ARCHITECT
PEHA & ASSOCIATES
67 14th STREET
HERMOSA BEACH, CA 90264
CONTACT: LARRY PEHA
TEL: (310) 312-1155
FAX: (310) 316-6631
EMAIL: LARRY@PEHAARCH.COM

LAND SURVEYOR
PACIFIC LAND CONSULTANTS, INC.
28050 BRADYWOOD DR.
RANCHO PALOS VERDES, CA 90275
CONTACT: CHRIS VASSALLO
TEL: (310) 544-8689
EMAIL: FLSCAL@MSN.COMRCH.COM

PLANNING and ZONING INFORMATION

ZONING: C-2 RESTRICTED COMMERCIAL (DOWNTOWN DISTRICT)

PARKING CALCULATIONS
TOTAL PARKING STALLS REQUIRED: 6 STALLS
TOTAL PARKING STALLS PROVIDED: 6 STALLS

PARKING STALLS: ON-SITE 4 IN-LIEU 2

REQUIRED TURNING RADIUS: 20'-0"

LANDSCAPING:
PROPOSED 51 SQ.FT.

AREA CALCULATIONS

FIRST FLOOR LEVEL
GROUP R-1
120 - ELEVATOR LOBBY
121 - MOTEL GUEST ROOM
125 - ELEVATOR MACHINERY ROOM
126 - JANITORIAL CLOSET
127 - ELEVATOR PIT
128 - STAIRS #1
129 - STAIRS #2

AREA
85
564
41
19
59
98
82

TOTAL
564

SECOND FLOOR LEVEL
GROUP R-1
220 - ELEVATOR LOBBY
221 - MOTEL GUEST ROOM
222 - MOTEL GUEST ROOM

AREA
55
537
552

TOTAL
1,089

OPEN AREAS:
223 - EAST DECK
224 - WEST DECK

291
190

481

THIRD FLOOR LEVEL
GROUP R-1
320 - ELEVATOR LOBBY
321 - MOTEL GUEST ROOM
322 - MOTEL GUEST ROOM

AREA
65
537
552

TOTAL
1,089

OPEN AREAS:
323 - EAST DECK
324 - WEST DECK

291
213

504

PROJECT DATA

PROJECT INFORMATION:

PROJECT ADDRESS: 70 10th STREET
HERMOSA BEACH, CA 90264

OWNER NAME: B&J CAPITAL GROUP INVESTMENTS
JORGE LARA, PRESIDENT

OWNER ADDRESS: 414 TORRANCE BLVD.
TORRANCE, CA

ASSESSOR'S ID NUMBER: 418T-003-019

LEGAL DESCRIPTION: LOT 11 OF BLOCK 10 OF THE MAP OF HERMOSA BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1, PAGE(S) 25 TO 26, INCLUSIVE MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BUILDING TYPE: V-B SPRINKLERED
STORIES: (3) THREE STORY

LOT AREA: 4,023.65± SQ.FT.

EXISTING BUILDING TO REMAIN: 1,841 SQ.FT.

NEW BUILDING: 2,744 SQ.FT.

TOTAL BUILDING AREA ON SITE: 4,588 SQ.FT.

SCOPE OF WORK

NEW 2,744 SQ.FT. THREE STORY 5-UNIT MOTEL BUILDING AND EXISTING 1,841 SQ.FT. EXISTING SINGLE FAMILY DWELLING STRUCTURE TO REMAIN AS A 1-UNIT MOTEL USE TOTALING 6-UNITS WITH AN ANCILLARY REGISTRATION OFFICE.

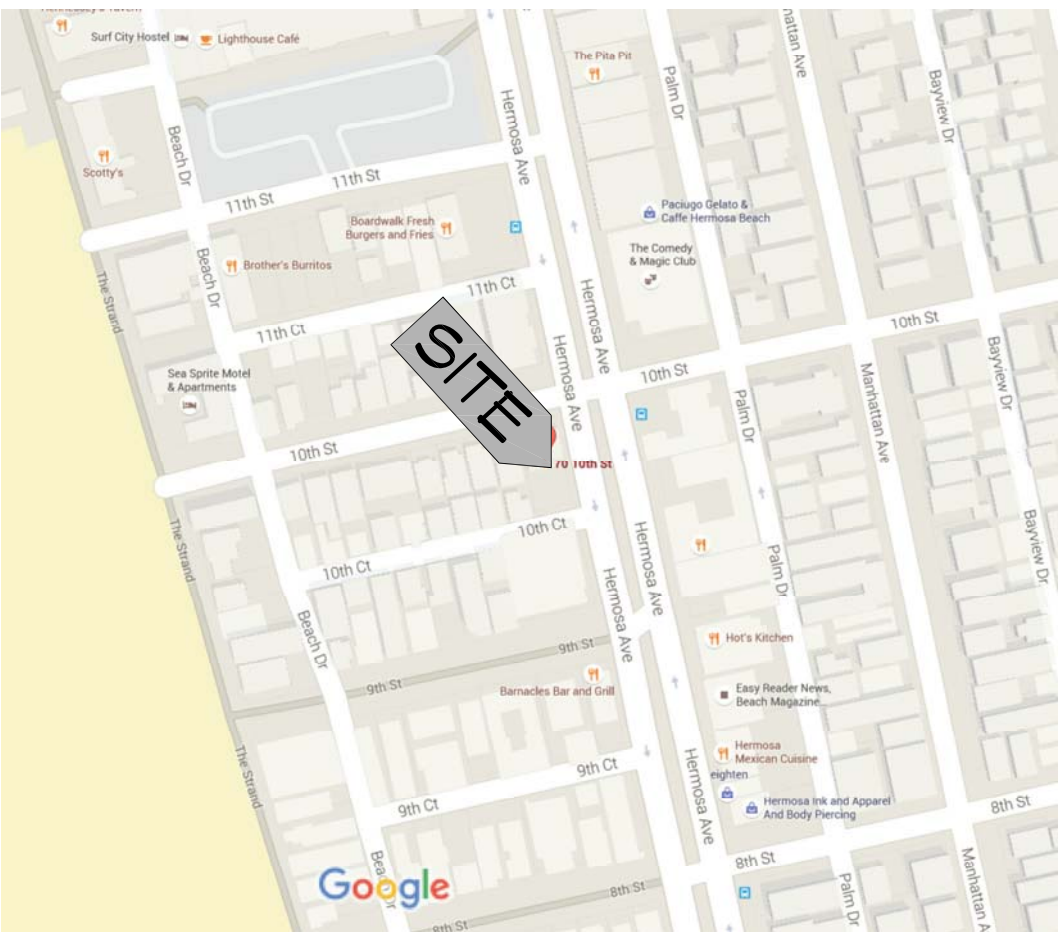
APPLICABLE CODES and REGULATIONS:

THE CURRENT VERSION OF THE HERMOSA BEACH MUNICIPAL CODE
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
NFPA 13 (2016) - STANDARD FOR THE INSTALLATION OF FIRE SPRINKLER SYSTEMS
NFPA 12 (2016) - NATIONAL FIRE ALARM and SIGNALING CODE

CONSTRUCTION TYPE:
EXISTING TYPE V-B

OCCUPANCY GROUP:
GROUP R-1 per Section 310.3

VICINITY MAP



SYMBOLS

 BUILDING SECTION

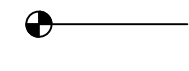
 WALL SECTION

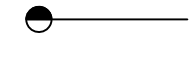
 INTERIOR ELEVATION

 DETAIL REFERENCE

 DOOR NUMBER
(SEE SCHEDULE)

 WINDOW
(SEE SCHEDULE)

 REVISIONS

 DATUM MARK POINT

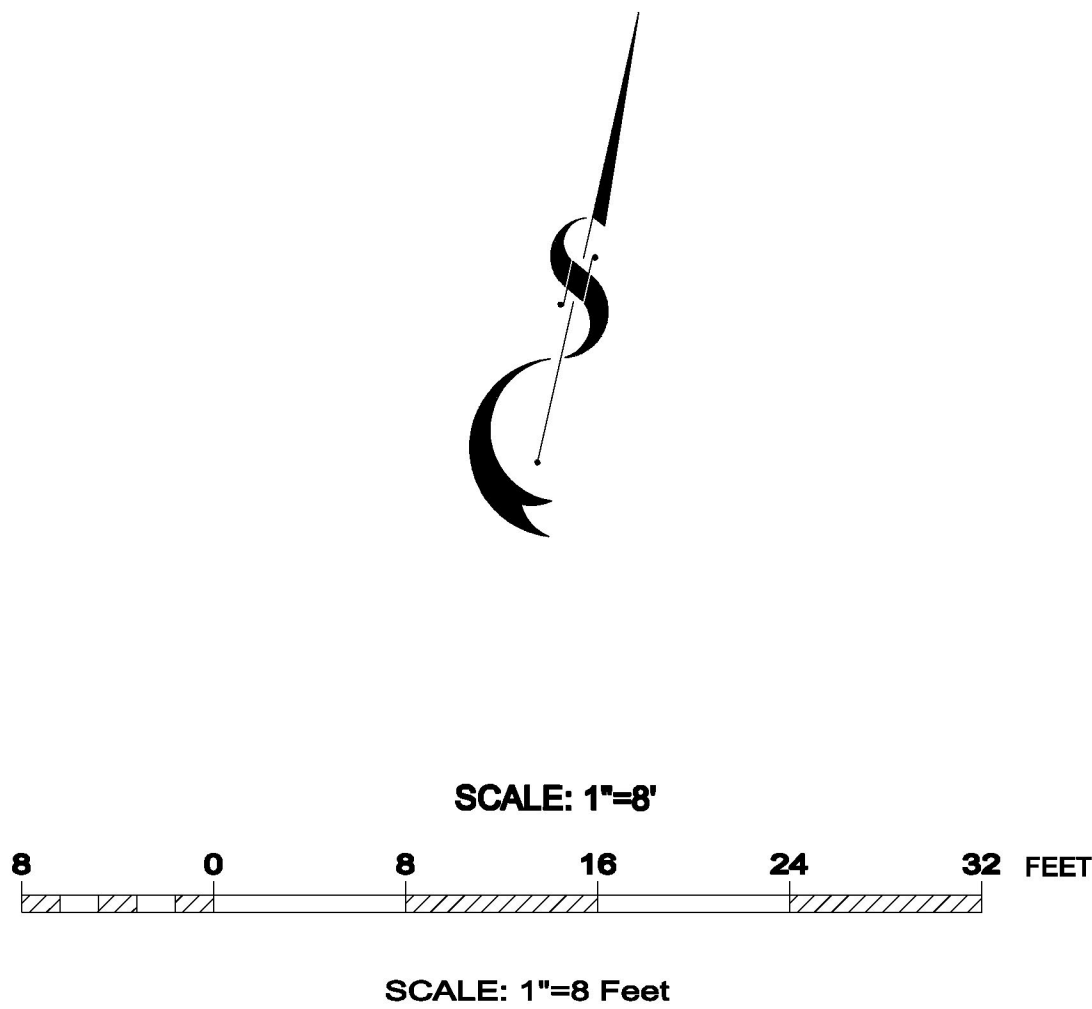
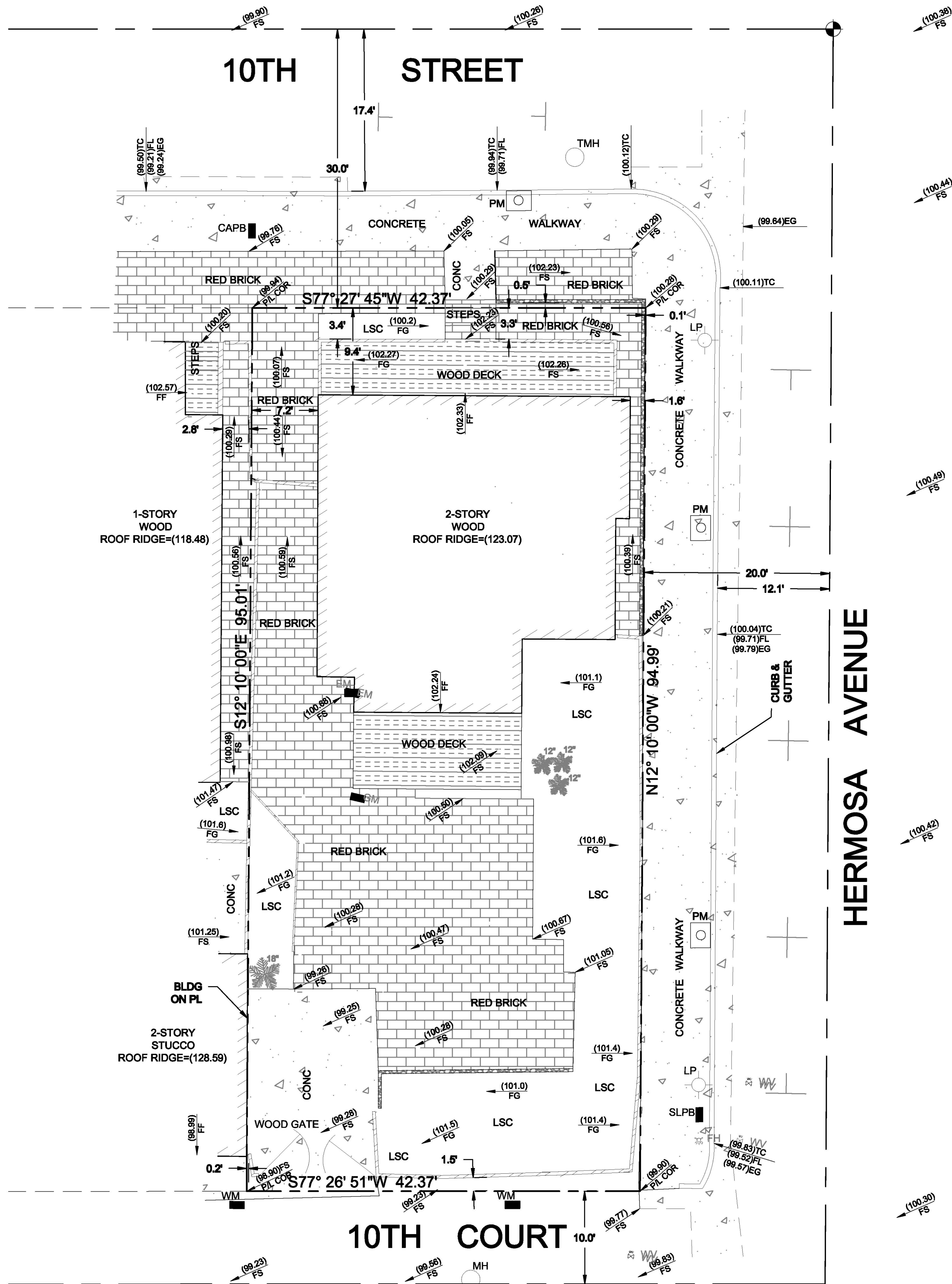
 MATCH LINE

DATE: 19.05.01
DRAWN: PS
JOB NO. 1601
DRAWING TITLE
TITLE SHEET
DRAWING NUMBER
GO.0

NEW MOTEL BUILDING FOR:
B&J CAPITAL GROUP INVESTMENTS
TO 10th STREET, HERMOSA BEACH, CA 90264

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F:\CHRIS V DWGS\16002\working\16002.dwg



LEGAL DESCRIPTION:

LOT 17 OF BLOCK 10 OF THE MAP OF HERMOSA BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1, PAGE(S) 25 TO 28, INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

LEGEND

CAPB	CABLE TV PULL BOX		CONCRETE
CLF	CHAINLINK FENCE		RED BRICK
CONC	CONCRETE		WOOD FENCE
COR	CORNER		ADJOINING PROP
DRWY	DRIVEWAY		PROPERTY LINE
EM	ELECTRICAL METER		
FF	FINISHED FLOOR		
FG	FINISHED GRADE		
FS	FINISHED SURFACE		
GM	GAS METER		
LP	LIGHT POST		
LSC	LANDSCAPE		
MH	MANHOLE		
P/L	PROPERTY LINE		
PM	PARKING METER		
PP	POWER POLE		
SLPB	SIGNAL LIGHT PULL BOX		
TW	TOP OF WALL		
WF	WROUGHT IRON FENCE		
WM	WATER METER		
WV	WATER VALVE		
WDFN	WOOD FENCE		
X-	ACROSS		

12' PALM TREE AND TRUNK DIAMETER

PLEASE NOTE

IF THIS DRAWING IS PROVIDED IN AN ELECTRONIC FORMAT (VIA EMAIL OR ON COMPUTER DISC) AS A COURTESY TO OUR CLIENT, THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. PACIFIC LAND CONSULTANTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY PACIFIC LAND CONSULTANTS, INC.

BENCHMARK

FD N&T, LS 5009; CL INTERSECTION OF 10TH STREET & HERMOSA AVE
ELEV=100.00 (ASSUMED)

SURVEY CERTIFICATION

I HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR OF THE STATE OF CALIFORNIA, THAT THIS PLAT CONSISTING OF ONE SHEET CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION IN JANUARY, 2016; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN. THIS SURVEY DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON.

CHRISTOPHER W. VASSALLO P.L.S. 8418
REGISTRATION EXPIRES 12-31-2016

DATE

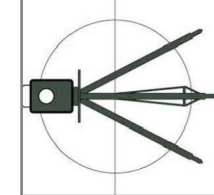
REVISION

NO. DATE

PLANS PREPARED BY:

PACIFIC LAND
CONSULTANTS, INC.

• SURVEYING SERVICE • TOPOGRAHY SERVICE • DATA SERVICE
P.O. BOX 2780 HERMOSA BEACH, CALIF. 90254
TEL: (949) 344-0888



TOPOGRAPHIC PLAN
PREPARED FOR: B&J CAPITAL GROUP INVESTMENTS
SITE ADDRESS: 70 10TH STREET
HERMOSA BEACH, CA 90254

PROFESSIONAL STAMP



DATE: 1/24/16

SCALE: 1" = 8'

DESIGNED: CWV DRAWN: CSH

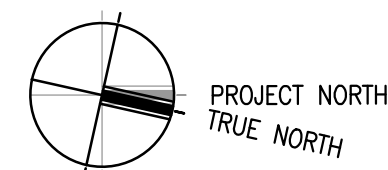
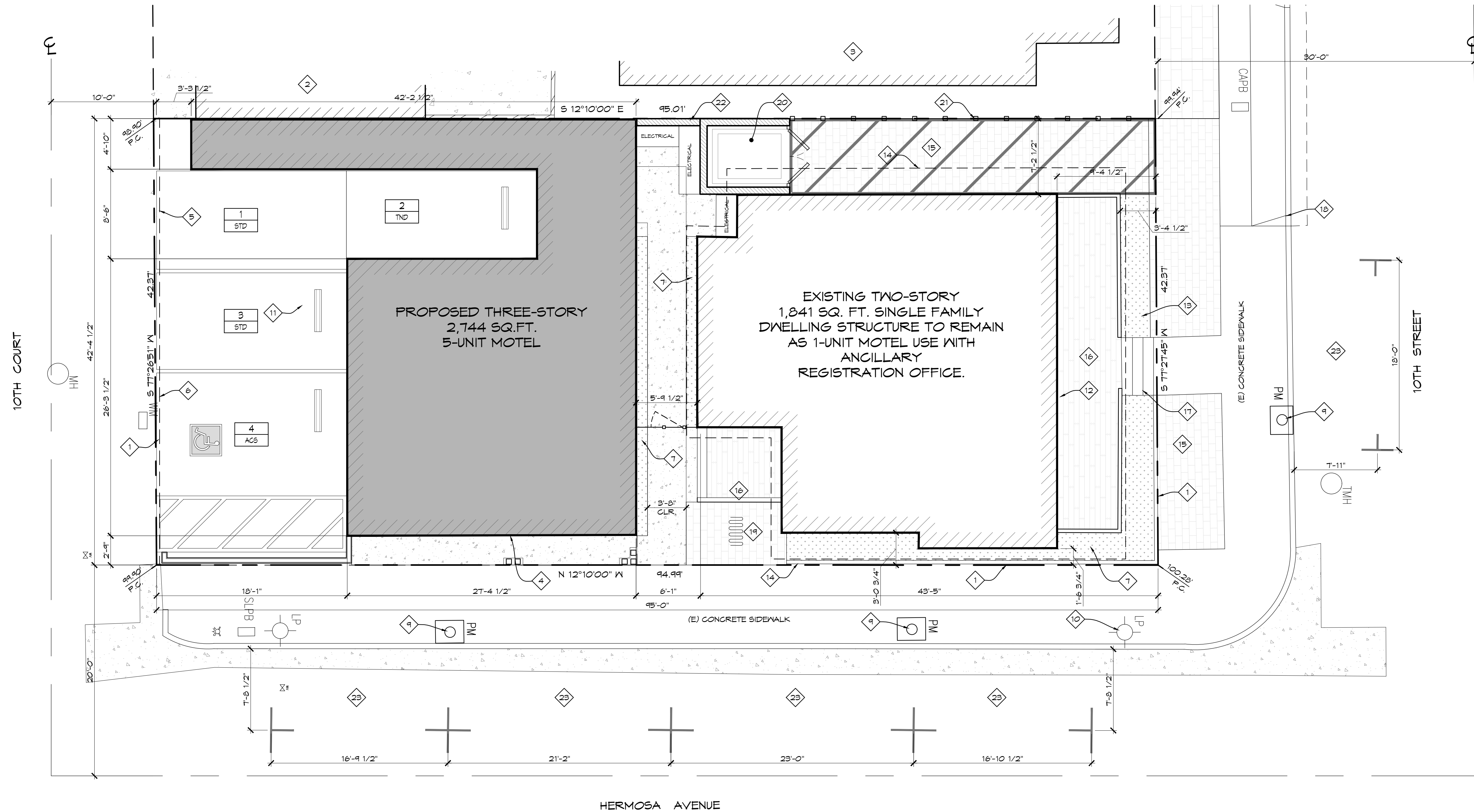
SHEET NO.

C-1

SHEET 1 OF 1

PROJECT NO.

16002TOPO



PROPOSED SITE PLAN SCALE: 3/16"=1'-0" 1

SITE PLAN KEYNOTES

- | | | | |
|---------------------------------------|--------------------------------------|---------------------------------------|---|
| 1 PROPERTY LINE | 7 (N) LANDSCAPE PLANTER AREA (51 SF) | 13 (E) LANDSCAPE PLANTER AREA (30 SF) | 19 (N) BIKE RACK FOR 8 BIKES |
| 2 (E) THREE STORY BUILDING | 8 (N) PEDESTRIAN PATH OF TRAVEL | 14 (E) ROOF LINE ABOVE | 20 (N) TRASH ENCLOSURE FOR 4 CU.YRD TRASH BIN |
| 3 (E) ONE STORY BUILDING | 9 (E) PARKING METER | 15 (E) BRICK SURFACE | 21 (N) 6'-0" MAX. HEIGHT STUCCO SURFACE TREATED MASONRY PROPERTY LINE WALL FINAL MATERIAL AND COLOR TO BE REVIEWED AND APPROVED BY THE DIRECTOR |
| 4 (N) FIRST LEVEL BUILDING PERIMETER | 10 (E) POWER/LIGHT POLE | 16 (E) WOOD DECK PORCH | 22 (N) 6'-0" MAX. HEIGHT BLOCK WALL |
| 5 (N) SECOND LEVEL BUILDING PERIMETER | 11 PARKING AREA | 17 (E) BRICK STEP ENTRY | 23 (E) METERED STREET PARKING. SEE PLANS FOR DIMENSIONS. |
| 6 (N) THIRD LEVEL BUILDING PERIMETER | 12 (E) TWO-STORY BUILDING TO REMAIN | 18 (E) CURB | |

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DATE	ISSUE/REVISION
17/06/21	PLANNING SUBMITTAL
17/09/21	PARKING PLAN & P.C. RESUBMIT
17/12/21	P.C. RESUBMIT
19/01/21	P.C. RESUBMIT
19/05/21	P.C. RESUBMIT

NEW MOTEL BUILDING FOR:
B&J CAPITAL GROUP INVESTMENTS
TO 10TH STREET, HERMOSA BEACH, CA 90254

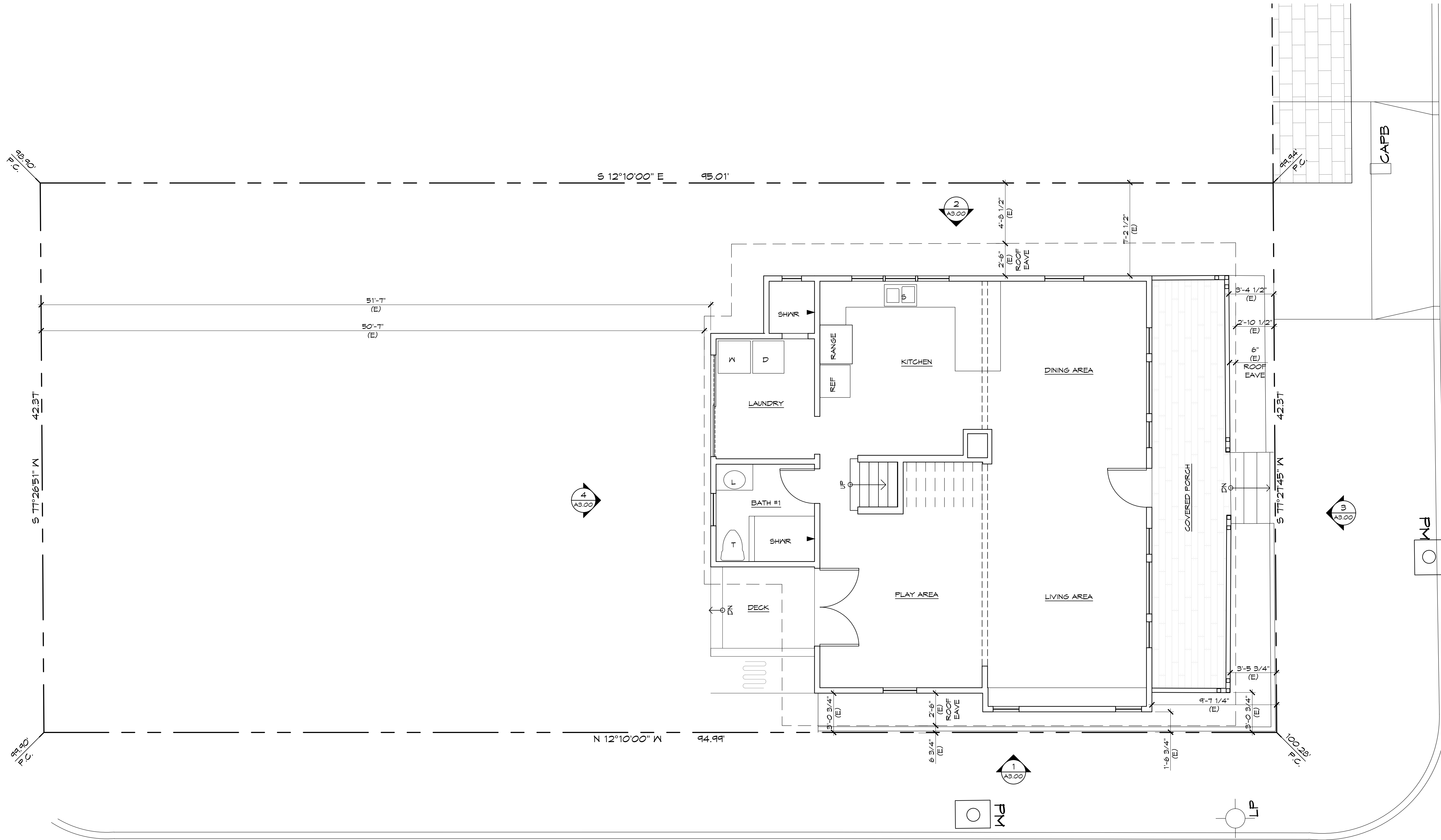


Larry Peha, A.I.A.

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E-MAIL: peha@pehaarch.com
Web: www.pehaarch.com

DATE: 19.05.01
DRAWN: PS
JOB NO. 1601
DRAWING TITLE
PROPOSED
SITE PLAN
DRAWING NUMBER

A1.1



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19/01/31	P.C. RESUBMIT
19/05/01	P.C. RESUBMIT

NEW MOTEL BUILDING FOR:
B&J CAPITAL GROUP INVESTMENTS
TO 10th STREET, HERMOSA BEACH, CA 90254

- PRELIMINARY NOT FOR CONSTRUCTION.
- BID SET



PEHA & ASSOCIATES
ARCHITECTURE

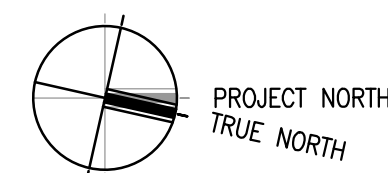
Larry Peha, A.I.A.

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FAX: (310) 376 - 6837
E-MAIL: peha@pehaarch.com
Web: www.pehaarch.com

DATE: 19.05.01
DRAWN: PS
JOB NO. 1601
DRAWING TITLE
EXISTING PLANS

DRAWING NUMBER

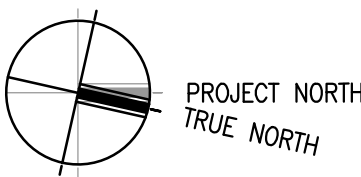
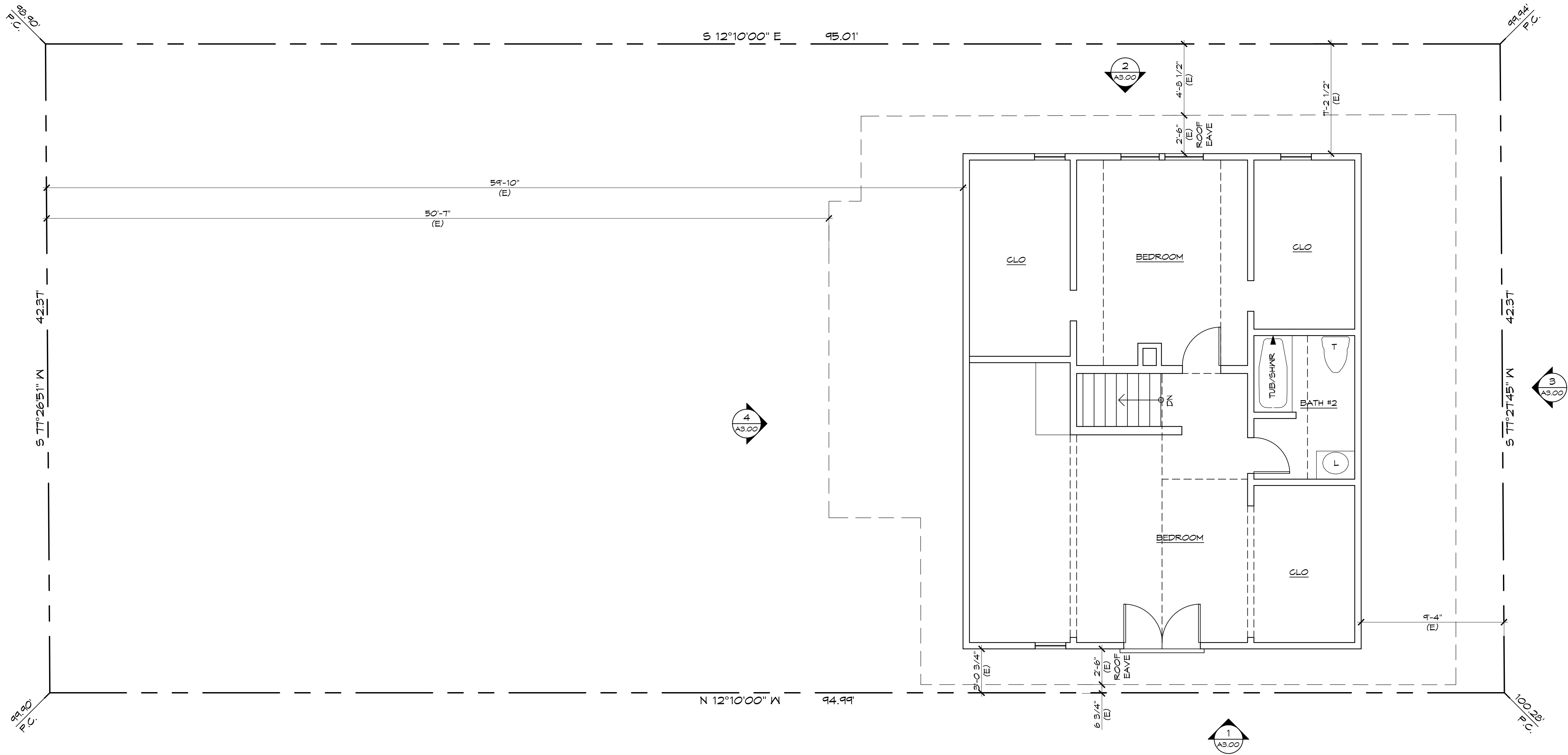
A2.01



EXISTING FIRST FLOOR PLAN

SCALE:
1/4"=1'-0"

1



EXISTING SECOND FLOOR PLAN

SCALE:
1/4"=1'-0"

1

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17/12/21	P.C. RESUBMIT
19/01/31	P.C. RESUBMIT
19/05/01	P.C. RESUBMIT

NEW MOTEL BUILDING FOR:
B&J CAPITAL GROUP INVESTMENTS
TO 10th STREET, HERMOSA BEACH, CA 90254

- PRELIMINARY NOT FOR CONSTRUCTION.
- BID SET

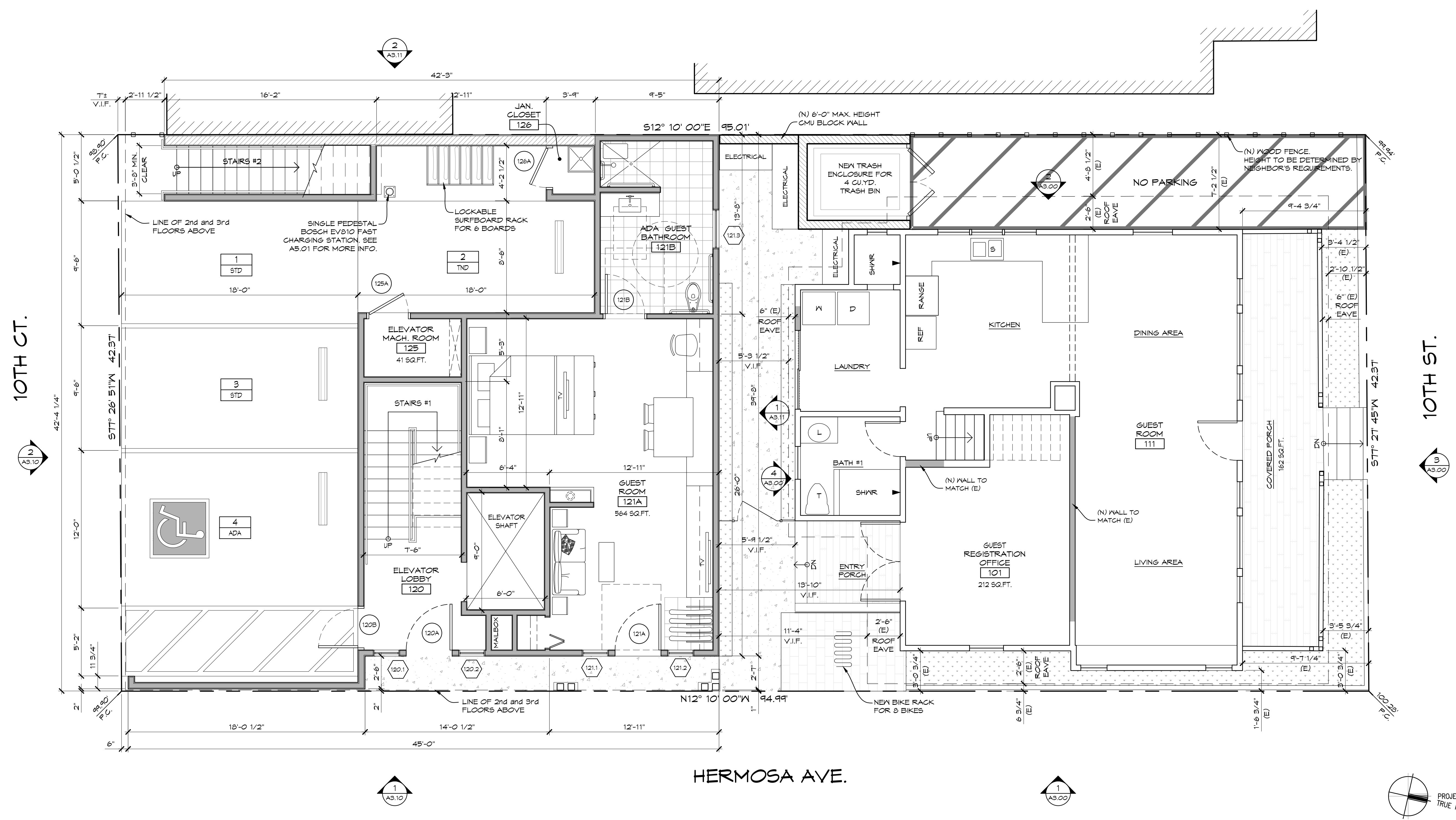


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E-MAIL: peha@pehaarch.com
Web: www.pehaarch.com

DATE:	19.05.01
DRAWN:	PS
JOB NO.	1601
DRAWING TITLE	
EXISTING PLANS	
DRAWING NUMBER	

A2.02



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19/01/21	P.C. RESUBMIT
19/05/21	P.C. RESUBMIT

NEW MOTEL BUILDING FOR:
B&J CAPITAL GROUP INVESTMENTS
TO 10th STREET, HERMOSA BEACH, CA 90254

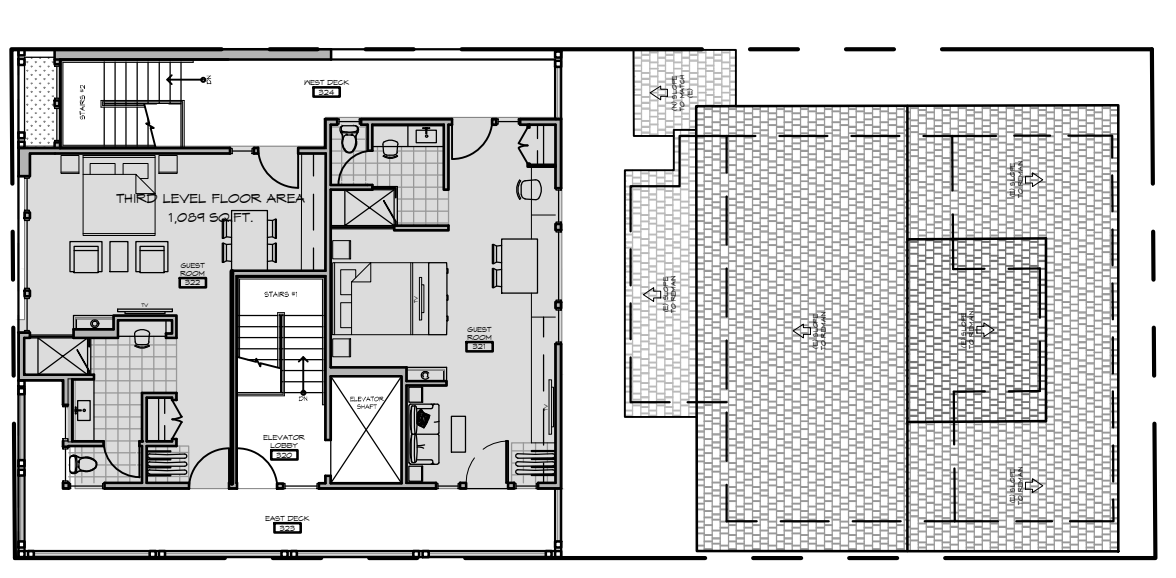


Larry Peha, A.I.A.

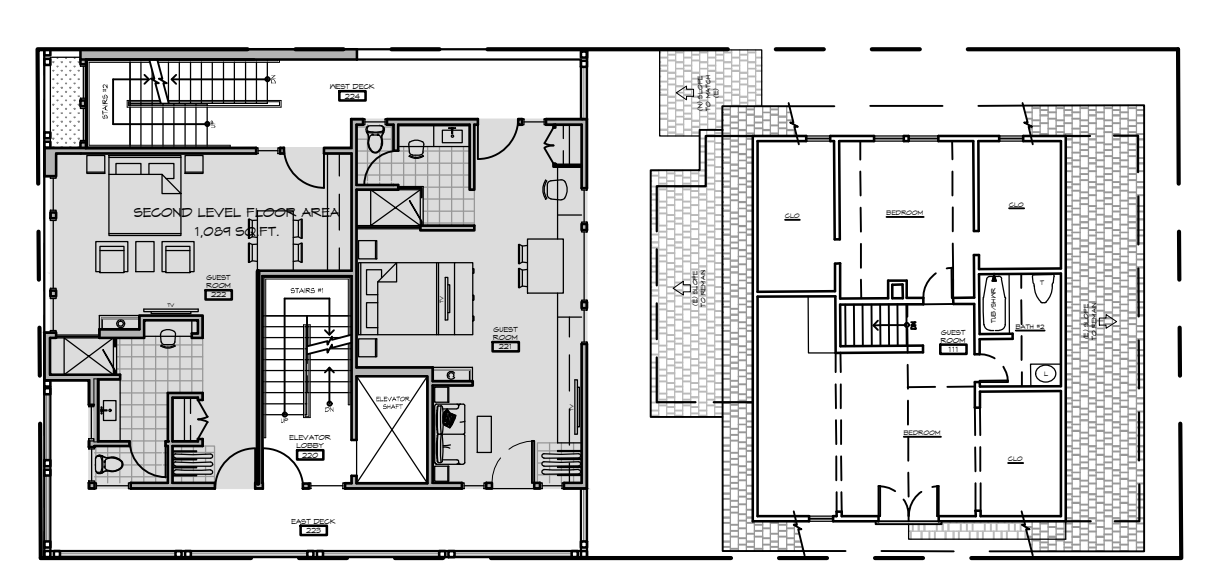
PROPOSED FIRST LEVEL FLOOR PLANS

SCALE: 1/4"=1'-0" 1

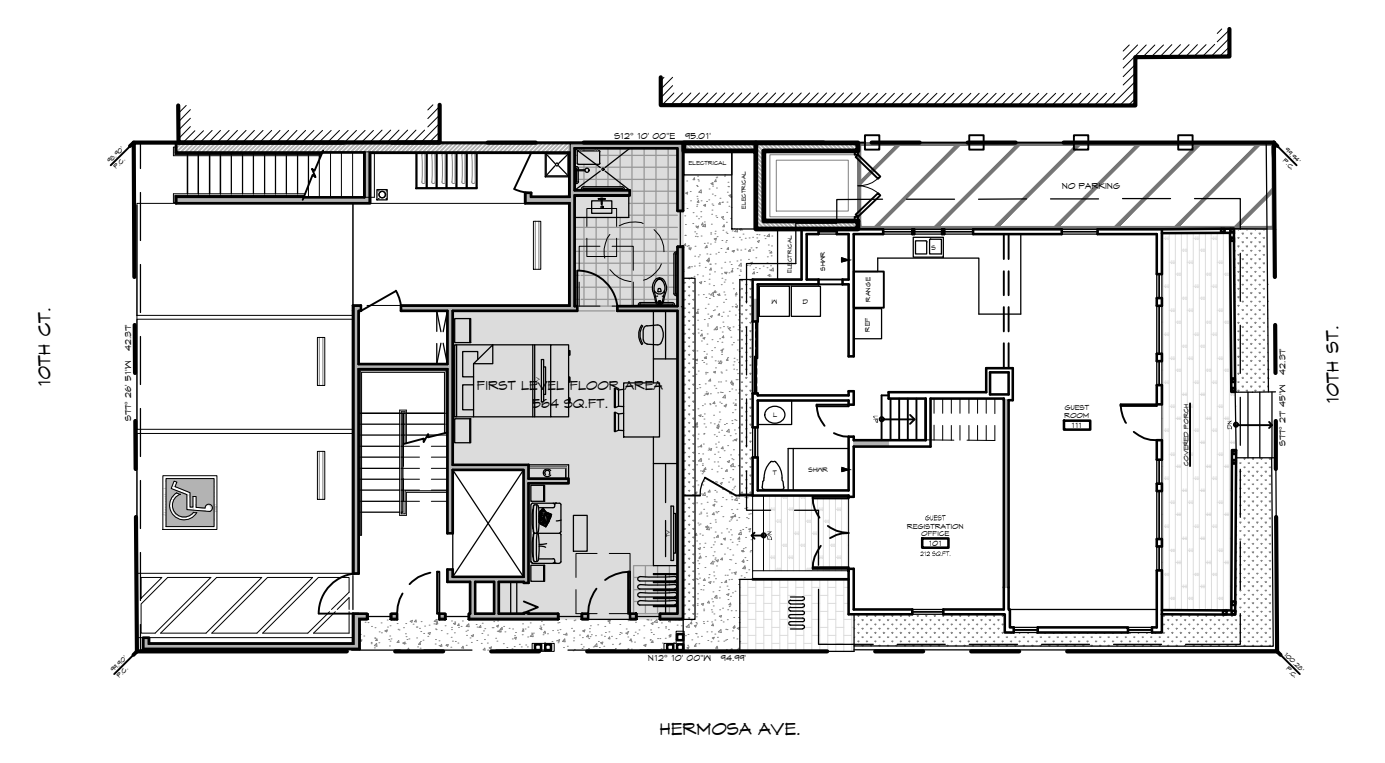
THIRD FLOOR AREA PLAN



SECOND FLOOR AREA PLAN



FIRST FLOOR AREA PLAN



CALCULATIONS

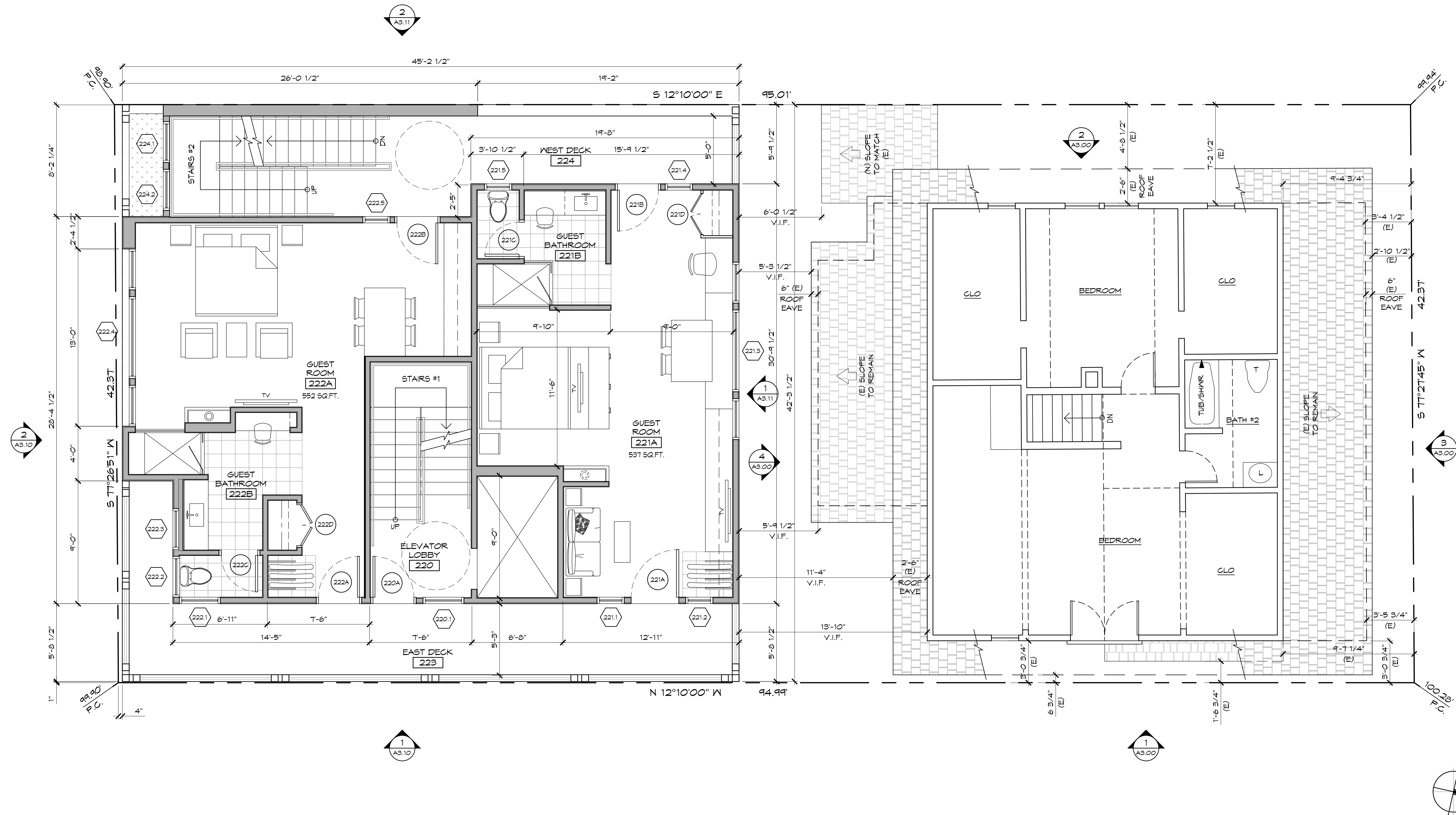
LOT AREA = 4,028 SQ.FT.
(N) 1ST FLOOR AREA = 566 S.F.
(N) 2ND FLOOR AREA = 1,024 S.F.
(N) 3RD FLOOR AREA = 1,024 S.F.
TOTAL : = 2,744 S.F.

PARKING ANALYSIS:
6 MOTEL GUEST ROOMS = 6 STALLS
6 SPACES NEEDED
4 SPACES PROVIDED
2 SPACES IN LEU

67 14TH STREET
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FAX: (310) 376-6837
E-MAIL: peha@pehaarch.com
Web: www.pehaarch.com

DATE: 19.05.01
DRAWN: PS
JOB NO. 1601
DRAWING TITLE
PROPOSED FIRST LEVEL FLOOR PLANS
DRAWING NUMBER

A2.11



PROPOSED SECOND FLOOR PLANS

SCALE:
1/4"=1'-0"

2

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19/05/21	P.C. RESUBMIT

NEW MOTEL BUILDING FOR:
B&J CAPITAL GROUP INVESTMENTS
TO 10th STREET, HERMOSA BEACH, CA 90254



Larry Peha, A.I.A.

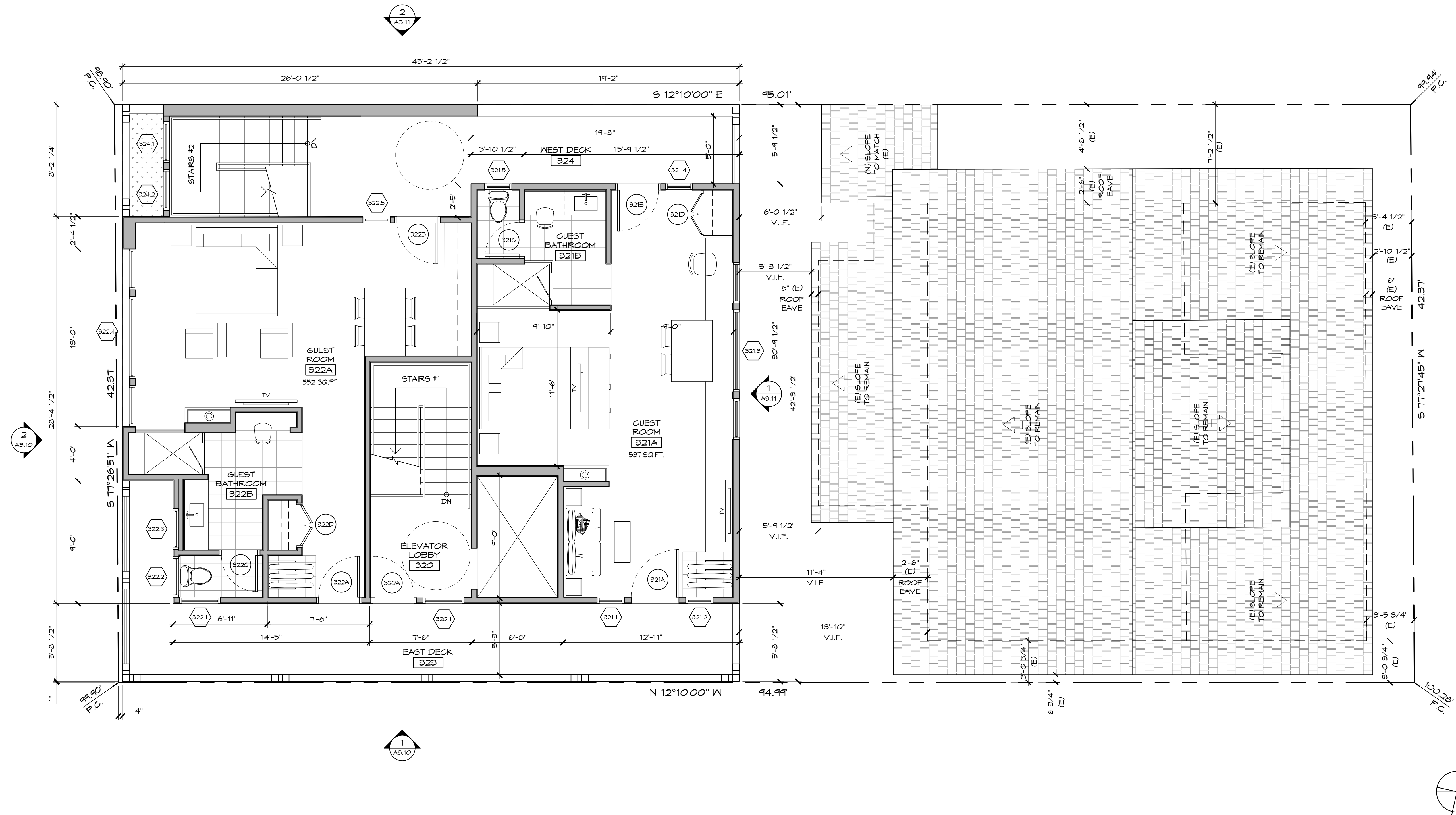
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PROPOSED
SECOND LEVEL
FLOOR PLANS

DRAWING NUMBER

A2.12



PROPOSED THIRD FLOOR PLAN

SCALE: 1/4"=1'-0"

1

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NEW MOTEL BUILDING FOR:

B&J CAPITAL GROUP INVESTMENTS

TO 10th STREET, HERMOSA BEACH, CA 90254



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ARCHITECTURE

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DATE:	19.05.01
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PROPOSED THIRD LEVEL FLOOR PLANS	
DRAWING NUMBER	

A2.13

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01/31	P.C. RESUBMIT
05/01	P.C. RESUBMIT

NEW MOTEL BUILDING FOR:
**B&J CAPITAL GROUP
INVESTMENTS**
7010 10th STREET., HERMOSA BEACH, CA 90254



Harry Peha, A.I.A

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DATE: 19.05.01

RAWN: PS

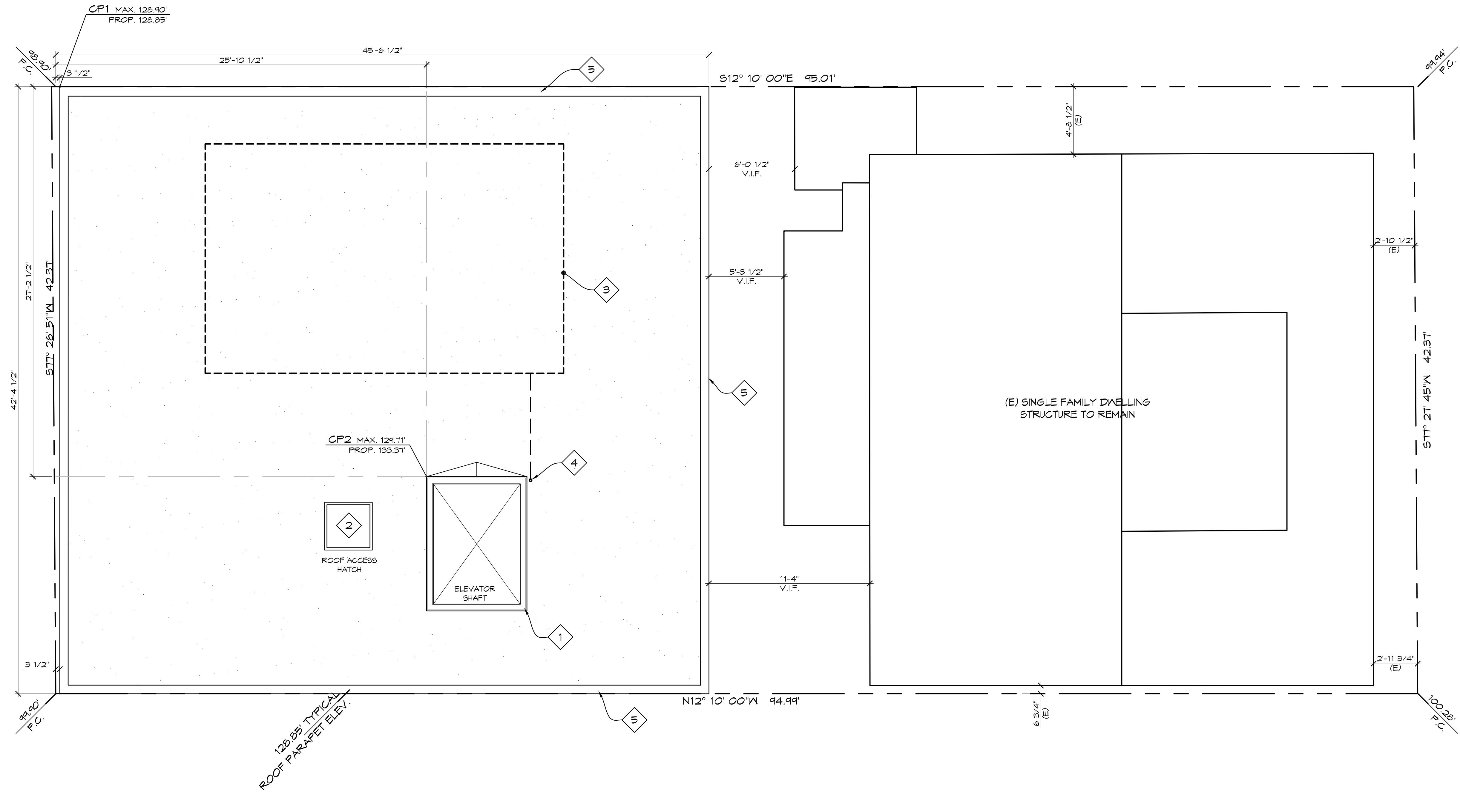
OB NO. 1601

RAWING TITLE

PROPOSED
ROOF PLAN

DRAWING NUMBER

A2.14



PROPOSED ROOF PLAN

SCALE:
1/4"=1'-0"

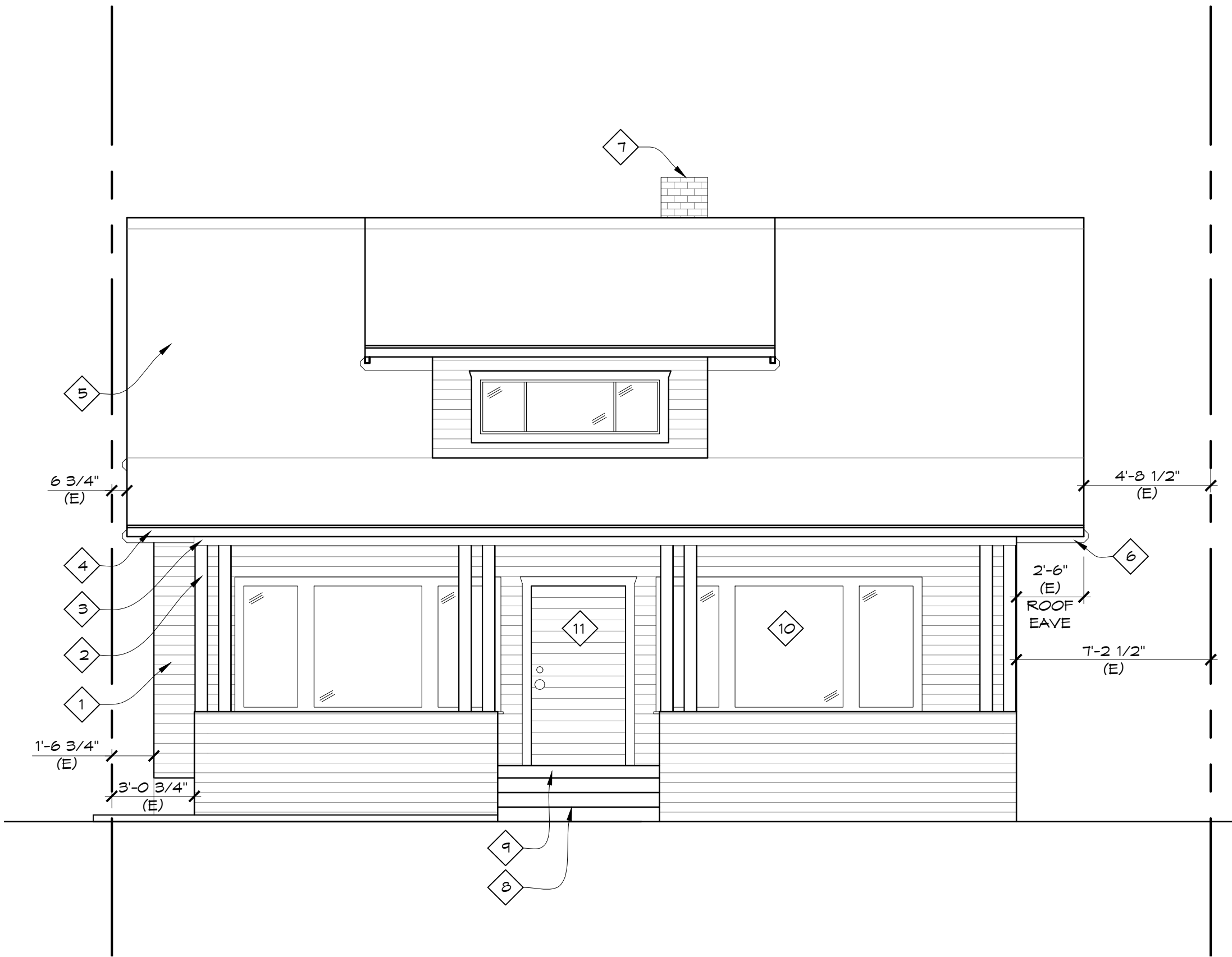


Project Address: 70 10th Street

Elev. Pt. A	98.9		
Elev. Pt. B	99.94		
Length A-B	95.01		
Length A-AB'	0.2917		
	<i>Elev. AB'</i>	98.903193	
Elev. Pt. C	99.9		
Elev. Pt. D	100.28		
Length C-D	94.99		
Length C-CD'	0.2917		
	<i>Elev. CD'</i>	99.9011669	
Length AB'-CD'	42.37		
Length AB-CP1	0		
	<i>Elev. CP1</i>	88.903193	
Height Limit	30		
Max. Ht. @ CP1:	128.90		
Proposed Ht @ CP1:	128.85		
Elev. Pt. A	98.9		
Elev. Pt. B	99.94		
Length A-B	95.01		
Length A-AB'	25.875		
	<i>Elev. AB'</i>	99.1832333	
Elev. Pt. C	99.9		
Elev. Pt. D	100.28		
Length C-D	94.99		
Length C-CD'	25.875		
	<i>Elev. CD'</i>	100.003511	
Length AB'-CD'	42.37		
Length AB-CP2	27.2083		
	<i>Elev. CP2</i>	99.7099824	
Height Limit	30		
Max. Ht. @ CP2:	129.71		
Proposed Ht @ CP2:	133.37		

ROOF PLAN KEYNOTES

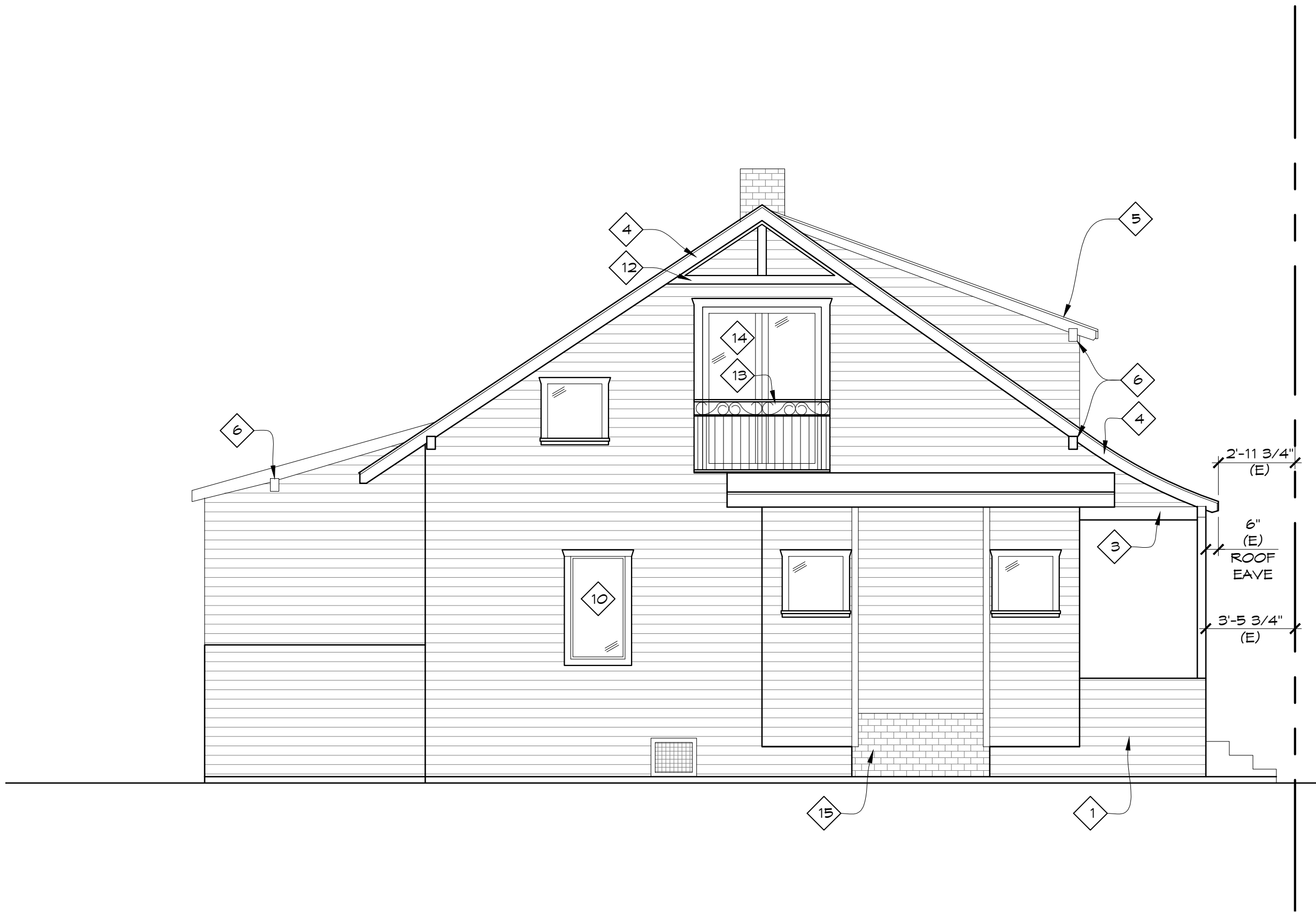
1. ELEVATOR SHAFT ROOF PARAPET
2. ROOF ACCESS HATCH
3. PROPOSED LOCATION OF FUTURE SOLAR PANELS.
SIZE AND QUANTITY TO BE DETERMINED.
4. PROPOSED LOCATION OF FUTURE CONDUIT FROM ROOF
SOLAR PANELS DOWN TO ELECTRICAL PANELS / EQUIPMENT.
5. ROOF PARAPET/CURB



EXISTING NORTH ELEVATION - 10TH STREET

SCALE:
1/4"=1'-0"

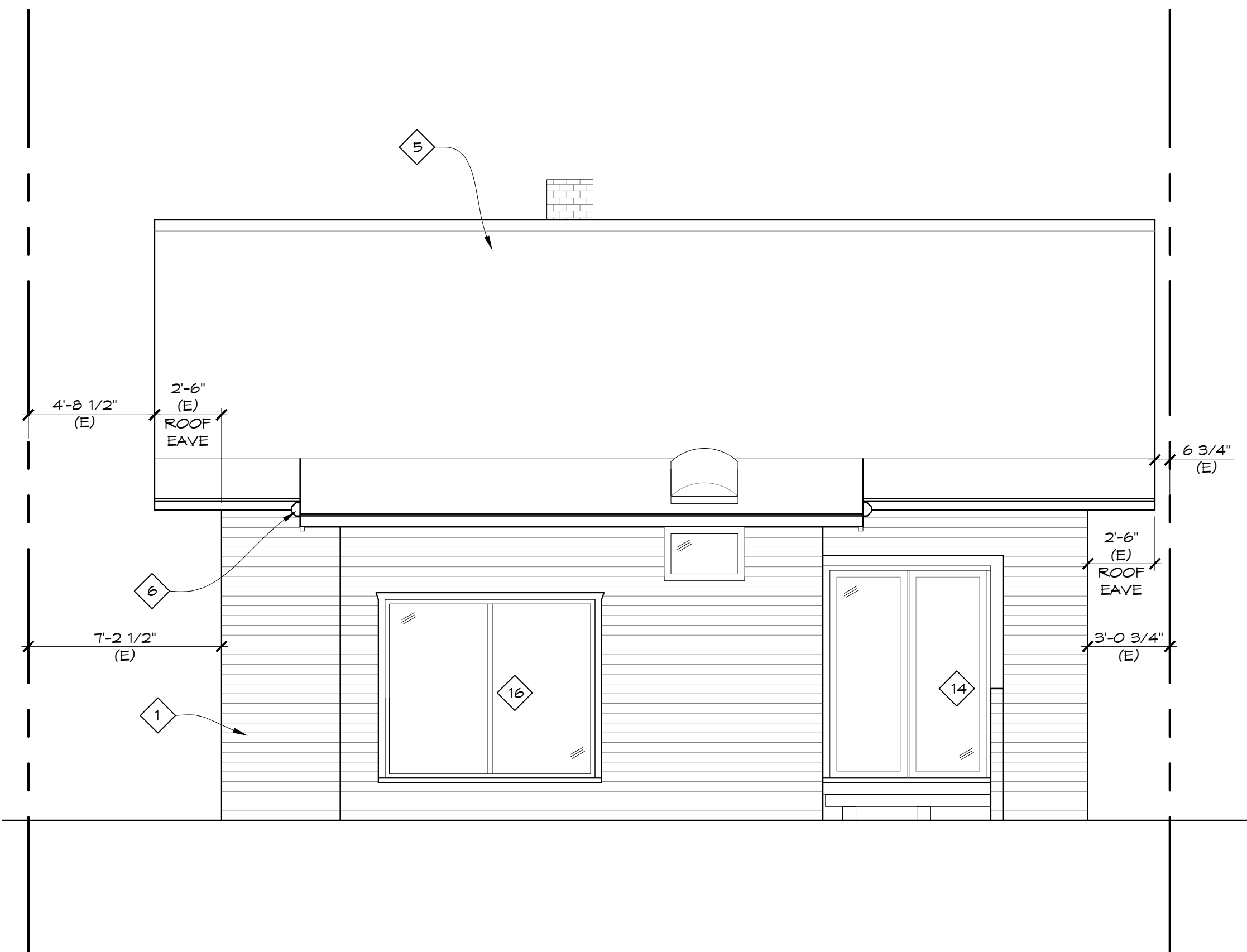
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EXISTING EAST ELEVATIONS - HERMOSA AVE

SCALE:
1/4"=1'-0"

1



EXISTING SOUTH ELEVATION - 10TH COURT

SCALE:
1/4"=1'-0"

4



EXISTING WEST ELEVATION

SCALE:
1/4"=1'-0"

2

KEYNOTES:

- 1 6" WOOD LAP SIDING
- 2 5" SQ. WD POST
- 3 6" WOOD TRIM ABOVE PORCH
- 4 5" WOOD FASCIA AT ROOF EAVE
- 5 ROOF ASPHALT SHINGLES
- 6 BEVELED EDGE WOOD BEAM
- 7 BRICK CHIMNEY
- 8 BRICK STEPS AT ENTRY
- 9 CONCRETE PORCH DECK
- 10 WINDOW LOCATION WITH TRIM
- 11 WOOD PANEL ENTRY DOOR
- 12 ARCH'L WOOD TRIM
- 13 JULIET METAL BALCONY
- 14 WOOD & GLASS DOOR LOCATION
- 15 BRICK FOUNDATION AT POP-OUT
- 16 FIXED WINDOW

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NEW MOTEL BUILDING FOR:
B&J CAPITAL GROUP INVESTMENTS
TO 10th STREET, HERMOSA BEACH, CA 90254

- PRELIMINARY NOT FOR CONSTRUCTION.
- BID SET



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JOB NO. 1601
DRAWING TITLE
EXISTING ELEVATIONS

DRAWING NUMBER

A3.00



EXISTING SOUTH EAST - 10TH STREET

SCALE:
1/4"=1'-0"

3



EXISTING NORTH EAST - HERMOSA AVE

SCALE:
1/4"=1'-0"

1



EXISTING SOUTH ELEVATION - 10TH COURT

SCALE:
1/4"=1'-0"

4



EXISTING NORTH WEST

SCALE:
1/4"=1'-0"

2

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NEW MOTEL BUILDING FOR:
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TO 10TH STREET, HERMOSA BEACH, CA 90254

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- BID SET

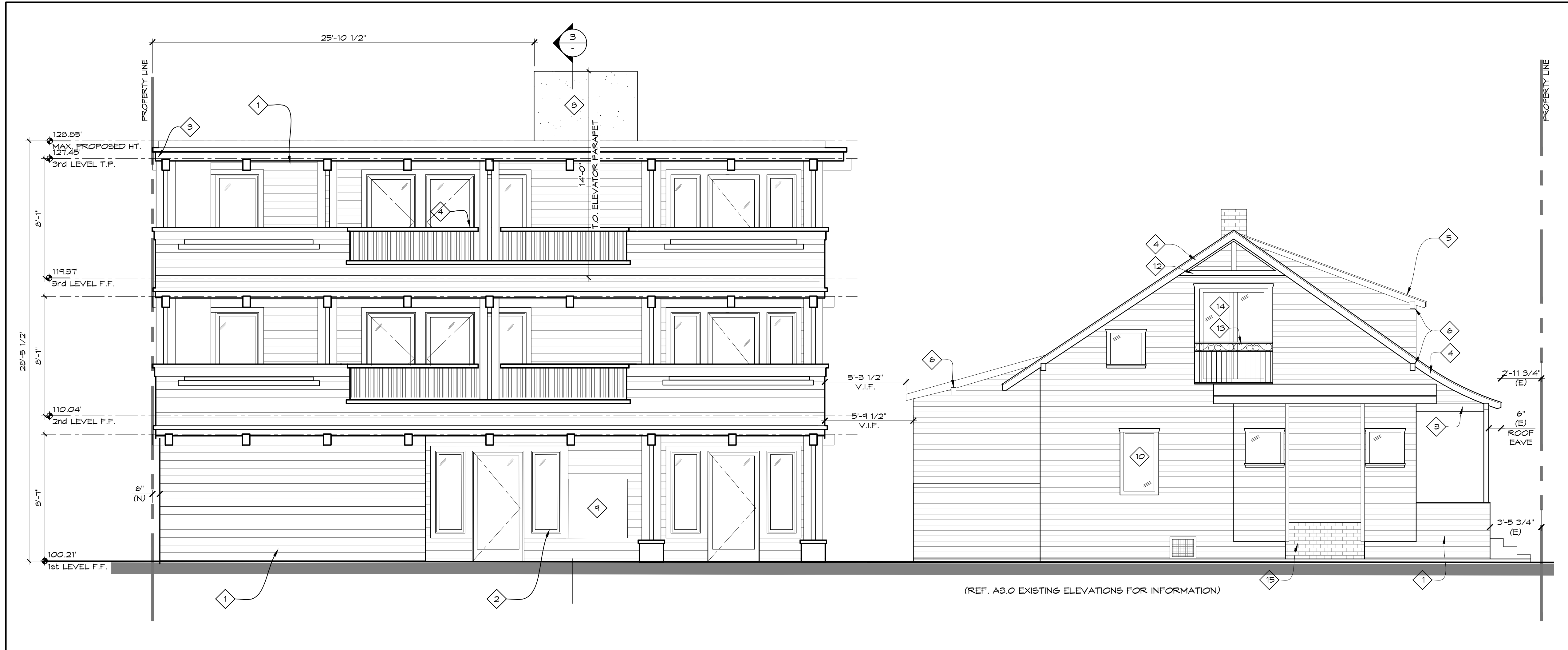


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DATE: 19.05.01
DRAWN: PS
JOB NO. 1601
DRAWING TITLE
EXISTING ELEVATIONS

DRAWING NUMBER
A3.01



ELEVATIONS KEYNOTES

- 1 1X6 LAP SIDING, PAINTED
- 2 STOREFRONT GLAZING SYSTEM
- 3 ARCHITECTURAL WOOD TRIM, PAINTED
- 4 WOOD PICKET RAIL 1/2" A.F.F., PAINTED
- 5 NOT USED
- 6 STAIRS
- 7 MASONRY WALL
- 8 ELEVATOR SHAFT
- 9 MAIL BOXES

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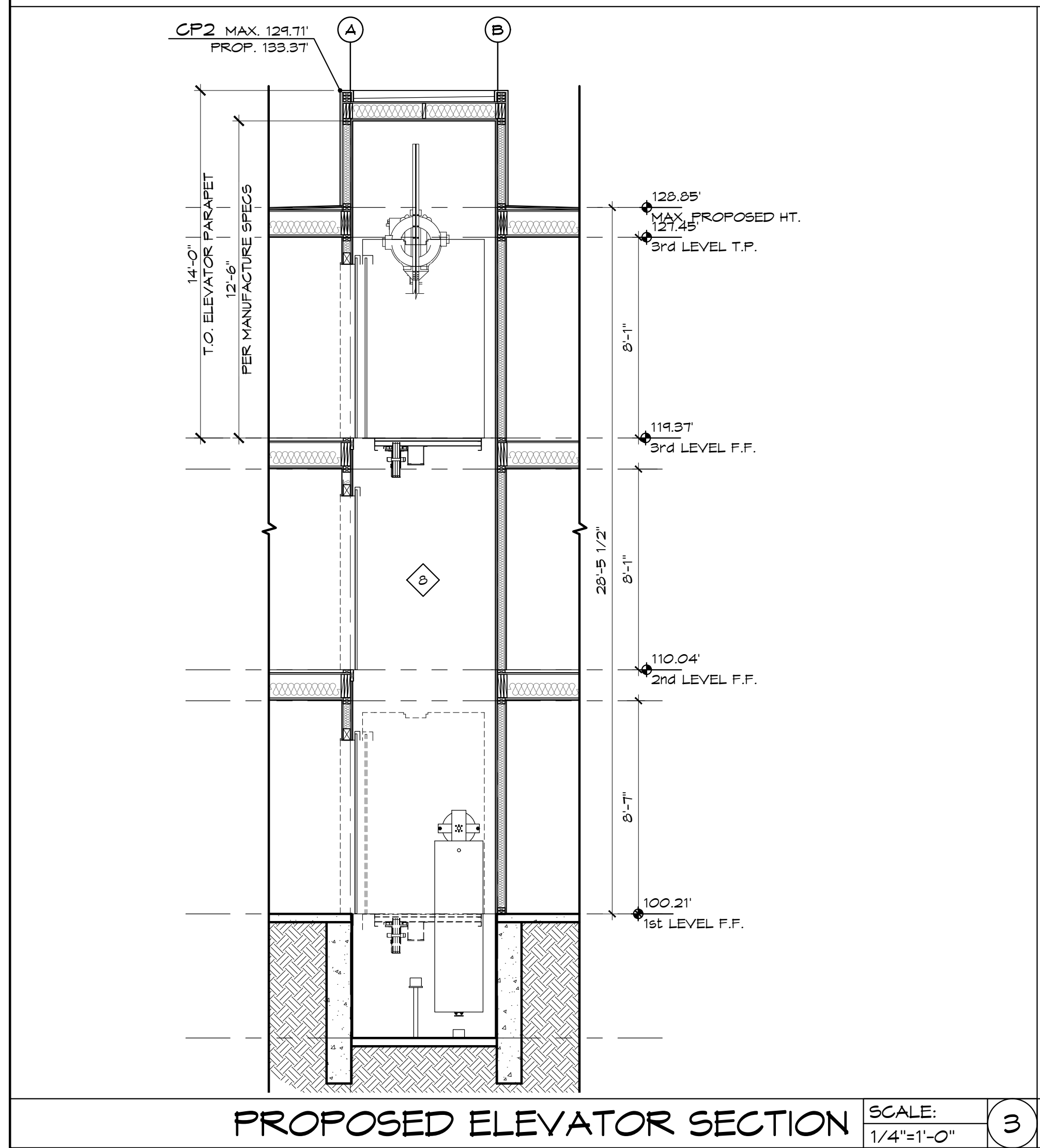
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NEW MOTEL BUILDING FOR:
B&J CAPITAL GROUP INVESTMENTS
TO 10th STREET, HERMOSA BEACH, CA 90254

PROPOSED & EXISTING EAST ELEVATION - HERMOSA AVE

SCALE:
1/4"=1'-0"

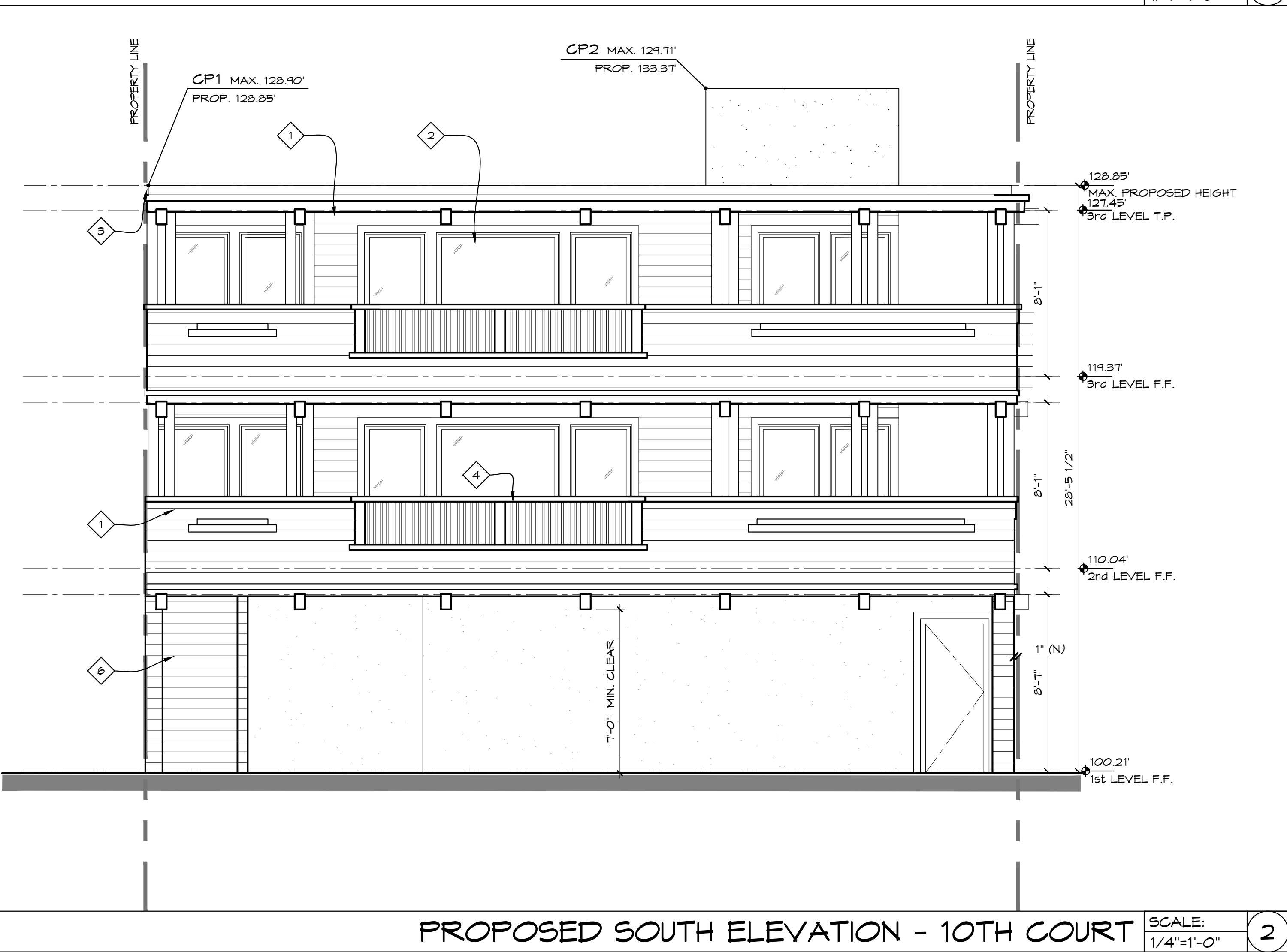
1



PROPOSED ELEVATOR SECTION

SCALE:
1/4"=1'-0"

3



PROPOSED SOUTH ELEVATION - 10TH COURT

SCALE:
1/4"=1'-0"

2



PEHA & ASSOCIATES
ARCHITECTURE

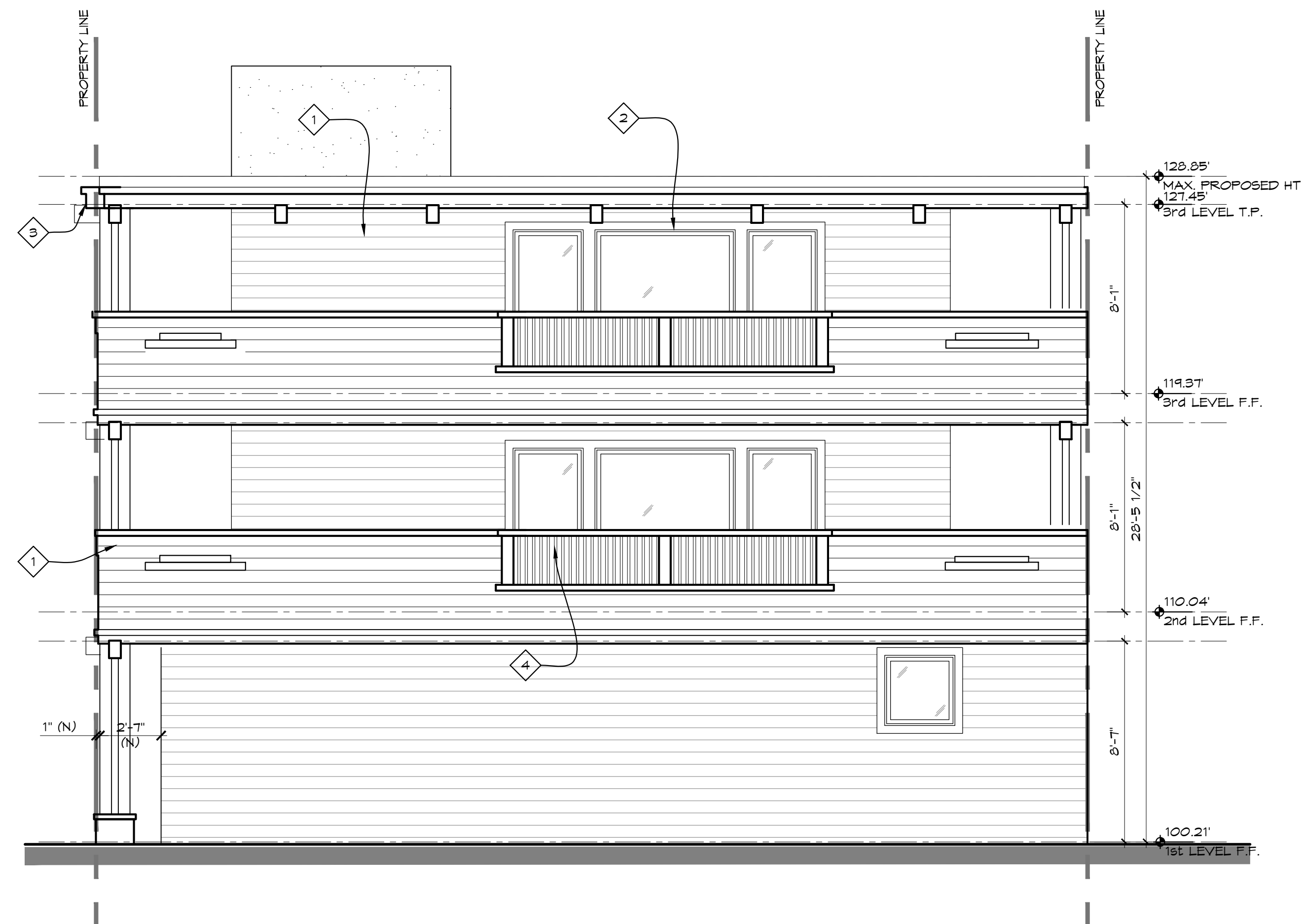
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DRAWING TITLE

PROPOSED
ELEVATIONS
DRAWING NUMBER

A3.10



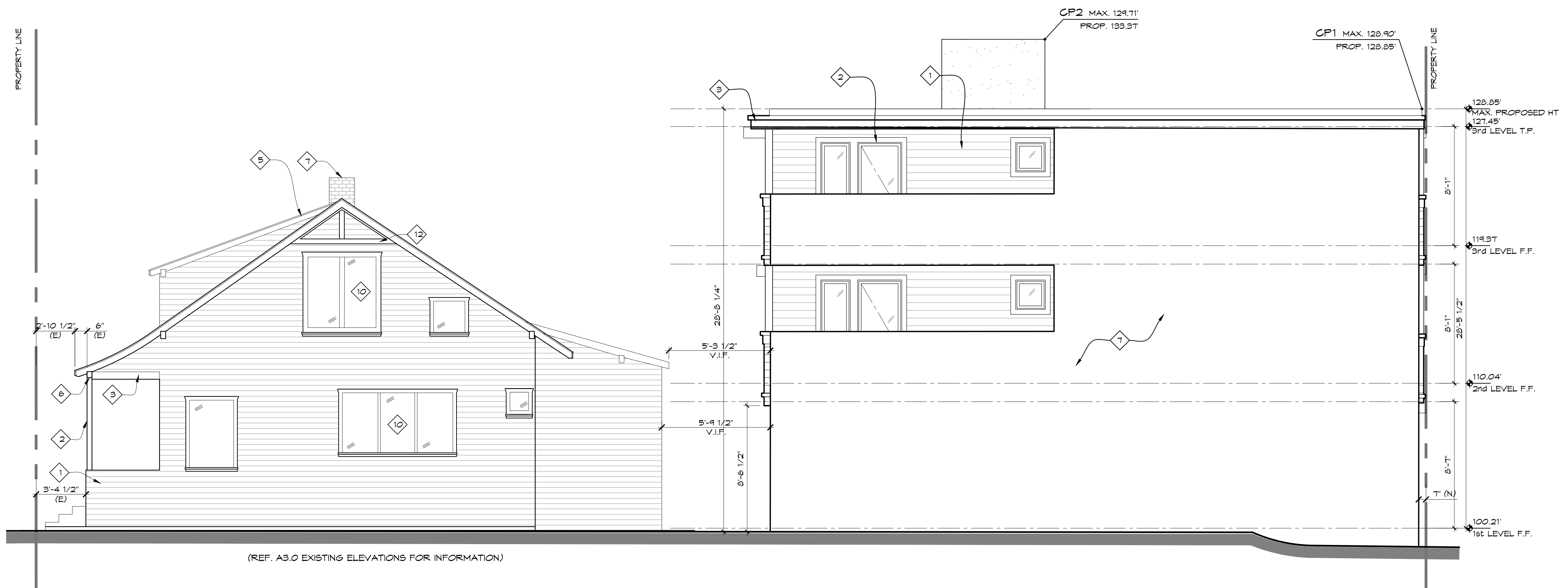
PROPOSED NORTH ELEVATION

SCALE:
1/4"=1'-0"

1

ELEVATIONS KEYNOTES

- 1 1X6 LAP SIDING, PAINTED
- 2 STOREFRONT GLAZING SYSTEM
- 3 ARCHITECTURAL WOOD TRIM, PAINTED
- 4 WOOD PICKET RAIL 1/2" A.F.F., PAINTED
- 5 NOT USED
- 6 STAIRS
- 7 MASONRY WALL
- 8 ELEVATOR SHAFT
- 9 MAIL BOXES



PROPOSED WEST ELEVATION

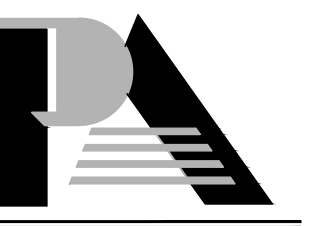
SCALE:
1/4"=1'-0"

2

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NEW MOTEL BUILDING FOR:
B&J CAPITAL GROUP INVESTMENTS
TO 10th STREET, HERMOSA BEACH, CA 90254



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DRAWING TITLE

PROPOSED
ELEVATIONS
DRAWING NUMBER

A3.11

Commercial charging solutions

EV800 Series

EV800 Series charger stations provide reliable, safe EV charging in all conditions.

Available as a single pedestal, dual pedestal, or wall mount charging station, the 1/4" gauge steel bollard protects your investment and is impact resistant.

Each charger features the same fully weatherproof, adjustable output with 18-foot or 23-foot cables and galvanized steel construction. The EV800 Dual Bollard can charge 2 vehicles simultaneously at full power.

The EV810 charging station is wind, rain, snow, sleet, ice, cold and heat resistant, making it ideal for indoor or outdoor installation. It meets or exceeds NEMA 4X, NEC 625, SAE J1772 standards and is ETL and cETL listed.



Specifications	Single Pedestal	Dual Pedestal	Single Pedestal	Dual Pedestal
Adjustable Amperage	12-32 Amps x2	12-32 Amps x2	Input Current	30 Amps 30 Amps x2
Voltage	96-264 VAC x2	96-264 VAC x2	Breaker Size	40 Amps 40 Amps x2
Cord Length	23 ft	23 ft x2	Temperature Rating	-40°F to +122°F (-40°C to +50°C)
Weight	125 lbs	150 lbs	Enclosure	NEMA Type 4X; rain, sleet, snow, ice, cold, and heat resistant
Dimensions	Diameter 7.2" Height 58"	Diameter 7.2" Height 68"	Input/Output Power	7.2 kW 7.2 kW x2

EV810 Wall Mount Specifications				
Adjustable Amperage	12-32 Amps	Input/Output Power	7.2 kW	
Voltage	96-264 VAC	Wall Plug	6-50P	
Cable length	18 ft	Enclosure	NEMA 4X Type 4; rain, sleet, snow, ice, dust, cold, and heat resistant	
Weight	14 lbs	Mounting	Wall or Pedestal	
Dimensions	14"L x 5"W x 4"D			

Commercial charging solutions

EV2000 Series

The EV2000 can charge compatible vehicles to 80 percent in as little as 30 minutes. Manufacturers are building more electric vehicles with DC charging capability to provide more convenience and faster charging to their customers.

The compact, lightweight design can be pedestal or wall-mounted and can be operated as a standalone unit or connected to an OCPP compatible back end network. The 25kW EV2000 can reduce installation costs by only requiring a 240V circuit compared to other stations needing a 480v 3 phase circuit .



Specifications	
Part Number ¹	EL-52240
Input Voltage	208v, 240v, 277v single phase
Cord Length	20 ft
Weight	104 lb assembled (65 lb with modules removed)
Dimensions	600mm x 250mm x 450mm (23" x 10" x 18")
Mounting	Wall or Pedestal
Input Current	165 Amps max
Connector	J1772 SAE DC Combo
Enclosure	IP54; indoor / outdoor
Power Output	25kW
Optional Additions	Pedestal - EL-52240-GNT Cable Dock - EL-52240-DOCK

To purchase a Bosch charging station, visit boschevsolutions.com or call +1 877 805-3873

Robert Bosch GmbH
Bosch Automotive Service Solutions
28635 Mound Road
Warren, MI 48092

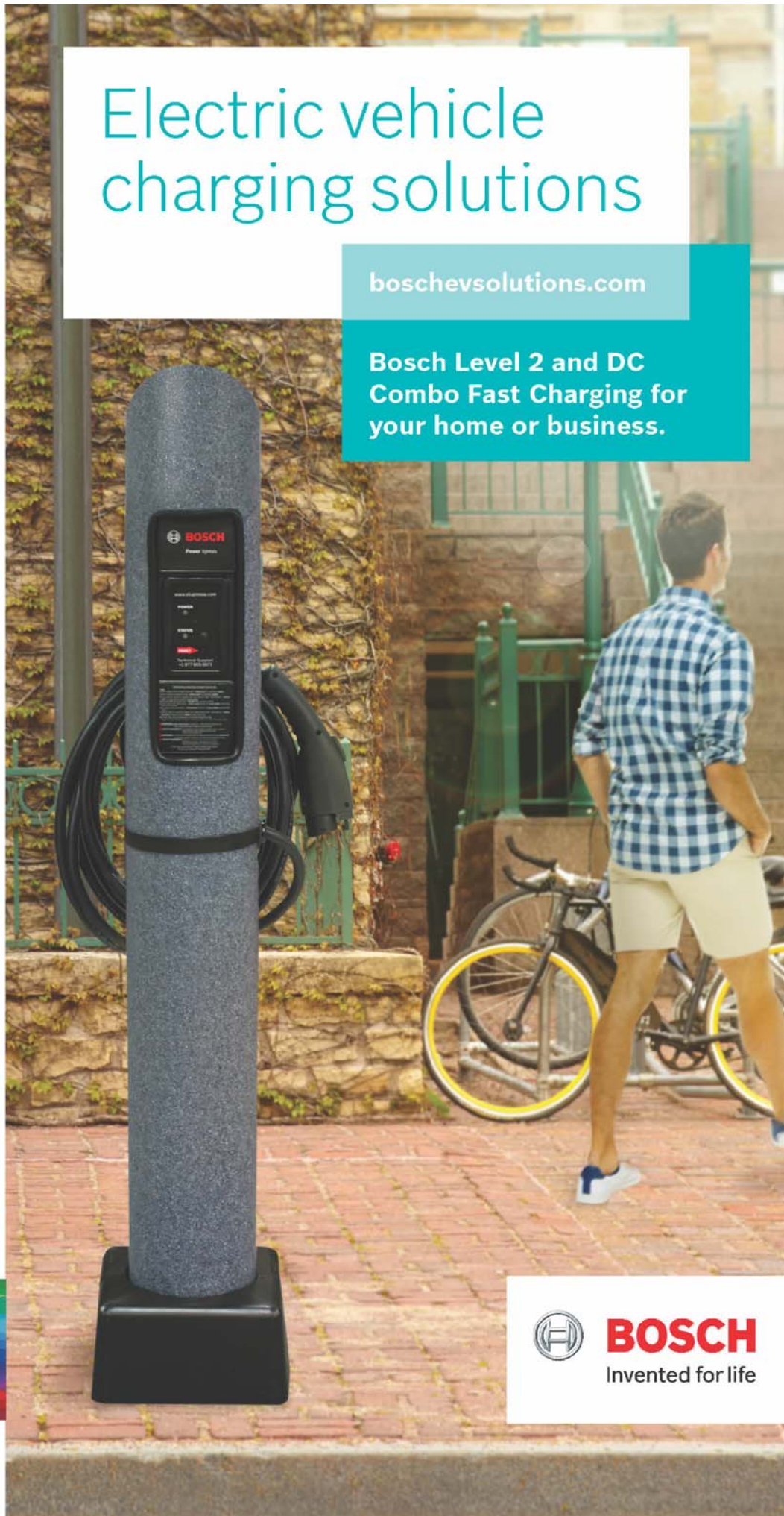
boschevsolutions.com
+1 877 805-3873

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Electric vehicle charging solutions

boschevsolutions.com

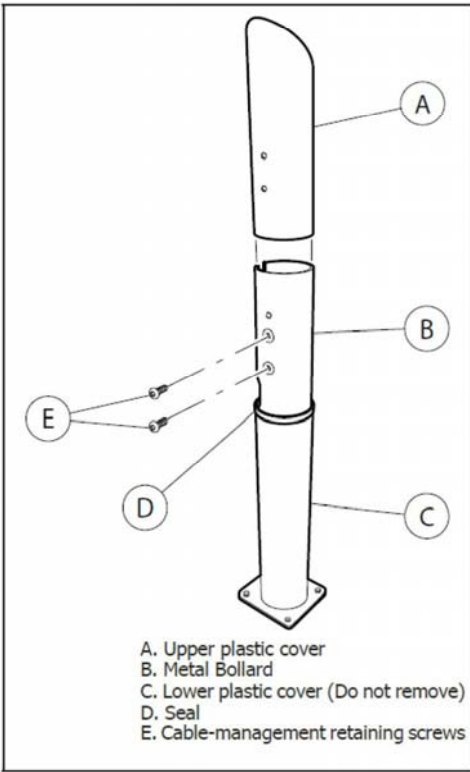
Bosch Level 2 and DC Combo Fast Charging for your home or business.



en | 6 | Power Xpress™ Bollard Charge Station Installation Guide

7.0 Standard Installation

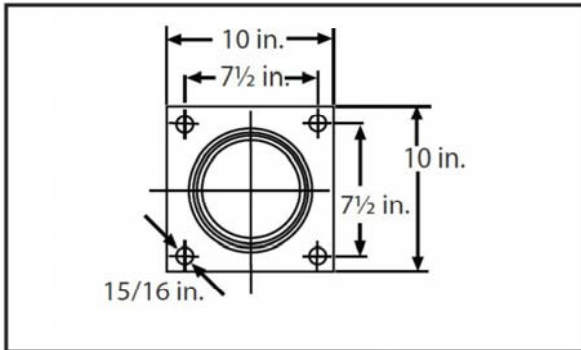
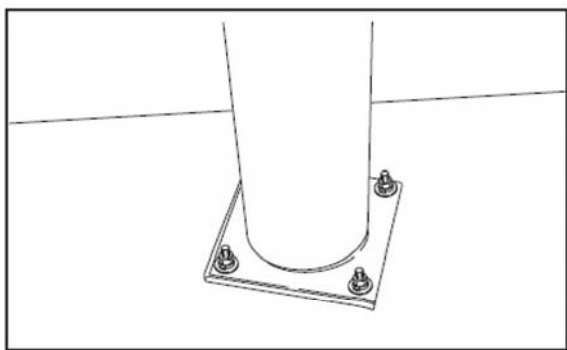
- Lay down the bollard box and remove the banding.
- Lift the top off the box and remove the bollard from the packaging material.
- Remove the upper cover from the bollard assembly by removing the cable-management retaining screws (E) on the rear of the bollard.
- Remove plastic bag containing locating set screw (not shown) from inside bollard.



NOTE: The upper and lower plastic bollard covers are a matched set and cannot be used inter-changeably with those from other bollards.

The standard installation design for the Power Xpress Bollard is a bolt-down external plate.

The standard diameter of the bollard is approximately 7 in. The bollard height will vary with the application.



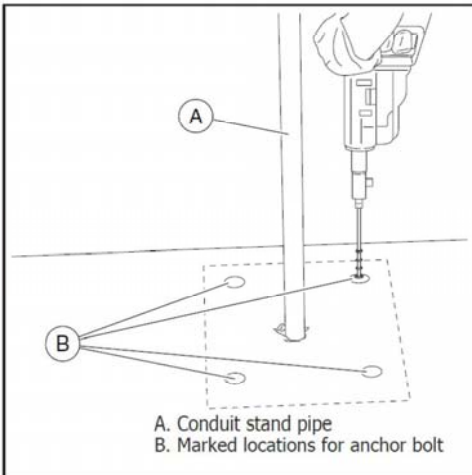
⚠ CAUTION: Read all instructions before installing the EVSE.

⚠ WARNING: Main service power must be off and disconnected before attempting to install the EVSE.

⚠ WARNING: The bollard weighs 20 lb per foot, and the bottom end is significantly heavier than the top end. Take proper precautions and use safe lifting practices when lifting the bollard.

⚠ CAUTION: All adapter and connection fittings must be classified as liquid-tight. The following types of flexible conduit are recommended: LFMC (liquid-tight flexible metal conduit), LFNC-B (liquid-tight flexible nonmetal conduit), or LFNC-A (liquid-tight flexible nonmetal conduit).

- Place the bollard where it is to be installed and drill holes.
- Install the 3/4 in. anchor bolts in accordance with industry standards for the type of mounting being performed.



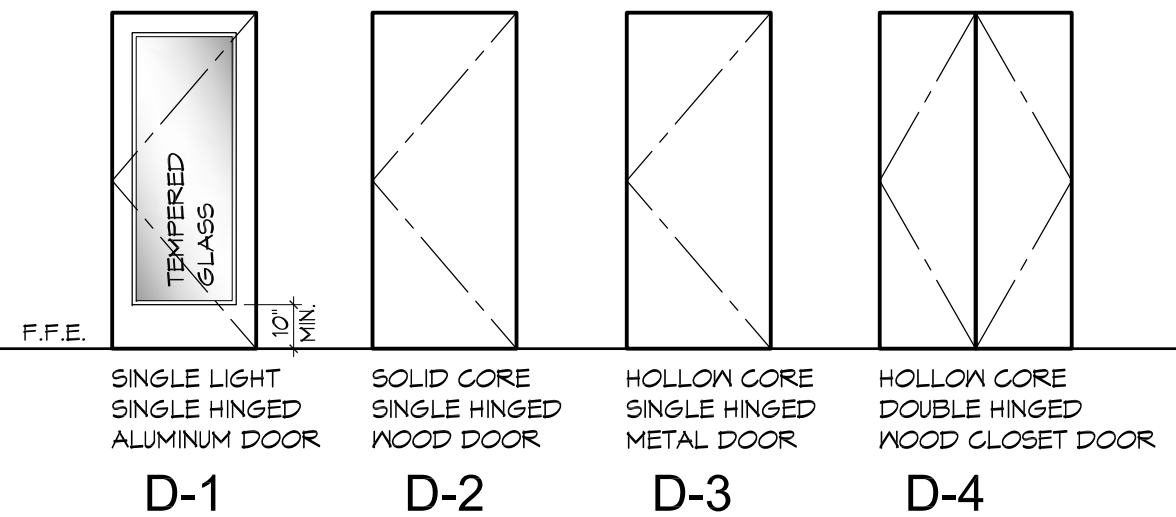
NOTE: Depending on the type and size of the conduit stand pipe, a variety of adapters may be used to convert the stand pipe to 1/2-in. liquid-tight flexible conduit.

- Slide the wires through the required adapters and the 1/2-in. liquid-tight flexible conduit.

DOOR and FRAME SCHEDULE

MARK	TYPE	DOOR						FRAME				FIRE RATING LABEL	HARDWARE GROUP	NOTES
		SIZE		DOOR CONSTR.	FACE & FINISH	GLAZING	FRAME MATERIAL	FRAME FINISH	DETAIL					
		WIDTH	HEIGHT						THK.	HEAD	JAMB	SILL		
120A	D-1	3'-6"	7'-6"	1 3/4"	AL/GLS.	ANO.AL	TEMP	AL	ANO. AL.					
120B	D-3	3'-0"	7'-6"	1 1/2"	MTL	FM	-	MTL	FM					
121A	D-1	3'-6"	7'-6"	1 3/4"	AL/GLS.	ANO.AL	TEMP	AL	ANO. AL.					
121B	D-2	3'-0"	7'-6"	1 1/2"	MD	FM	-	MD	FM					
125A	D-3	3'-0"	7'-6"	1 1/2"	MTL	FM	-	MTL	FM					
126A	D-3	3'-0"	7'-0"	1 1/2"	MTL	FM	-	MTL	FM					
220A	D-1	3'-0"	7'-0"	1 3/4"	AL/GLS.	ANO.AL	TEMP	AL	ANO. AL.					
221A	D-1	3'-6"	7'-0"	1 3/4"	AL/GLS.	ANO.AL	TEMP	AL	ANO. AL.					
221B	D-1	3'-0"	7'-0"	1 3/4"	AL/GLS.	ANO.AL	TEMP	AL	ANO. AL.					
221C	D-2	3'-0"	7'-0"	1 1/2"	MD	FM	-	MD	FM					
221D	D-4	3'-0"	7'-0"	1 1/2"	MD	FM	-	MD	FM				CLOSET DOOR	
222A	D-1	3'-0"	7'-0"	1 3/4"	AL/GLS.	ANO.AL	TEMP	AL	ANO. AL.					
222B	D-1	3'-0"	7'-0"	1 3/4"	AL/GLS.	ANO.AL	TEMP	AL	ANO. AL.					
222C	D-2	3'-0"	7'-0"	1 1/2"	MD	FM	-	MD	FM					
222D	D-4	3'-0"	7'-0"	1 1/2"	MD	FM	-	MD	FM				CLOSET DOOR	
320A	D-1	3'-0"	7'-0"	1 3/4"	AL/GLS.	ANO.AL	TEMP	AL	ANO. AL.					
321A	D-1	3'-6"	7'-0"	1 3/4"	AL/GLS.	ANO.AL	TEMP	AL	ANO. AL.					
321B	D-1	3'-0"	7'-0"	1 3/4"	AL/GLS.	ANO.AL	TEMP	AL	ANO. AL.					
321C	D-2	3'-0"	7'-0"	1 1/2"	MD	FM	-	MD	FM					
321D	D-4	3'-0"	7'-0"	1 1/2"	MD	FM	-	MD	FM				CLOSET DOOR	
322A	D-1	3'-0"	7'-0"	1 3/4"	AL/GLS.	ANO.AL	TEMP	AL	ANO. AL.					
322B	D-1	3'-0"	7'-0"	1 3/4"	AL/GLS.	ANO.AL	TEMP	AL	ANO. AL.					
322C	D-2	3'-0"	7'-0"	1 1/2"	MD	FM	-	MD	FM					
322D	D-4	3'-0"	7'-0"	1 1/2"	MD	FM	-	MD	FM				CLOSET DOOR	

DOOR TYPES



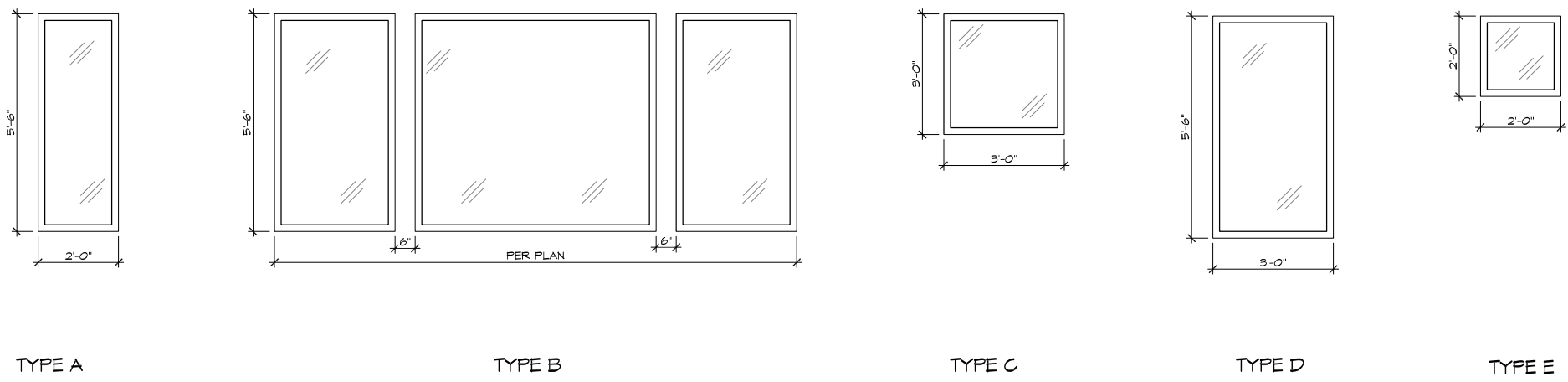
WINDOW SCHEDULE

MARK 	TYPE	SIZE		WINDOW MATERIAL	GLAZING	FIRE RATING LABEL	DETAIL					NOTES	
		WIDTH	HEIGHT				HEAD	JAMB	SILL	HORIZ. MULLION	VERT. MULLION		
120.1	A	2'-0"	5'-6"	AL	TEMP	N.R.					-	-	
120.2	A	2'-0"	5'-6"	AL	TEMP	N.R.					-	-	
121.1	A	2'-0"	5'-6"	AL	TEMP	N.R.					-	-	
121.2	A	2'-0"	5'-6"	AL	TEMP	N.R.					-	-	
121.3	C	3'-0"	3'-0"	AL	TEMP	N.R.					-	-	
220.1	D	3'-0"	5'-6"	AL	TEMP	N.R.					-	-	
221.1	A	2'-0"	5'-6"	AL	TEMP	N.R.					-	-	
221.2	A	2'-0"	5'-6"	AL	TEMP	N.R.					-	-	
221.3	B	12'-0"	5'-6"	AL	TEMP	N.R.					-	-	
221.4	A	2'-0"	5'-6"	AL	TEMP	N.R.					-	-	
221.5	E	2'-0"	2'-0"	AL	TEMP	N.R.					-	-	
222.1	D	3'-0"	5'-6"	AL	TEMP	N.R.					-	-	
222.2	D	3'-0"	5'-6"	AL	TEMP	N.R.					-	-	
222.3	D	3'-0"	5'-6"	AL	TEMP	N.R.					-	-	
222.4	B	12'-0"	5'-6"	AL	TEMP	N.R.					-	-	
222.5	A	2'-0"	5'-6"	AL	TEMP	N.R.					-	-	
224.1	D	3'-0"	5'-6"	AL	TEMP	N.R.					-	-	
224.2	D	3'-0"	5'-6"	AL	TEMP	N.R.					-	-	
320.1	D	3'-0"	5'-6"	AL	TEMP	N.R.					-	-	
321.1	A	2'-0"	5'-6"	AL	TEMP	N.R.					-	-	
321.2	A	2'-0"	5'-6"	AL	TEMP	N.R.					-	-	
321.3	B	12'-0"	5'-6"	AL	TEMP	N.R.					-	-	
321.4	A	2'-0"	5'-6"	AL	TEMP	N.R.					-	-	
321.5	E	2'-0"	2'-0"	AL	TEMP	N.R.					-	-	
322.1	D	3'-0"	5'-6"	AL	TEMP	N.R.					-	-	
322.2	D	3'-0"	5'-6"	AL	TEMP	N.R.					-	-	
322.3	D	3'-0"	5'-6"	AL	TEMP	N.R.					-	-	
322.4	B	12'-0"	5'-6"	AL	TEMP	N.R.					-	-	
322.5	A	2'-0"	5'-6"	AL	TEMP	N.R.					-	-	
324.1	D	3'-0"	5'-6"	AL	TEMP	N.R.					-	-	
324.2	D	3'-0"	5'-6"	AL	TEMP	N.R.					-	-	

NOTES:

- GLASS & GLAZING SHALL BE IN ACCORDANCE WITH CBC CHAPTER 24 SECTION 2403, 2404, & 2406.
- WINDOW TO BE ARGADIA ALUMINUM MODEL #AFG 451. COLOR TO BE DARK BRONZE.
- CONTRACTOR TO VERIFY ALL OPENINGS PRIOR TO ORDERING GLAZING.
- EXTERIOR GLAZING TO BE DUAL-GLAZED LOW "E",

WINDOW TYPES



ABBREVIATIONS:

AL	ALUMINUM	GLS	GLASS	MTL	METAL	SF	STOREFRONT
BS	BRUSHED STAINLESS	HC	HOLLOW CORE	FM	PAINTED METAL	SS	STAINLESS STEEL
FRG	FIRE RESISTANT CORE	HM	HOLLOW METAL	FM	PAINTED WOOD	TMP	TEMPERED
FF	FACTORY FINISH	MFR	MANUFACTURER	SC	SOLID CORE	MD	WOOD

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DATE ISSUE/REVISION

17/06/21 PLANNING SUBMITTAL

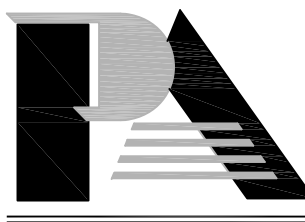
17/04/07 PARKING PLAN & P.C. RESUBMIT

17/12/21 P.C. RESUBMIT

19/01/31 P.C. RESUBMIT

19/05/01 P.C. RESUBMIT

NEW MOTEL BUILDING FOR:
B&J CAPITAL GROUP INVESTMENTS
TO 10th STREET., HERMOSA BEACH, CA 90254



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DATE: 19.05.01

DRAWN: PS

JOB NO. 1601

DRAWING TITLE

EXTERIOR ASSEMBLY DETAILS

DRAWING NUMBER

A5.01