

Proposed Historic Hermosa Beach
Boutique Inn Motel
70 10th Street, Hermosa Beach
Lowest Parking & Pedestrian Traffic Impact permitted by City Code



ABSTRACTS

1. PROJECT NO.	2. SHEET NO.	3. TOTAL SHEETS
4. PROJECT NAME	5. PROJECT ADDRESS	6. PROJECT CITY/STATE/ZIP
7. PROJECT OWNER	8. PROJECT ARCHITECT	9. PROJECT ENGINEER
10. PROJECT DATE	11. PROJECT SCALE	12. PROJECT STATUS

SYMBOLS

	Symbol Description
	Symbol Description
	Symbol Description
	Symbol Description
	Symbol Description
	Symbol Description
	Symbol Description
	Symbol Description
	Symbol Description
	Symbol Description

NEW RETAIL/OFFICE BUILDING FOR B&J CAPITAL GROUP INVESTMENTS

10101 STREET, HERMOSA BEACH, CA 90266

PROJECT DATA

PROJECT INFORMATION	
PROJECT ADDRESS	10101 STREET, HERMOSA BEACH, CA 90266
OWNER NAME	B&J CAPITAL GROUP INVESTMENTS
OWNER ADDRESS	444 HERMOSA BLVD, HERMOSA BEACH, CA 90266
PROJECT NO.	10101-001
LEGAL DESCRIPTION	LOT 10, BLOCK 10, HERMOSA BEACH, CA 90266
BUILDING TYPE	RETAIL/OFFICE BUILDING
LOT AREA	10,000 SQ FT
EXISTING BUILDING TO REMAIN	NO
NEW BUILDING	YES
TOTAL BUILDING AREA ON SITE	10,000 SQ FT

PROJECT DIRECTORY

1. PROJECT NO.	2. SHEET NO.	3. TOTAL SHEETS
4. PROJECT NAME	5. PROJECT ADDRESS	6. PROJECT CITY/STATE/ZIP
7. PROJECT OWNER	8. PROJECT ARCHITECT	9. PROJECT ENGINEER
10. PROJECT DATE	11. PROJECT SCALE	12. PROJECT STATUS

PLANNING and ZONING INFORMATION

ZONING	RETAIL/OFFICE BUILDING
PARKING CALCULATIONS	SEE ATTACHED SHEET
LANDSCAPING	SEE ATTACHED SHEET

SCOPE OF WORK

NEW 10,000 SQ FT THREE STORY MOTEL BUILDING
EXISTING 10,000 SQ FT STRUCTURE TO REMAIN AS MOTEL USE

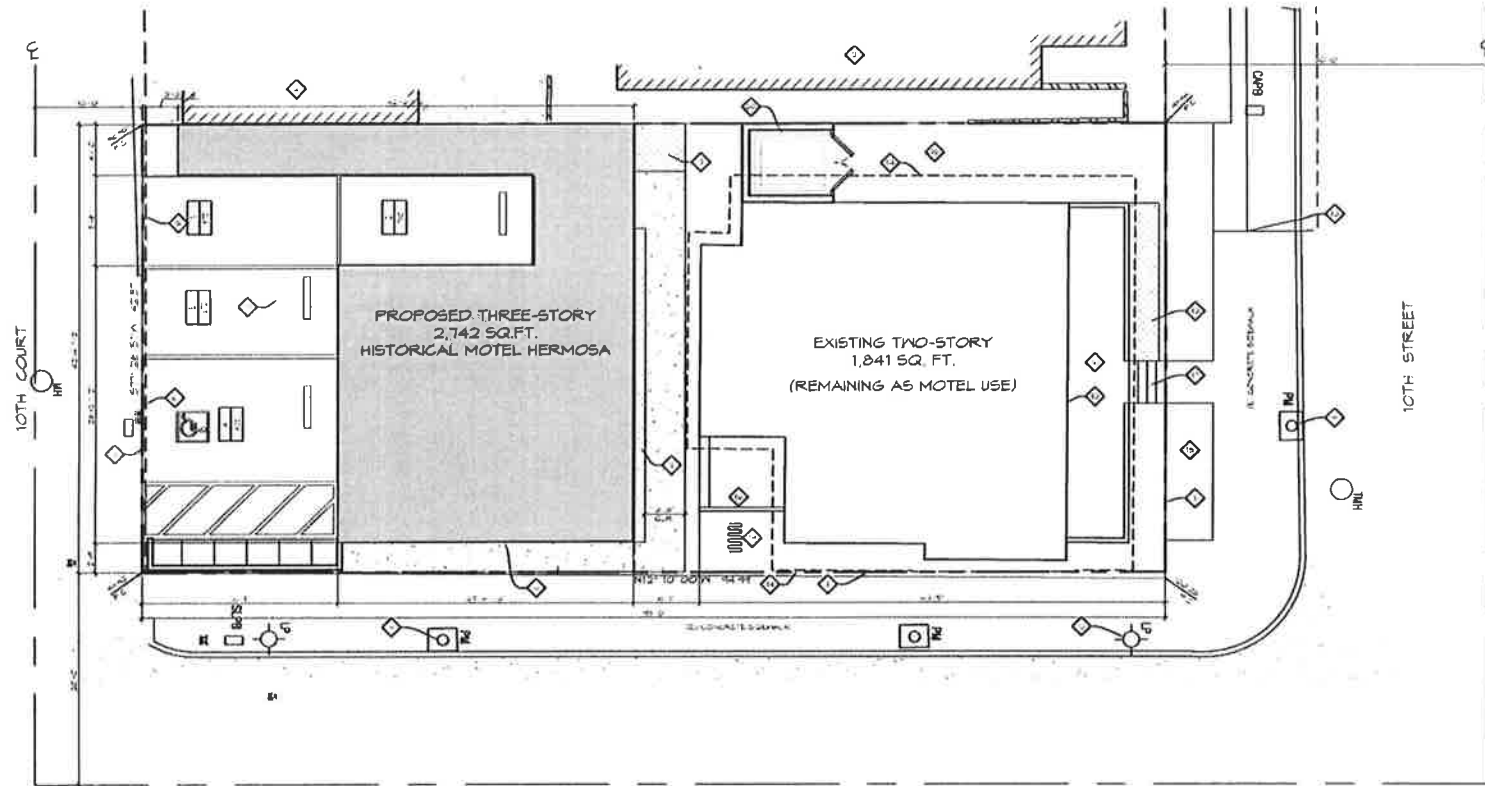
APPLICABLE CODES and REGULATIONS:

THE CURRENT ZONING OF THE HERMOSA BEACH, CA 90266
THE CURRENT BUILDING CODES
THE CURRENT FIRE DEPARTMENT CODES
THE CURRENT HEALTH DEPARTMENT CODES
THE CURRENT ENVIRONMENTAL CODES
THE CURRENT PLANNING AND ZONING CODES

CONSTRUCTION TYPE:

EXISTING TYPE 2
OCCUPANCY GROUP:
GROUP 1 (SEE SHEET 2.0)

VICINITY MAP



HERMOSA AVENUE



PROPOSED SITE PLAN SCALE 1/8" = 1'-0" 1

SITE PLAN KEYNOTES

- | | | | |
|--|--|--|---------------------|
| ◇ PROPERTY LINE | ◇ (1) LANDSCAPE PLANTER AREA (15' SET) | ◇ (1) LANDSCAPE PLANTER AREA (15' SET) | ◇ PUBLIC PARK |
| ◇ (1) THREE-STORY TO LEARN | ◇ (1) MEDIAN PATH OF TRAVEL | ◇ (1) PUBLIC LINE ABOVE | ◇ (1) 8' WIDE TRAIL |
| ◇ (1) ONE-STORY BUILDING | ◇ (1) PARKING LOT | ◇ (1) SURFACE | |
| ◇ (1) 15' SET BUILDING PERMETER | ◇ (1) PARKING LIGHT POLE | ◇ (1) PROPOSED PERMETER | |
| ◇ (1) PROPOSED LEVEL BUILDING PERMETER | ◇ (1) PARKING AREA | ◇ (1) BUILDING STEP DOWN | |
| ◇ (1) PROPOSED LEVEL BUILDING PERMETER | ◇ (1) BUILDING TO REMAIN | ◇ (1) LAND | |

ALL NOTES AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA ELECTRICAL CODE, THE CALIFORNIA MECHANICAL CODE, THE CALIFORNIA PLUMBING CODE, THE CALIFORNIA FIRE CODE, THE CALIFORNIA SAFETY CODE, THE CALIFORNIA ENVIRONMENTAL CODE, THE CALIFORNIA HISTORIC PRESERVATION ACT, AND THE CALIFORNIA HISTORIC MONUMENT ACT.

1. ALL NOTES AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA ELECTRICAL CODE, THE CALIFORNIA MECHANICAL CODE, THE CALIFORNIA PLUMBING CODE, THE CALIFORNIA FIRE CODE, THE CALIFORNIA SAFETY CODE, THE CALIFORNIA ENVIRONMENTAL CODE, THE CALIFORNIA HISTORIC PRESERVATION ACT, AND THE CALIFORNIA HISTORIC MONUMENT ACT.

HISTORICAL MOTEL HERMOSA
B&J CAPITAL GROUP
INVESTMENTS
1201 STREET HERMOSA BLVD. CA 90230

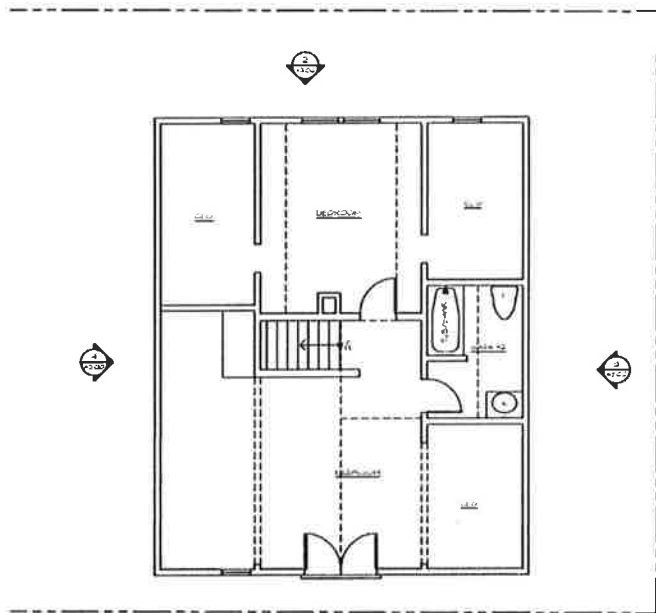
PERNA & ASSOCIATES
ARCHITECTS

10/1/2024

10/1/2024
10/1/2024
10/1/2024
10/1/2024

10/1/2024
10/1/2024
10/1/2024
10/1/2024

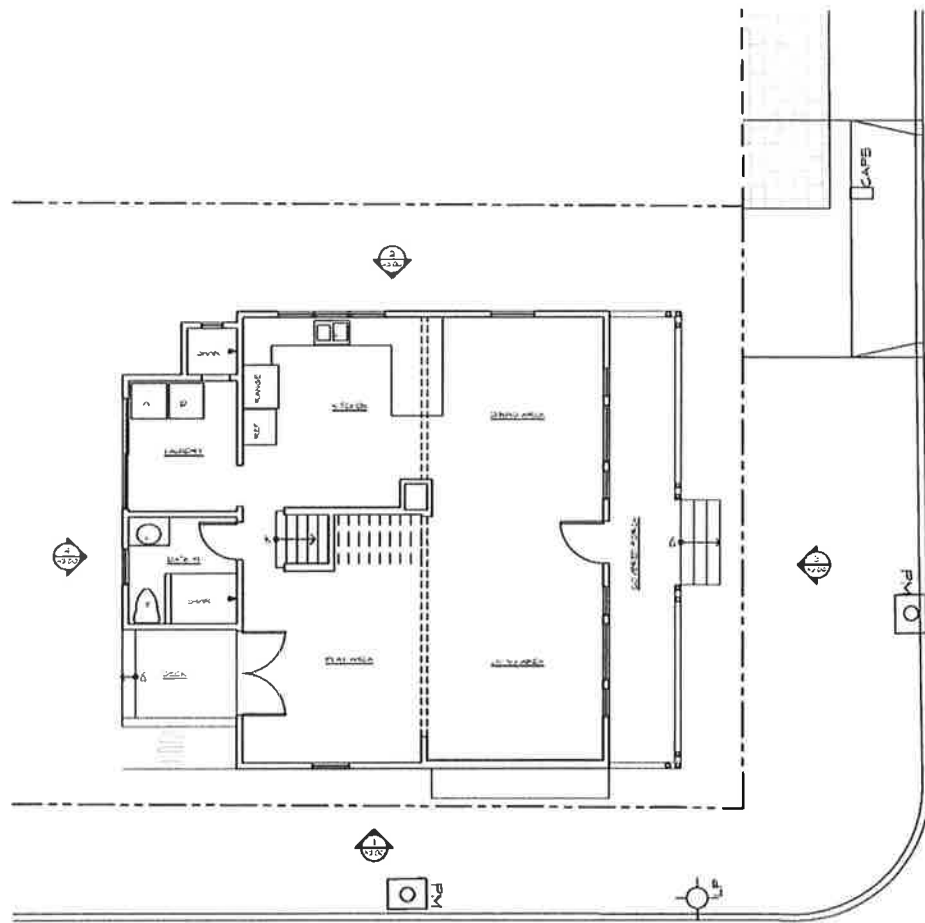
A1.1



EXISTING SECOND FLOOR PLAN

SCALE
1/4" = 1'-0"

2



EXISTING FIRST FLOOR PLAN

SCALE
1/4" = 1'-0"

1

1. All work shall be in accordance with the latest editions of the Building Code of the City of Los Angeles, California, and the applicable provisions of the International Building Code, Inc. (IBC), 2006 Edition, as amended.

2. The owner shall be responsible for obtaining all necessary permits from the City of Los Angeles, California, and the applicable provisions of the International Building Code, Inc. (IBC), 2006 Edition, as amended.

3. The owner shall be responsible for obtaining all necessary permits from the City of Los Angeles, California, and the applicable provisions of the International Building Code, Inc. (IBC), 2006 Edition, as amended.

4. The owner shall be responsible for obtaining all necessary permits from the City of Los Angeles, California, and the applicable provisions of the International Building Code, Inc. (IBC), 2006 Edition, as amended.

5. The owner shall be responsible for obtaining all necessary permits from the City of Los Angeles, California, and the applicable provisions of the International Building Code, Inc. (IBC), 2006 Edition, as amended.

6. The owner shall be responsible for obtaining all necessary permits from the City of Los Angeles, California, and the applicable provisions of the International Building Code, Inc. (IBC), 2006 Edition, as amended.

7. The owner shall be responsible for obtaining all necessary permits from the City of Los Angeles, California, and the applicable provisions of the International Building Code, Inc. (IBC), 2006 Edition, as amended.

8. The owner shall be responsible for obtaining all necessary permits from the City of Los Angeles, California, and the applicable provisions of the International Building Code, Inc. (IBC), 2006 Edition, as amended.

9. The owner shall be responsible for obtaining all necessary permits from the City of Los Angeles, California, and the applicable provisions of the International Building Code, Inc. (IBC), 2006 Edition, as amended.

10. The owner shall be responsible for obtaining all necessary permits from the City of Los Angeles, California, and the applicable provisions of the International Building Code, Inc. (IBC), 2006 Edition, as amended.

11. The owner shall be responsible for obtaining all necessary permits from the City of Los Angeles, California, and the applicable provisions of the International Building Code, Inc. (IBC), 2006 Edition, as amended.

12. The owner shall be responsible for obtaining all necessary permits from the City of Los Angeles, California, and the applicable provisions of the International Building Code, Inc. (IBC), 2006 Edition, as amended.

13. The owner shall be responsible for obtaining all necessary permits from the City of Los Angeles, California, and the applicable provisions of the International Building Code, Inc. (IBC), 2006 Edition, as amended.

14. The owner shall be responsible for obtaining all necessary permits from the City of Los Angeles, California, and the applicable provisions of the International Building Code, Inc. (IBC), 2006 Edition, as amended.

15. The owner shall be responsible for obtaining all necessary permits from the City of Los Angeles, California, and the applicable provisions of the International Building Code, Inc. (IBC), 2006 Edition, as amended.

16. The owner shall be responsible for obtaining all necessary permits from the City of Los Angeles, California, and the applicable provisions of the International Building Code, Inc. (IBC), 2006 Edition, as amended.

17. The owner shall be responsible for obtaining all necessary permits from the City of Los Angeles, California, and the applicable provisions of the International Building Code, Inc. (IBC), 2006 Edition, as amended.

18. The owner shall be responsible for obtaining all necessary permits from the City of Los Angeles, California, and the applicable provisions of the International Building Code, Inc. (IBC), 2006 Edition, as amended.

19. The owner shall be responsible for obtaining all necessary permits from the City of Los Angeles, California, and the applicable provisions of the International Building Code, Inc. (IBC), 2006 Edition, as amended.

20. The owner shall be responsible for obtaining all necessary permits from the City of Los Angeles, California, and the applicable provisions of the International Building Code, Inc. (IBC), 2006 Edition, as amended.

21. The owner shall be responsible for obtaining all necessary permits from the City of Los Angeles, California, and the applicable provisions of the International Building Code, Inc. (IBC), 2006 Edition, as amended.

HISTORICAL MOTEL HERMOSA
B&J CAPITAL GROUP INVESTMENTS
10101 STREET HERMOSA BEACH, CA 90264

PEHA & ASSOCIATES
ARCHITECTS

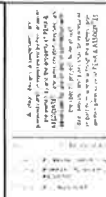
LARRY KIM, AIA

DATE: 10.11.07
DRAWN: JPS
CHECKED: JPS
SCALE: 1/4" = 1'-0"

EXISTING FLOOR PLAN

California, Model 10

A2.0



**B&J CAPITAL GROUP
INVESTMENTS**

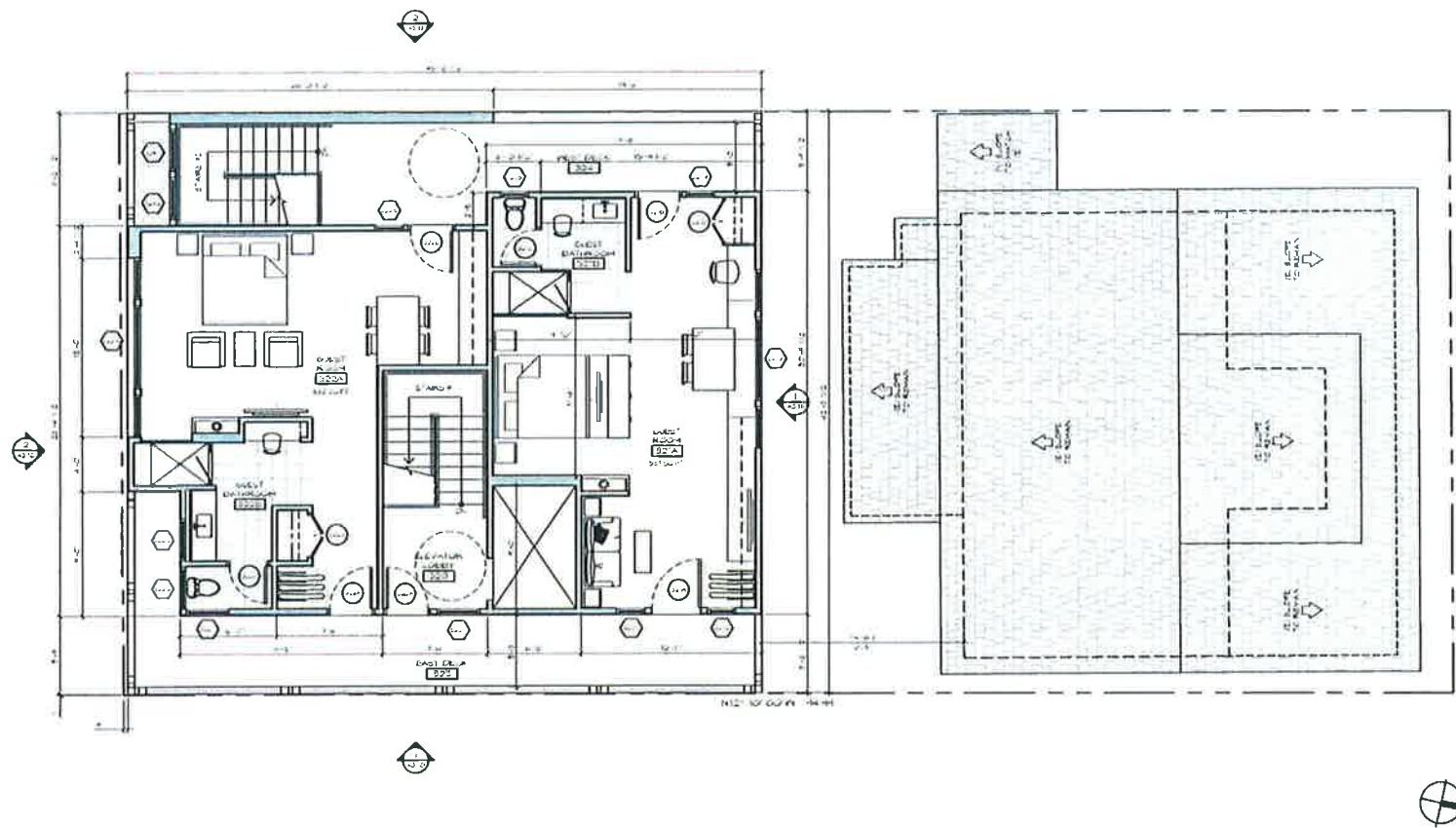


Large Poles. AFA

PROPOSED SECOND FLOOR PLANS

1. The first step is to identify the problem.

[illegible]



PROPOSED THIRD FLOOR PLAN SCALE 1/4" = 1'-0" 1

1. All dimensions are in feet and inches.
2. All dimensions are to the center of the wall unless otherwise noted.
3. All dimensions are to the center of the door unless otherwise noted.
4. All dimensions are to the center of the window unless otherwise noted.
5. All dimensions are to the center of the column unless otherwise noted.
6. All dimensions are to the center of the beam unless otherwise noted.
7. All dimensions are to the center of the slab unless otherwise noted.
8. All dimensions are to the center of the foundation unless otherwise noted.
9. All dimensions are to the center of the footing unless otherwise noted.
10. All dimensions are to the center of the pile unless otherwise noted.

HISTORICAL MOTEL HERMOSEA
B&J CAPITAL GROUP
INVESTMENTS
10-20-2018 4:00 PM 10-20-2018

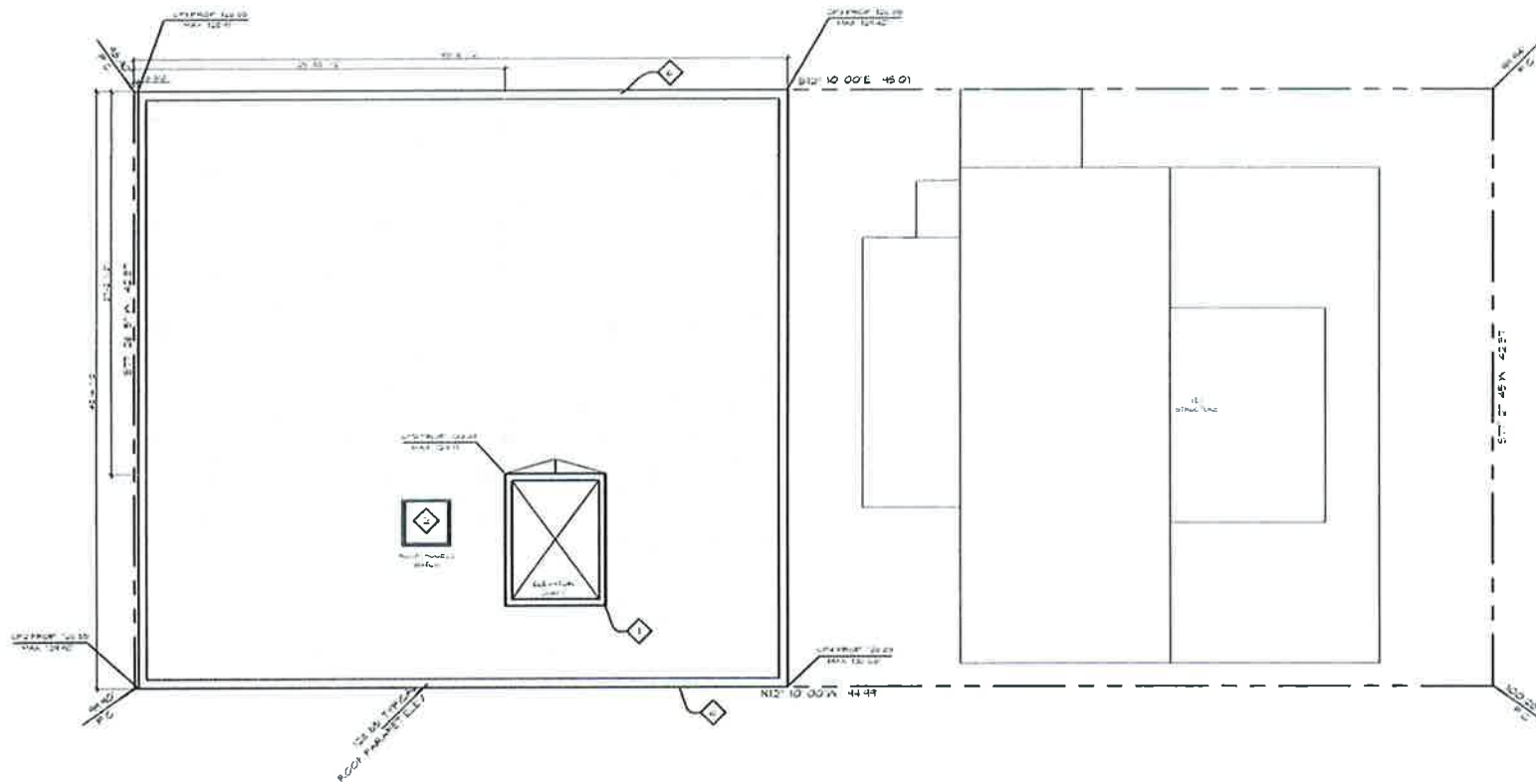
PERK & ASSOCIATES
ARCHITECTURE

Early File 31A

10-20-2018
10-20-2018
10-20-2018
10-20-2018
10-20-2018

10-20-2018
10-20-2018
10-20-2018
10-20-2018
10-20-2018

A2.3



PROPOSED ROOF PLAN SCALE 1/4" = 1'-0" 1

ROOF PLAN KEYNOTES

- ◇ SERVICE ROOF PARAPET
- ◇ ROOF ACCESS WALK
- ◇ NOT USED
- ◇ NOT USED
- ◇ PRIVATE DECK WALK
- ◇ ROOF PARAPET WALK

Project Address: 70 10th Street

Area 1	10.0	Area 2	10.0	Area 3	10.0	Area 4	10.0	Area 5	10.0	Area 6	10.0	Area 7	10.0	Area 8	10.0	Area 9	10.0	Area 10	10.0	Area 11	10.0	Area 12	10.0	Area 13	10.0	Area 14	10.0	Area 15	10.0	Area 16	10.0	Area 17	10.0	Area 18	10.0	Area 19	10.0	Area 20	10.0	Area 21	10.0	Area 22	10.0	Area 23	10.0	Area 24	10.0	Area 25	10.0	Area 26	10.0	Area 27	10.0	Area 28	10.0	Area 29	10.0	Area 30	10.0	Area 31	10.0	Area 32	10.0	Area 33	10.0	Area 34	10.0	Area 35	10.0	Area 36	10.0	Area 37	10.0	Area 38	10.0	Area 39	10.0	Area 40	10.0	Area 41	10.0	Area 42	10.0	Area 43	10.0	Area 44	10.0	Area 45	10.0	Area 46	10.0	Area 47	10.0	Area 48	10.0	Area 49	10.0	Area 50	10.0	Area 51	10.0	Area 52	10.0	Area 53	10.0	Area 54	10.0	Area 55	10.0	Area 56	10.0	Area 57	10.0	Area 58	10.0	Area 59	10.0	Area 60	10.0	Area 61	10.0	Area 62	10.0	Area 63	10.0	Area 64	10.0	Area 65	10.0	Area 66	10.0	Area 67	10.0	Area 68	10.0	Area 69	10.0	Area 70	10.0	Area 71	10.0	Area 72	10.0	Area 73	10.0	Area 74	10.0	Area 75	10.0	Area 76	10.0	Area 77	10.0	Area 78	10.0	Area 79	10.0	Area 80	10.0	Area 81	10.0	Area 82	10.0	Area 83	10.0	Area 84	10.0	Area 85	10.0	Area 86	10.0	Area 87	10.0	Area 88	10.0	Area 89	10.0	Area 90	10.0	Area 91	10.0	Area 92	10.0	Area 93	10.0	Area 94	10.0	Area 95	10.0	Area 96	10.0	Area 97	10.0	Area 98	10.0	Area 99	10.0	Area 100	10.0
--------	------	--------	------	--------	------	--------	------	--------	------	--------	------	--------	------	--------	------	--------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	---------	------	----------	------

1. This drawing is prepared by the Architect for the purpose of showing the proposed roof plan for the project. It is not to be used for any other purpose without the written consent of the Architect.

HISTORICAL MOTEL HERMOSA
B&J CAPITAL GROUP
INVESTMENTS
70 10th Street, Hermosa Beach, CA 90254

PERA & ASSOCIATES
ARCHITECTS

Larry Pera, AIA

10/11/2023
Revised: 10/11/2023
10/11/2023
10/11/2023

FILE: 10/11/23
SAAAR: IPS
10/11/23: 10/11/23
10/11/23: 10/11/23

NOT USED
NOT USED
NOT USED

A2.4



- 1) HNO_3 and H_2SO_4
- 2) HNO_3 and H_2SO_4
- 3) HNO_3 and H_2SO_4
- 4) HNO_3 and H_2SO_4
- 5) HNO_3 and H_2SO_4
- 6) HNO_3 and H_2SO_4
- 7) HNO_3 and H_2SO_4
- 8) HNO_3 and H_2SO_4
- 9) HNO_3 and H_2SO_4
- 10) HNO_3 and H_2SO_4
- 11) HNO_3 and H_2SO_4
- 12) HNO_3 and H_2SO_4
- 13) HNO_3 and H_2SO_4
- 14) HNO_3 and H_2SO_4
- 15) HNO_3 and H_2SO_4
- 16) HNO_3 and H_2SO_4
- 17) HNO_3 and H_2SO_4
- 18) HNO_3 and H_2SO_4
- 19) HNO_3 and H_2SO_4
- 20) HNO_3 and H_2SO_4

B&J CAPITAL GROUP INVESTMENTS



LMA, PMA, ABA

1. $\mathcal{H} = \{H_1, \dots, H_n\}$
 2. $\mathcal{H} = \{H_1, \dots, H_n\}$
 3. $\mathcal{H} = \{H_1, \dots, H_n\}$
 4. $\mathcal{H} = \{H_1, \dots, H_n\}$
 5. $\mathcal{H} = \{H_1, \dots, H_n\}$

ALL 101107
LEAD PS
JUN 71 1001
LAWSON, HILL
200/100/200/100

L. A. Auerbach, *Forrestburg, Md.*

A3.00



EXISTING SOUTH EAST - 10TH STREET SCALE 1/4"=1'-0" 3



EXISTING NORTH EAST - HERMOSA AVE SCALE 1/4"=1'-0" 1



EXISTING SOUTH ELEVATION - 10TH COURT SCALE 1/4"=1'-0" 4



EXISTING NORTH WEST SCALE 1/4"=1'-0" 2

Architect: B&J Capital Group
 Project: Historical Motel Hermosa
 Location: 10th Street, Hermosa Beach, CA 90254
 Date: 10/2017

HISTORICAL MOTEL HERMOSA
 B&J CAPITAL GROUP
 INVESTMENTS
 1010 10TH STREET, HERMOSA BEACH, CA 90254

PLHA & ASSOCIATES
 ARCHITECTS

DATE: 10/2017

1010 10TH STREET, HERMOSA BEACH, CA 90254
 1010 10TH STREET, HERMOSA BEACH, CA 90254
 1010 10TH STREET, HERMOSA BEACH, CA 90254

DATE: 10/2017
 DRAWN: JPD
 PROJECT: 1010
 DRAWING: 1010
 EXISTING SOUTH ELEVATION

DATE: 10/2017

A3.01

[illegible]

HISTORICAL MOTEL HERMOSA
B&J CAPITAL GROUP
INVESTMENTS

PEIN & ASSOCIATES
ARCHITECTS LTD.

لایف ٹی. اے. اے

1. Identify the
author(s) of the
document.
 2. What is the
document about?



اگر ایستادگی و مقاومت را به معنای

A5.01