

SOLAR NOTE:

PROVIDE A CONDUIT FROM THE ROOF TO THE ELECTRICAL PANEL FOR FUTURE SOLAR INSTALLATION PER HBMC SEC. 15.32.140 (ELECTRICAL CODE)

NOTE:

A 3' EGRESS PATH MUST BE MAINTAINED FROM THE FINISHED BUILDING WALL TO THE BACK OF THE SHORING WALL, FENCE OR PROPERTY LINE

LOT COVERAGE

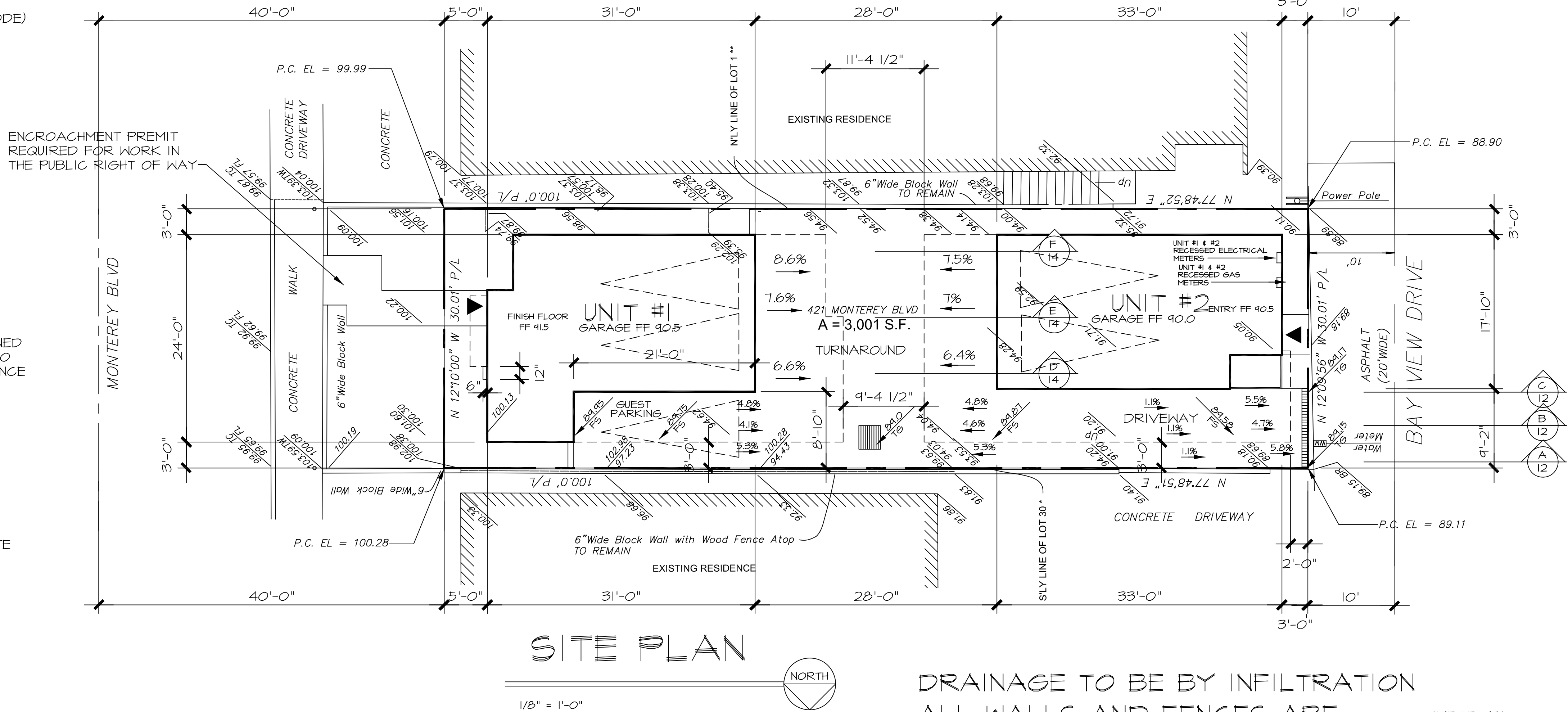
BUILDING: 1209 SQ.FT.  
PAVED AREA: 1622 SQ. FT.

GRADING

GRADING IS PROPOSED FOR THIS SITE

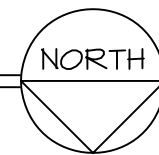
CUBIC YARDS CUT: 984  
CUBIC YARDS FILL: 180

MAX. HEIGHT OF FILL: 20'  
MAX. HEIGHT OF CUT: 20'



SITE PLAN

1/8" = 1'-0"



DRAINAGE TO BE BY INFILTRATION  
ALL WALLS AND FENCES ARE  
EXIST'G ON NEIGHBORS PROPERTY

IMPORTANT

SHEET INDEX		ZONING INFORMATION			DEVELOPMENT PROGRAM			OWNER
SHEET	DESCRIPTION		REQUIRED	PROVIDED	BUILDING SUMMARY			
1	SITE PLAN	LOT AREA PER DWELLING UNIT	1,320 SQ.FT.	1443 SQ.FT.		UNIT #1	UNIT #2	SOUTHERN CALIFORNIA CONSTRUCTION C/O: BRIAN ARIANPOUR P.O. BOX 2284 REDONDO BEACH, CA. 90278 310-809-8761
5	SURVEY	LOT COVERAGE	3001x65% = 1950.65	1948 SQ.FT. 649%	SUB-BASMENT LIVING AREA	630 SQ.FT.	0 SQ.FT.	
2	FLOOR PLANS	YARDS:			BASEMENT LIVING AREA	108 SQ.FT.	658 SQ.FT.	
3	FLOOR PLANS	FRONT	5'	5'	FIRST LEVEL LIVING AREA	908 SQ.FT.	114 SQ.FT.	
4	FLOOR PLANS	SIDE	3'	3'	SECOND LEVEL LIVING AREA	843 SQ.FT.	1010 SQ.FT.	
5	FLOOR PLANS	REAR	9'11"	3'1/2"	THIRD LEVEL LIVING AREA	272 SQ.FT.	656 SQ.FT.	
6	ROOF PLAN/ROOF DECK	PARKING AND DRIVEWAYS:			TOTAL LIVING AREA	2761 SQ.FT.	2438 SQ.FT.	
7	ROOF PLAN	NUMBER OF SPACES	2 PER UNIT-TOTAL 4 SPACES	2 PER UNIT-TOTAL 4 SPACES	GARAGE	491 SQ.FT.	448 SQ.FT.	
8	ELEVATIONS	GUEST SPACES	1 SPACES	1 SPACES	BALCONY/DECK	101.5 SQ.FT.	200.39 SQ.FT.	
9	ELEVATIONS	PARKING SETBACK	17'9"	17'9"	ROOF DECKS	558 SQ.FT.	306 SQ.FT.	
10	ELEVATIONS	PARKING STALL DIMENSION	20'x17' UNIT	20'x17'	TOTAL DECKS/PATIOS	559.5 SQ.FT.	506.39 SQ.FT.	
11	ELEVATIONS	TURNING AREA	28'	28'				
12	DRIVEWAY PROFILES	DRIVE WIDTH	9'	9'				
13	LOT COVERAGE	DRIVEWAY MAX. SLOPE	12.5%	3%/10%				
14	TURN AROUND PROFILES	OPEN SPACE:	300 SQ.FT.	300 UNIT #1/301.5 UNIT #1				
L-1	LANDSCAPING PLAN	TOTAL	300 PER UNIT	300 UNIT #1/659.5 UNIT #2	NUMBER OF BEDROOMS	3	3	
L-2	LANDSCAPING PLAN	PRIVATE (PER UNIT)	300 PER UNIT	UNIT #1 DECKS 659.5 SQ.FT.	NUMBER OF BATHS	2.5	2.5	
L-3	LANDSCAPING PLAN			TOTAL 659.5 SQ.FT.	OCCUPANCY R-3/U			
					TYPE OF CONSTRUCTION VB			
					AUTOMATIC SPRINKLERS ARE REQUIRED. DEFERRED SUBMITTAL FOR FIRE SPRINKLERS: 13-D SYSTEM TO BE INSTALLED BY A C-16 LICENSED CONTRACTOR			
								LEGAL
								LOT 31 TRACT NO 1074 MB 17-137 APN # 4188-010-044
								BLDG SUMMARY
								TYPE OF CONSTRUCTION: VB, THREE STORIES W/ BASEMENT W/ SPRINKLERS OCCUPANCY: R-3/U FLOOD ZONE 'X' PARKING - 2-ENCLOSED PER UNIT 1 GUEST

REVISIONS	BY

JAN TROBAUGH  
ARCHITECT  
ARCHITECTURE AND PLANNING  
2420 CARSON STREET, SUITE 225  
Torrance, California 90501  
310-505-2582  
ARCHIT@JAO.COM

SHEET DESCRIPTION  
SITE PLAN  
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PROJECT DESCRIPTION  
2-UNIT CONDOMINIUM FOR  
SOUTHERN CALIFORNIA CONST.  
421 MONTEREY BLVD.  
HERMOSA BEACH, CA.

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SHEET 1 OF 1 SHEET

R.C.E. 30826

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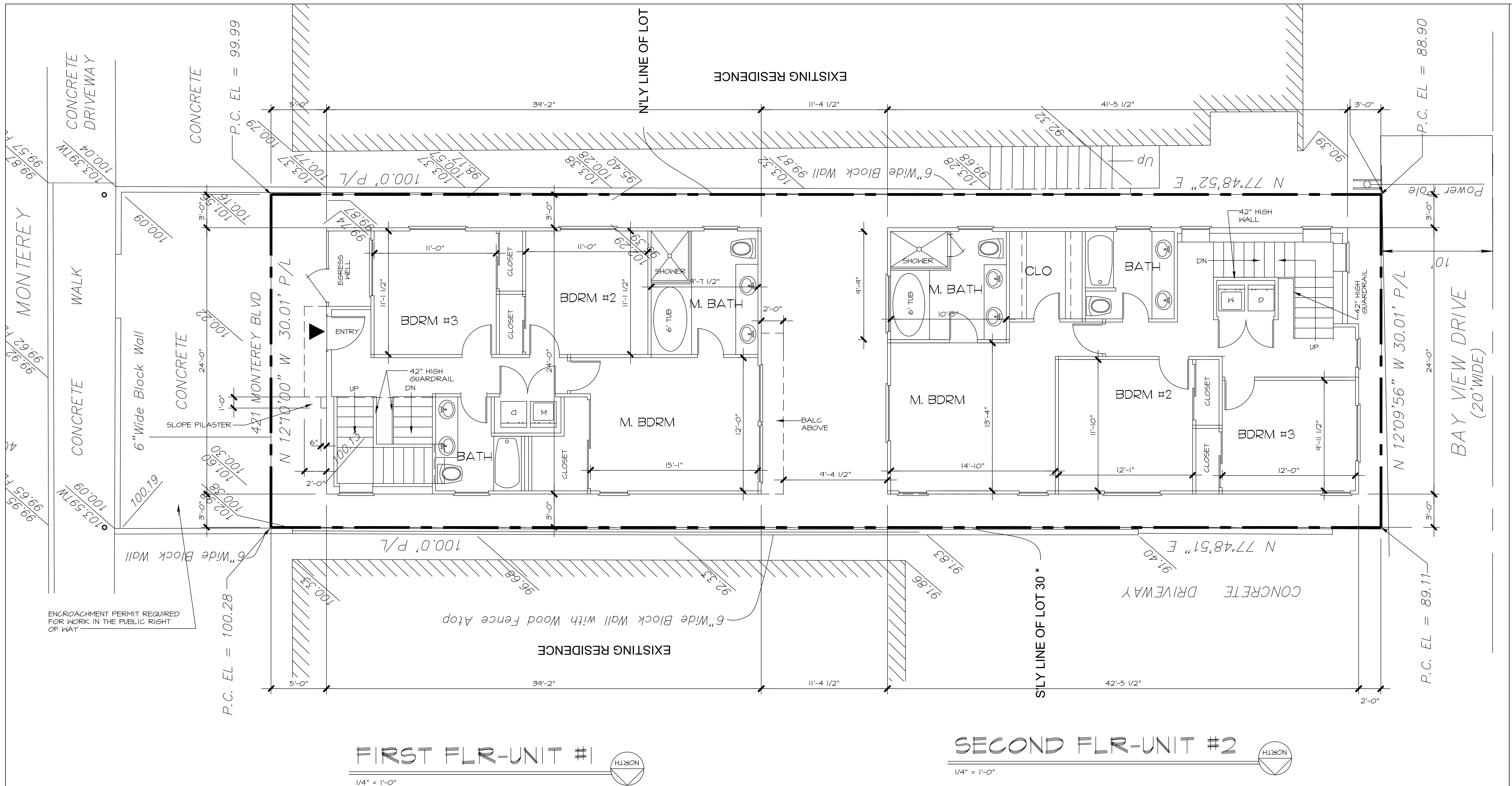
18-365

18-365









PROJECT DESCRIPTION

LICENSED ARCHITECT  
JAN E. TROBAUGH  
NO. C-15577  
REN. 5-30-19  
STATE OF CALIFORNIA

SHEET DESCRIPTION  
FLOOR PLANS

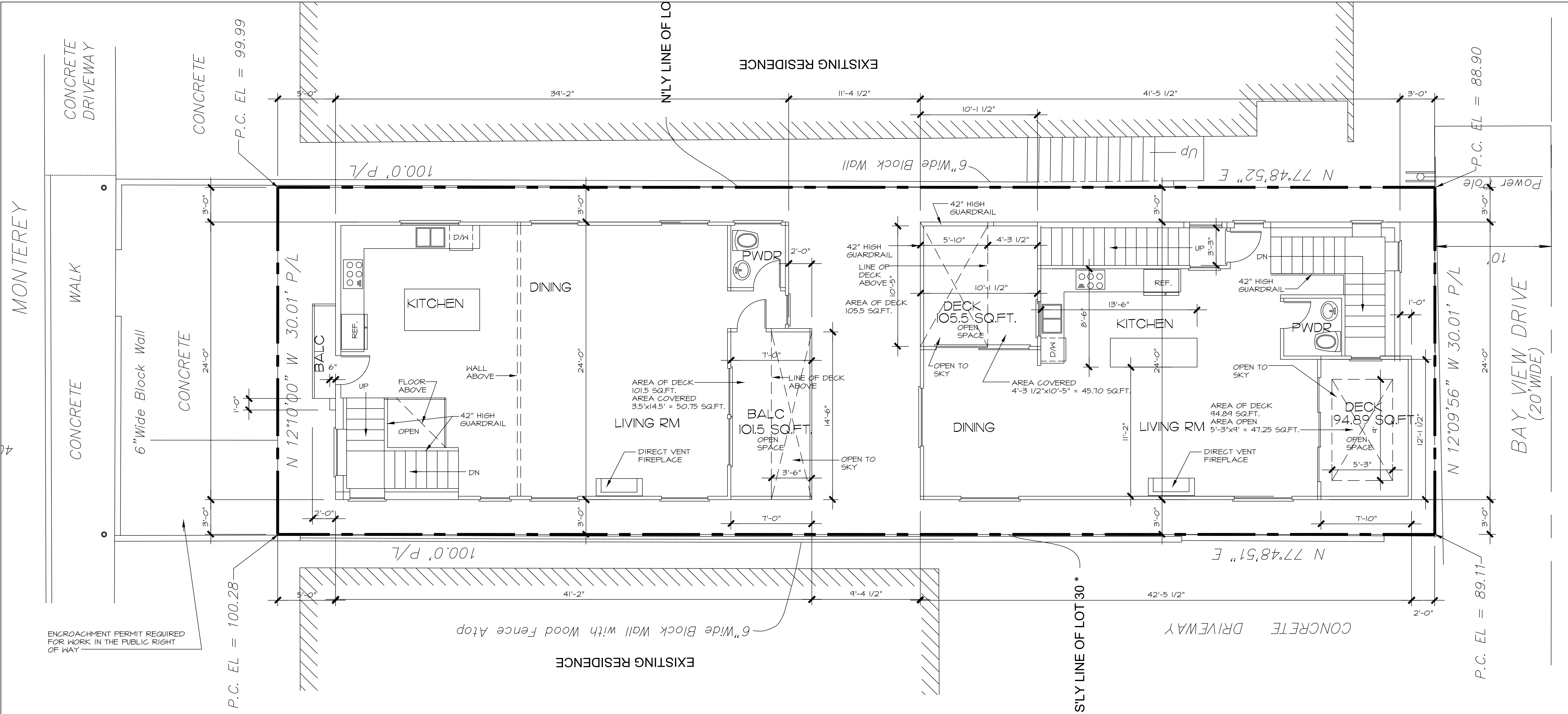
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ARCHITECT  
ARCHITECTURE AND PLANNING  
2420 CARSON STREET, SUITE 225  
TORRANCE, CALIFORNIA 90501  
310-308-2582 ARCHJET@AOL.COM

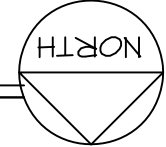
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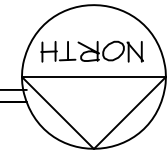
SECOND FLR-UNIT #1

1/4" = 1'-0"



THIRD FLR-UNIT #2

1/4" = 1'-0"



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ARCHITECT

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2420 CARSON STREET, SUITE 225  
TORRANCE, CALIFORNIA 90501  
310-308-2582 ARCHJET@AOL.COM

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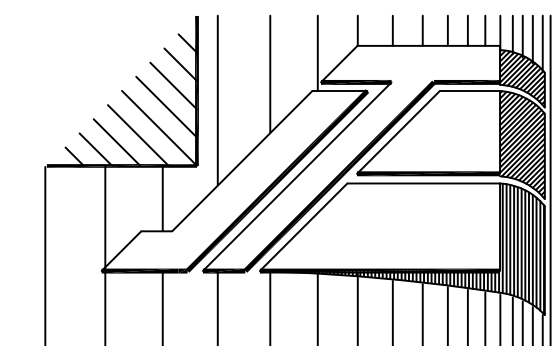
47


$$1/4'' = 1'-0''$$

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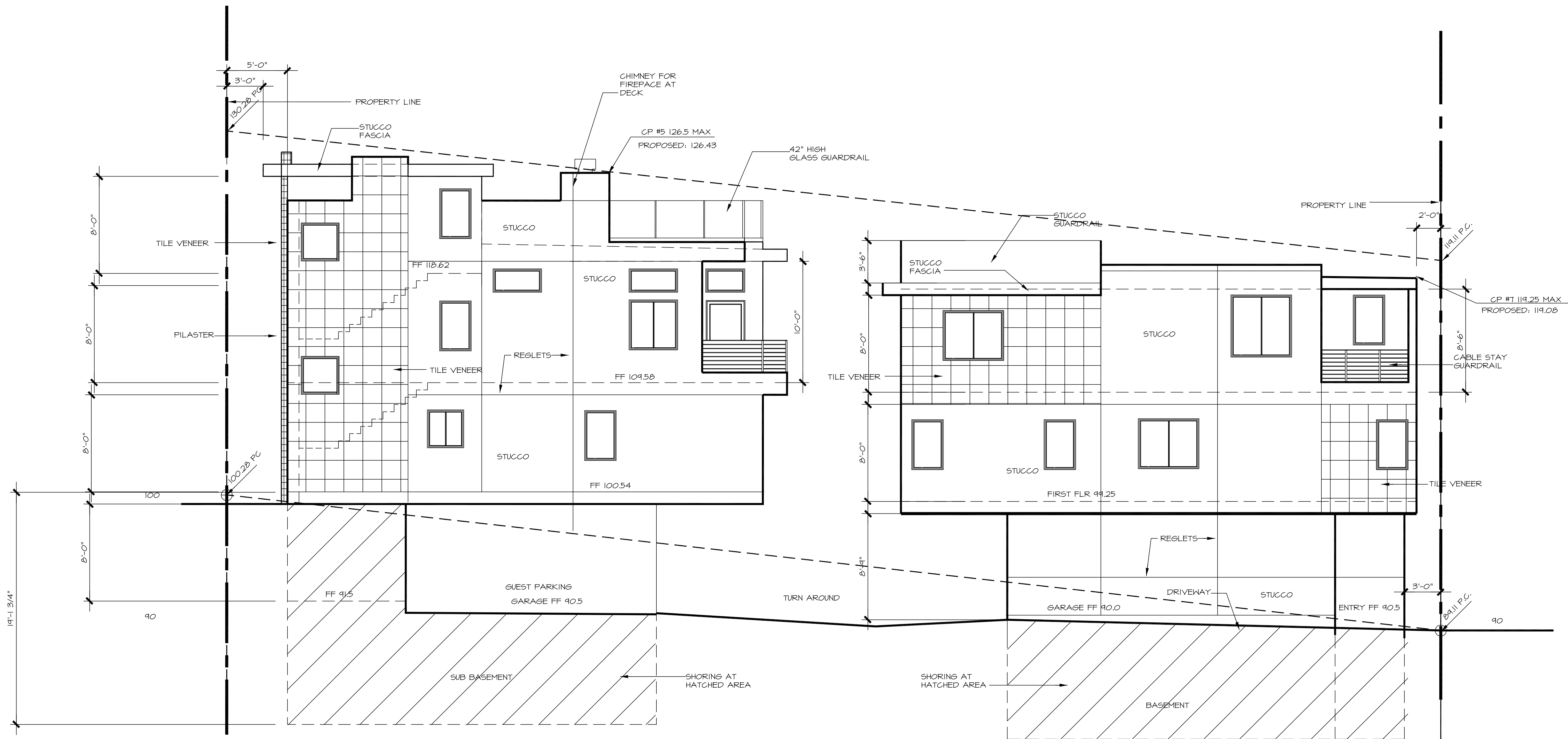
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TORRANCE, CALIFORNIA 90501  
310-308-2582 ARCHJET@AOL.COM



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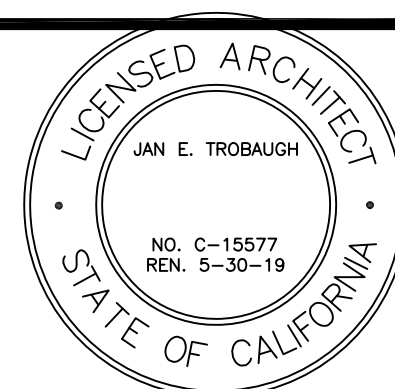
NORTH ELEVATION UNIT #1

1/4" = 1'-0"

NORTH ELEVATION UNIT #2

1/4" = 1'-0"

PROJECT DESCRIPTION

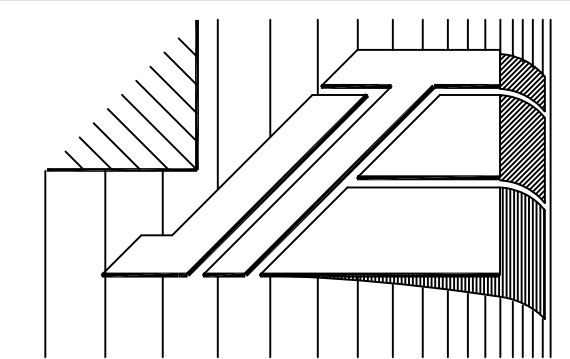


SHEET DESCRIPTION  
ELEVATIONS

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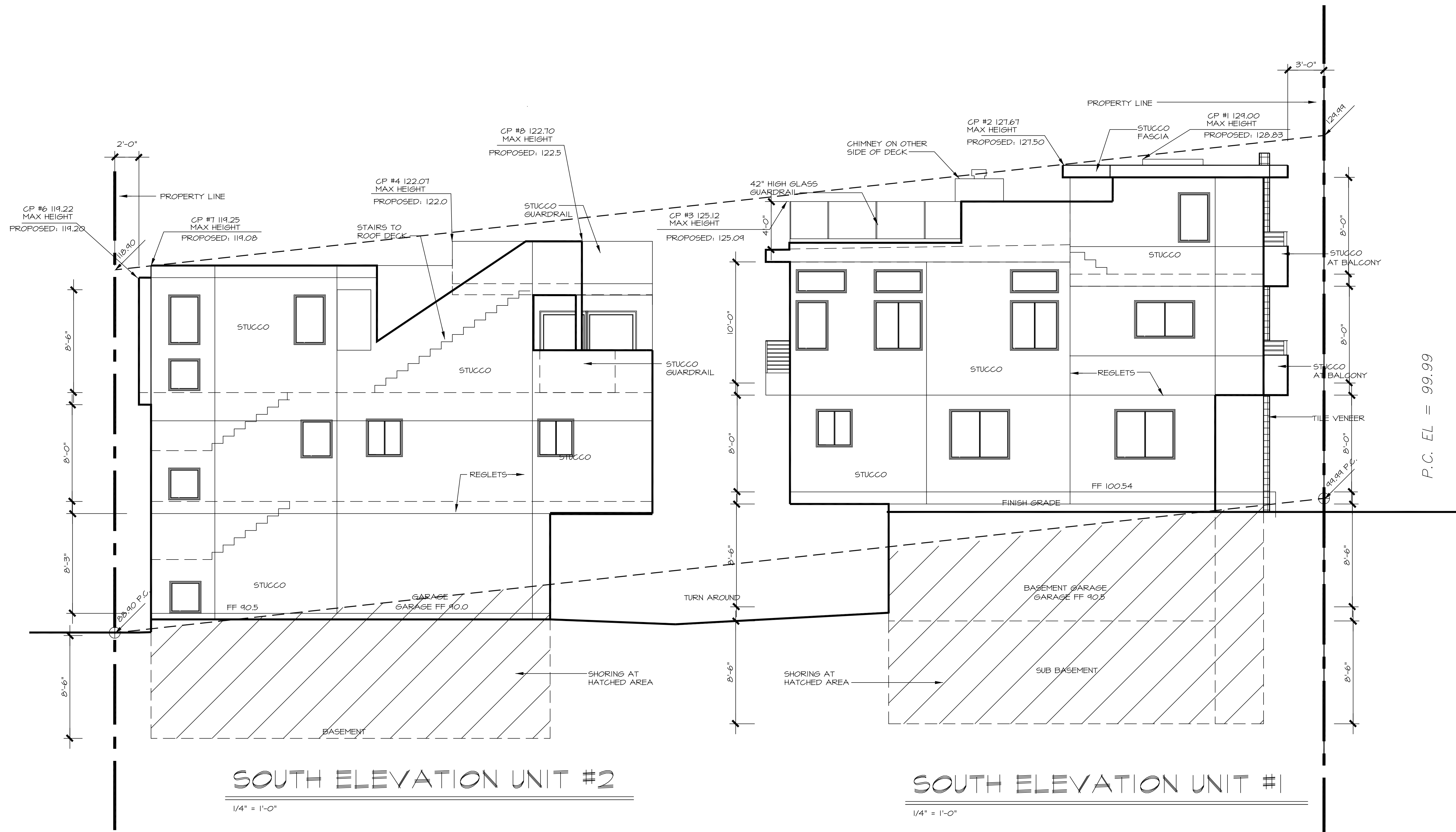
JAN TROBAUGH  
ARCHITECT

ARCHITECTURE AND PLANNING  
2420 CARSON STREET, SUITE 225  
TORRANCE, CALIFORNIA 90501  
310-308-2582 ARCHJET@AOL.COM



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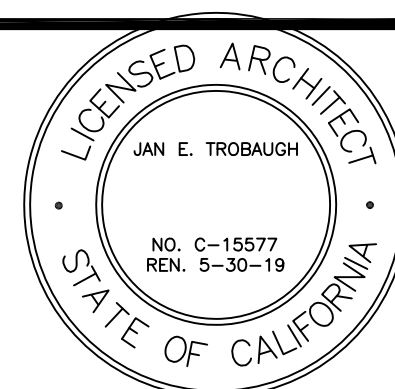
SOUTH ELEVATION UNIT #2

1/4" = 1'-0"

SOUTH ELEVATION UNIT #1

1/4" = 1'-0"

PROJECT DESCRIPTION

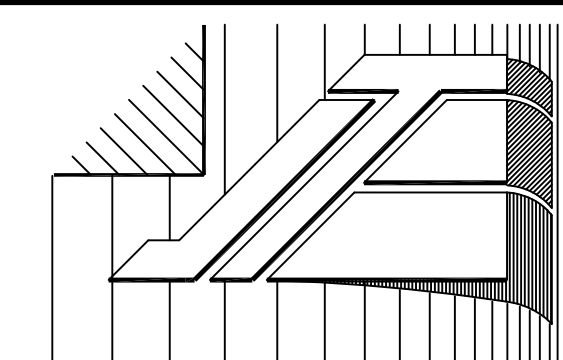


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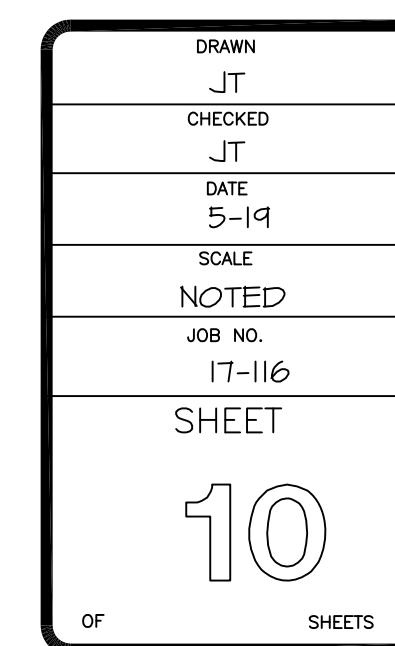
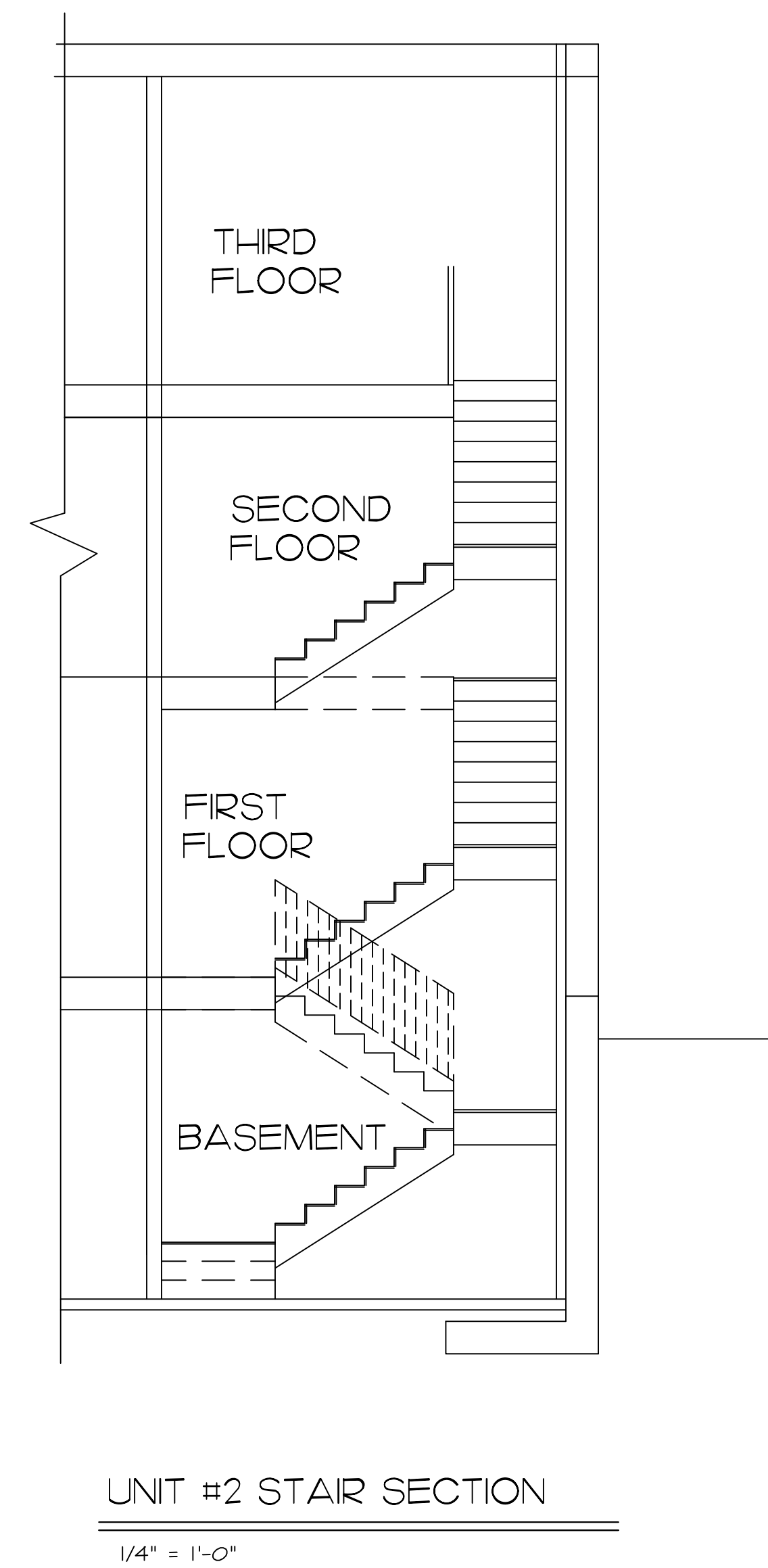
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ARCHITECT

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2420 CARSON STREET, SUITE 225  
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<h2 style="margin: 0;">PROJECT DESCRIPTION</h2>	
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**SHEET DESCRIPTION**


**ELEVATIONS**

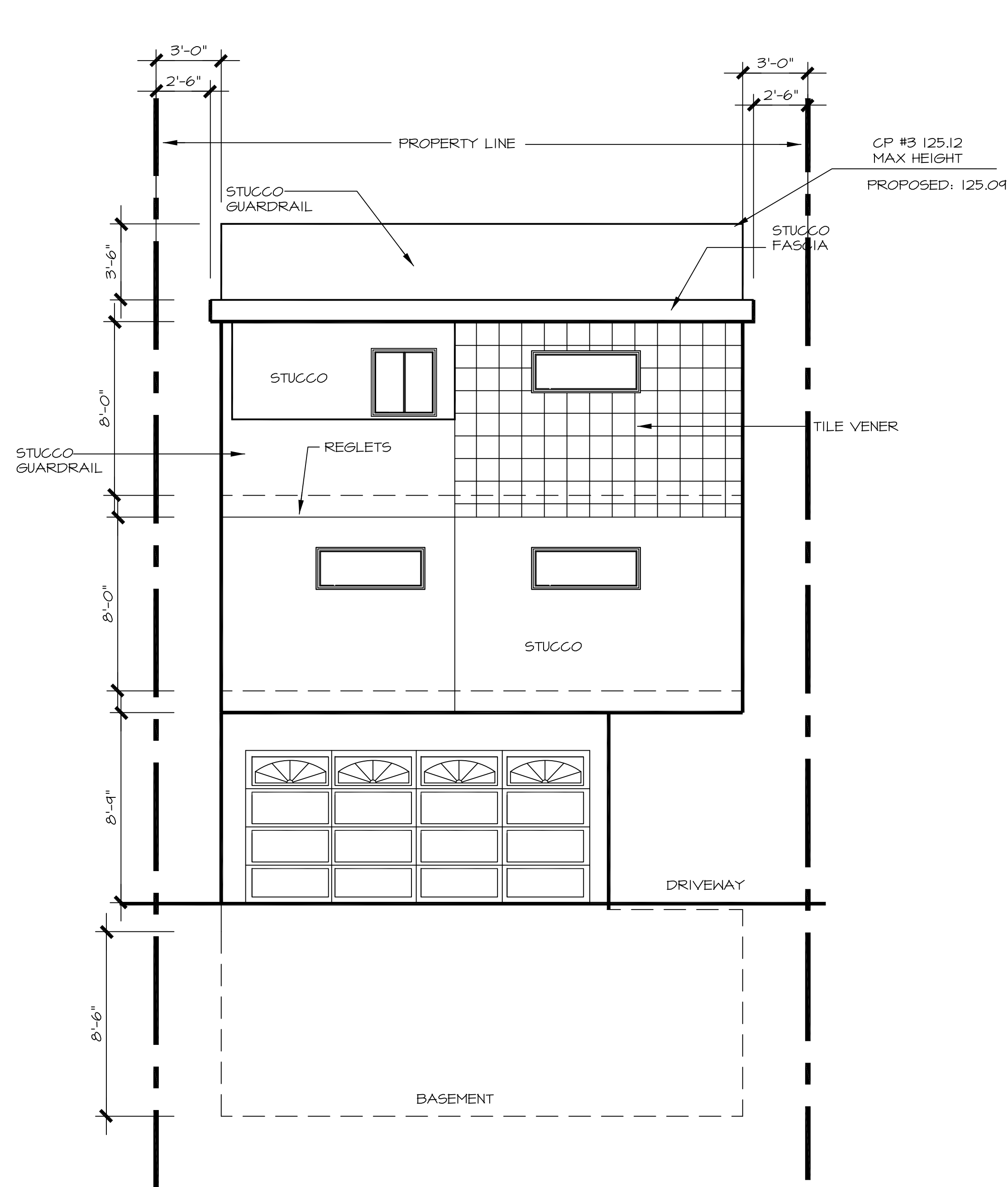
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**JAN TROBAUGH  
ARCHITECT**

ARCHITECTURE AND PLANNING  
2420 CARSON STREET, SUITE 225  
TORRANCE, CALIFORNIA 90501  
310-308-2582 ARCHJET@aol.com

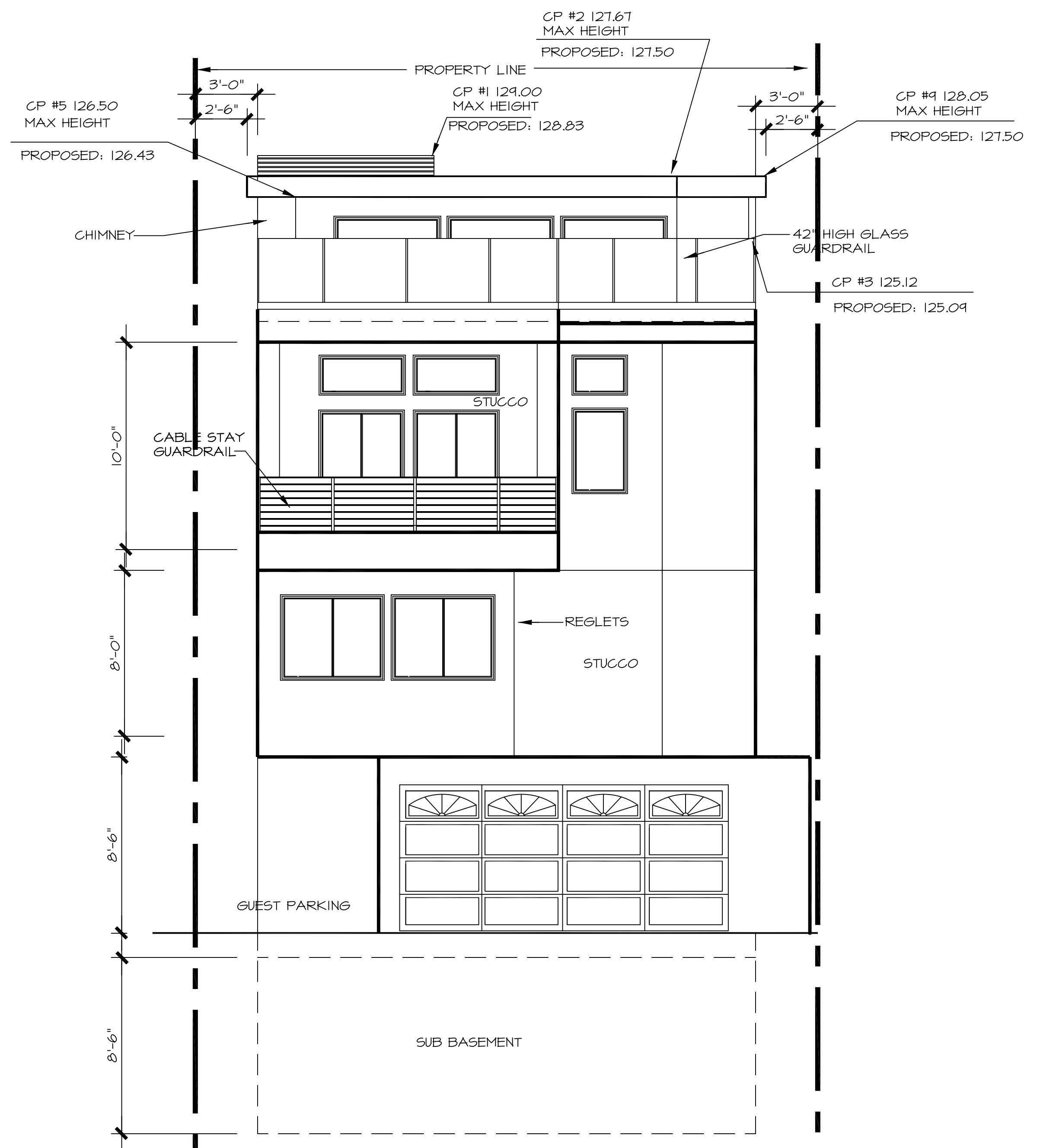




EAST ELEVATION

1/4" = 1'-0"

UNIT #2

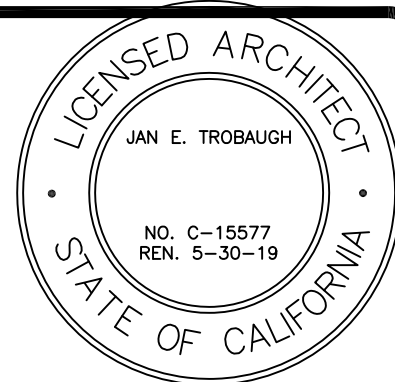


WEST ELEVATION

1/4" = 1'-0"

UNIT #1

PROJECT DESCRIPTION

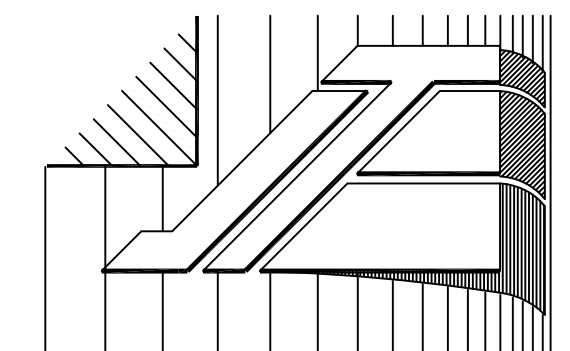


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ELEVATIONS

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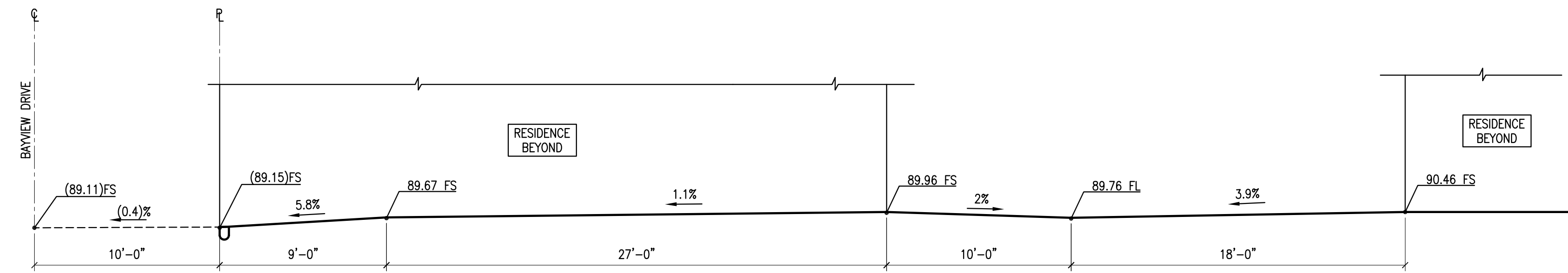
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2420 CARSON STREET, SUITE 225  
TORRANCE, CALIFORNIA 90501  
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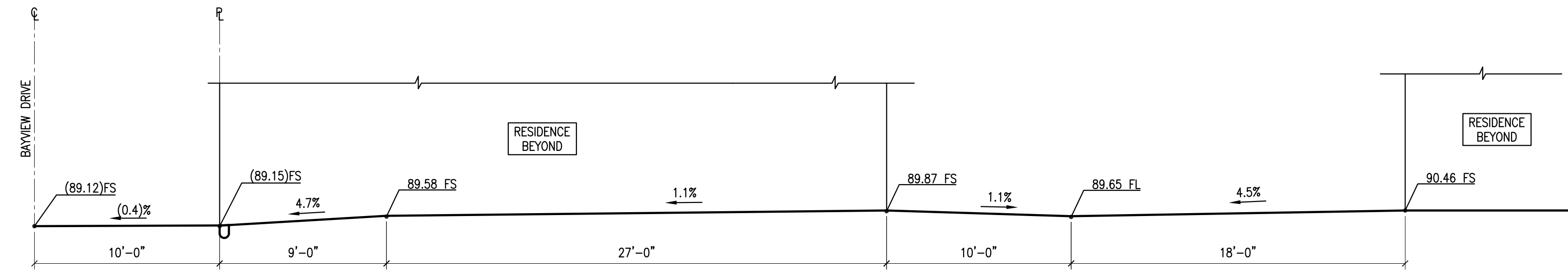




### DRIVEWAY PROFILE

SCALE: 0 1 3 5 FEET 10  
1" = 5'

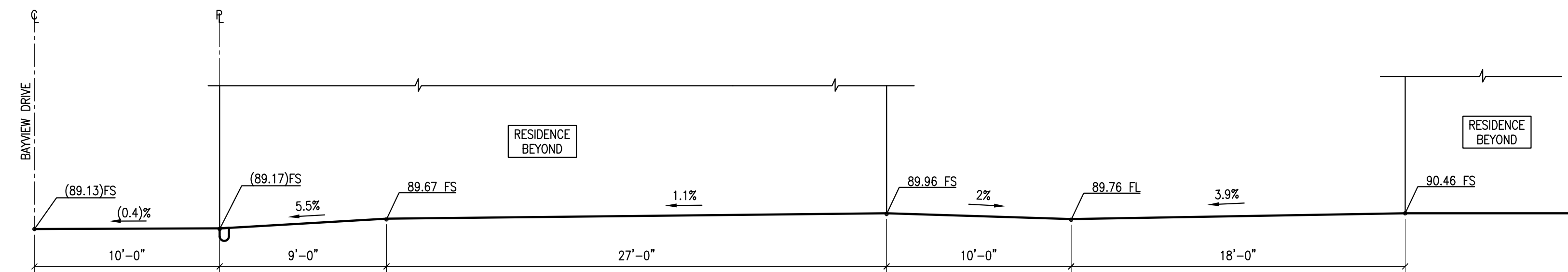
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### DRIVEWAY PROFILE

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1" = 5'

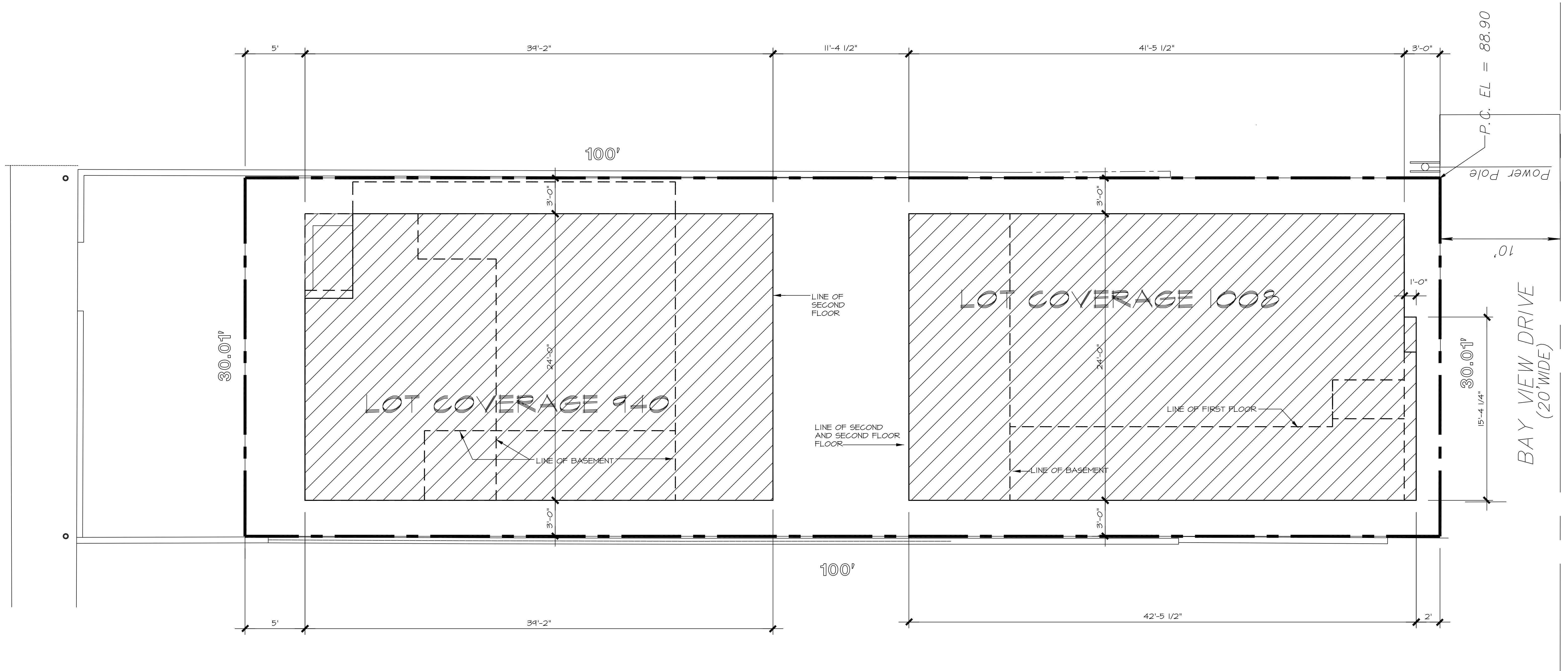
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### DRIVEWAY PROFILE

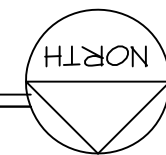
SCALE: 0 1 3 5 FEET 10  
1" = 5'

C



## UNIT #1 LOT COVERAGE

1/4" = 1'-0"

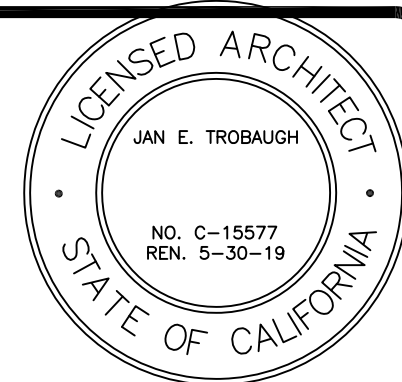


## UNIT #2 LOT COVERAGE

1/4" = 1'-0"



### PROJECT DESCRIPTION



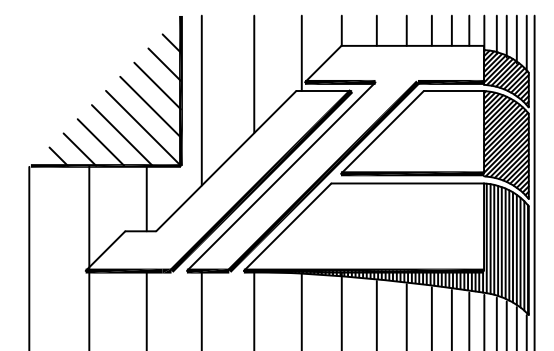
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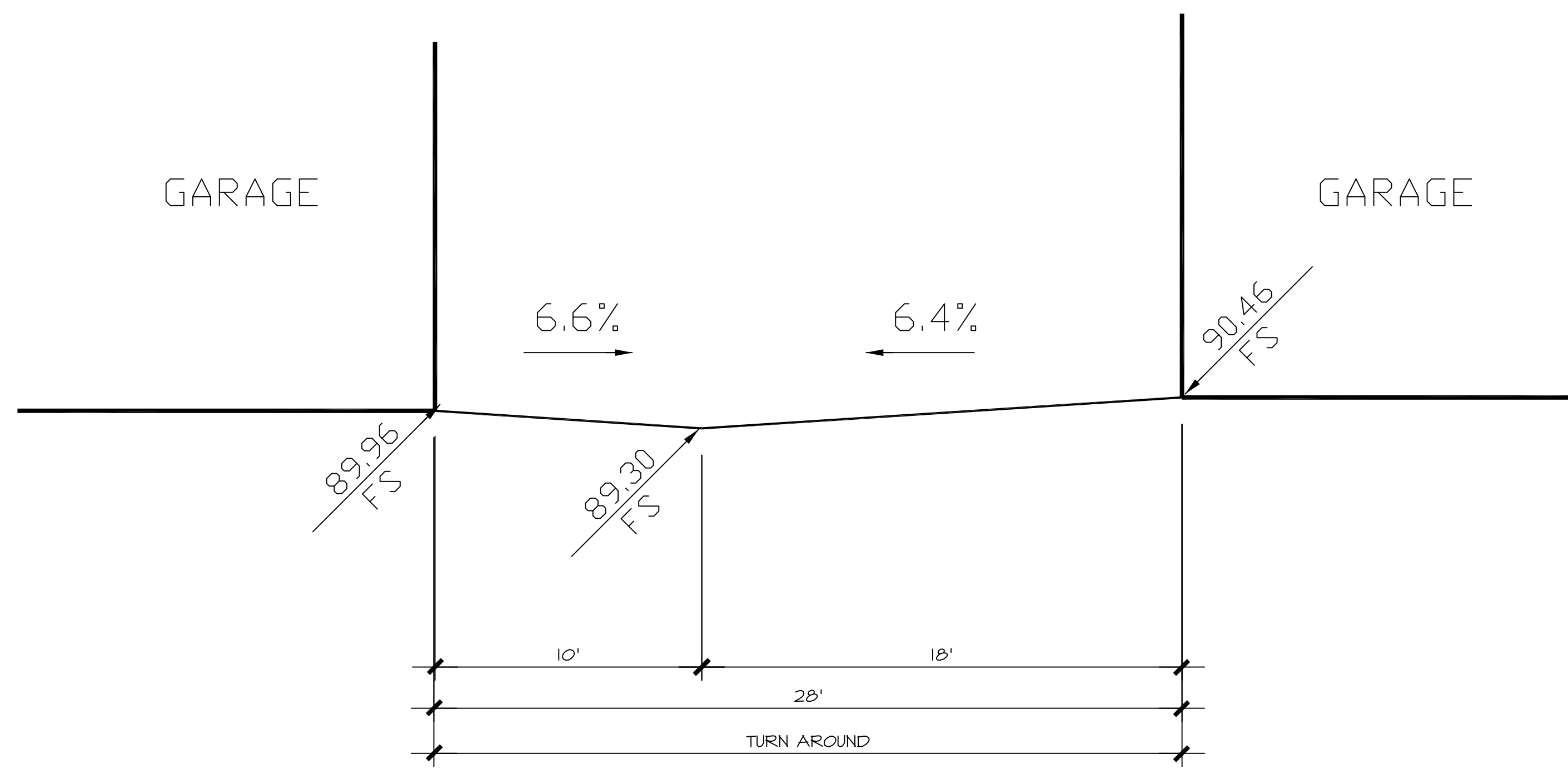
### JAN TROBAUGH ARCHITECT

ARCHITECTURE AND PLANNING  
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TORRANCE, CALIFORNIA 90501  
310-308-2582 ARCHJET@AOL.COM



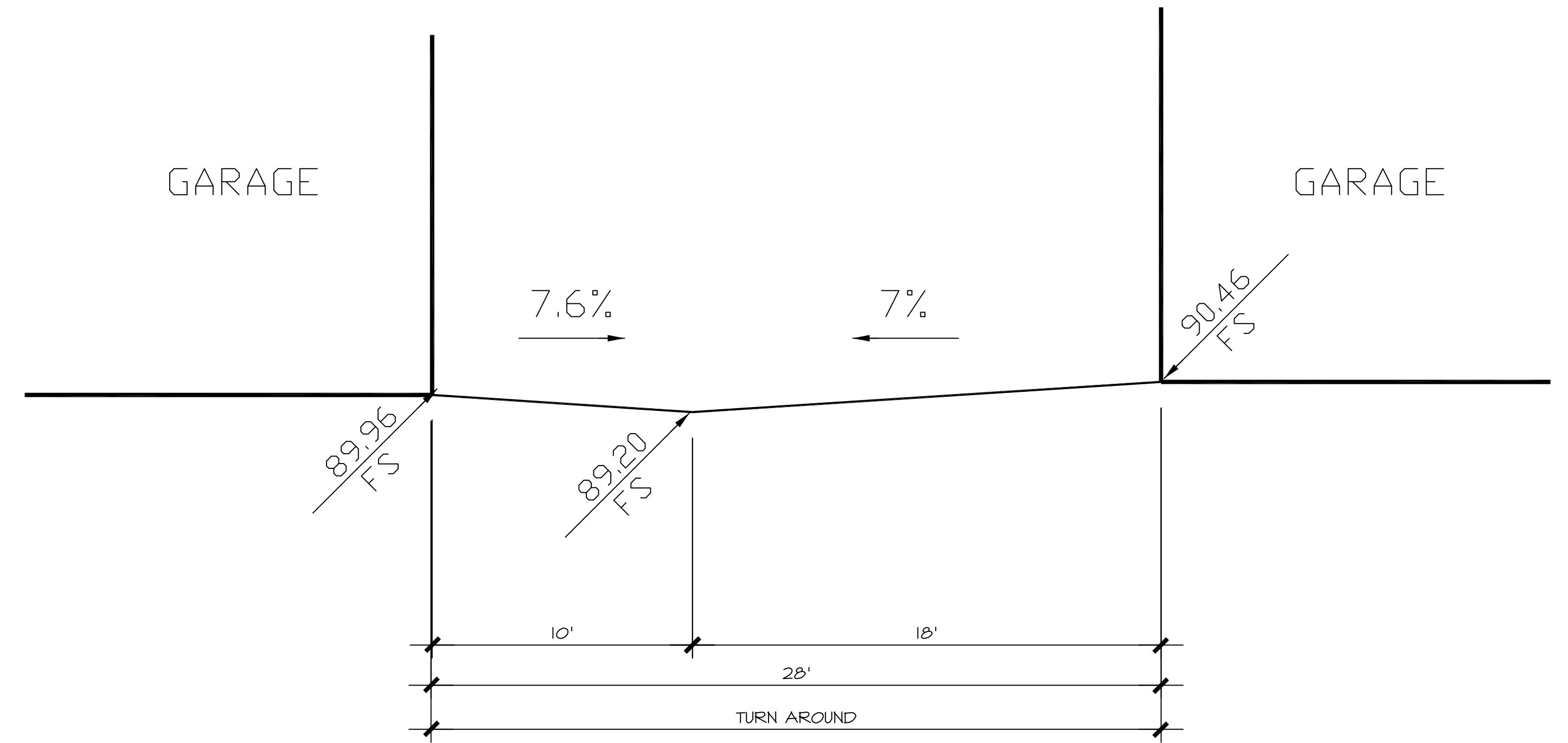
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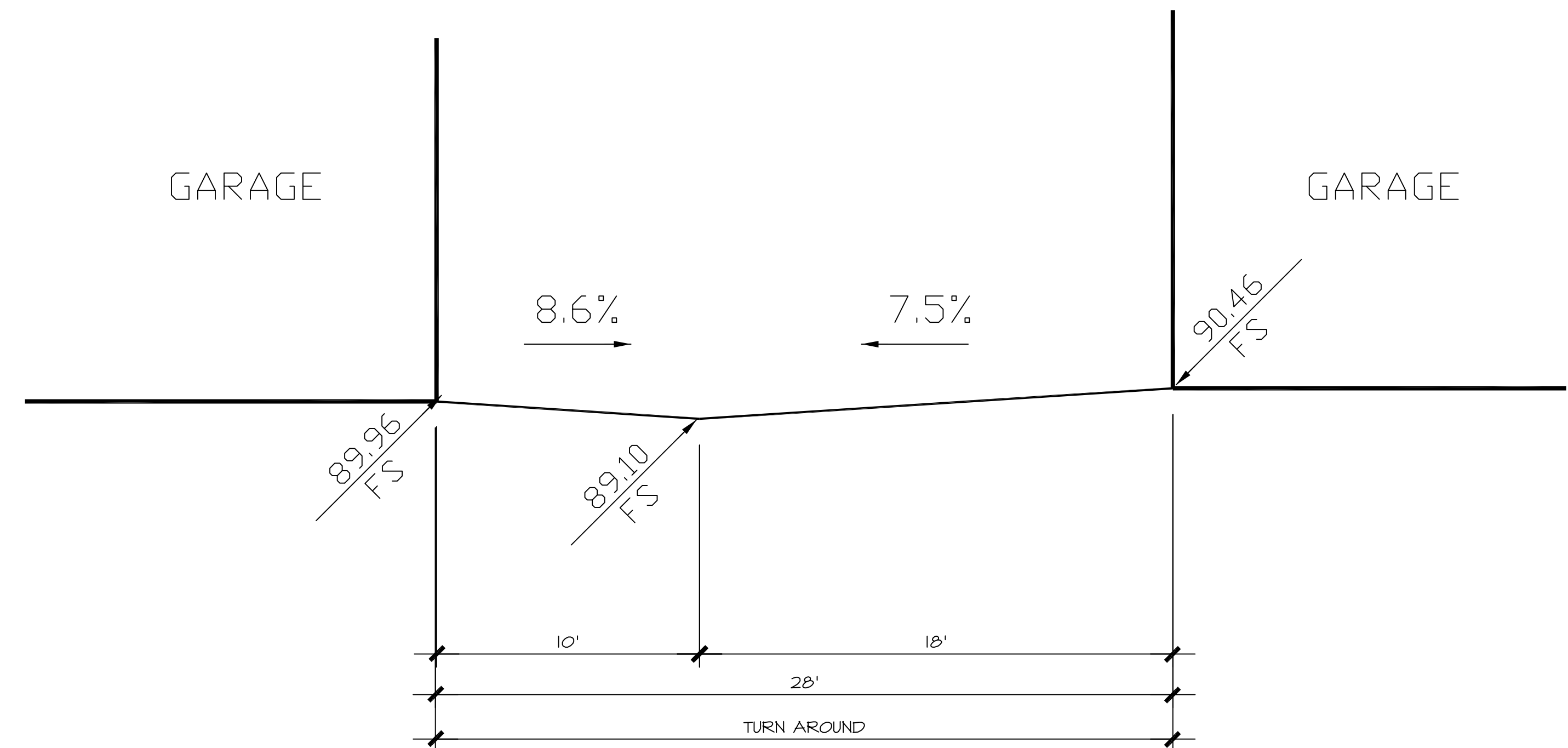
## DRIVEWAY SECTION D-D

1/4" = 1'-0"



## DRIVEWAY SECTION E-E

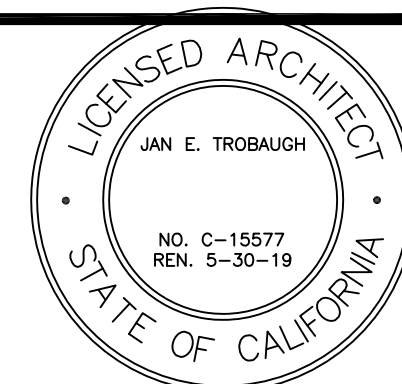
1/4" = 1'-0"



## DRIVEWAY SECTION F-F

1/4" = 1'-0"

### PROJECT DESCRIPTION



### SHEET DESCRIPTION

#### DRIVEWAY SLOPES

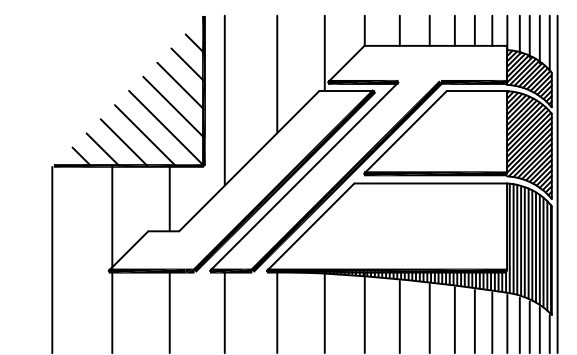
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#### ARCHITECT

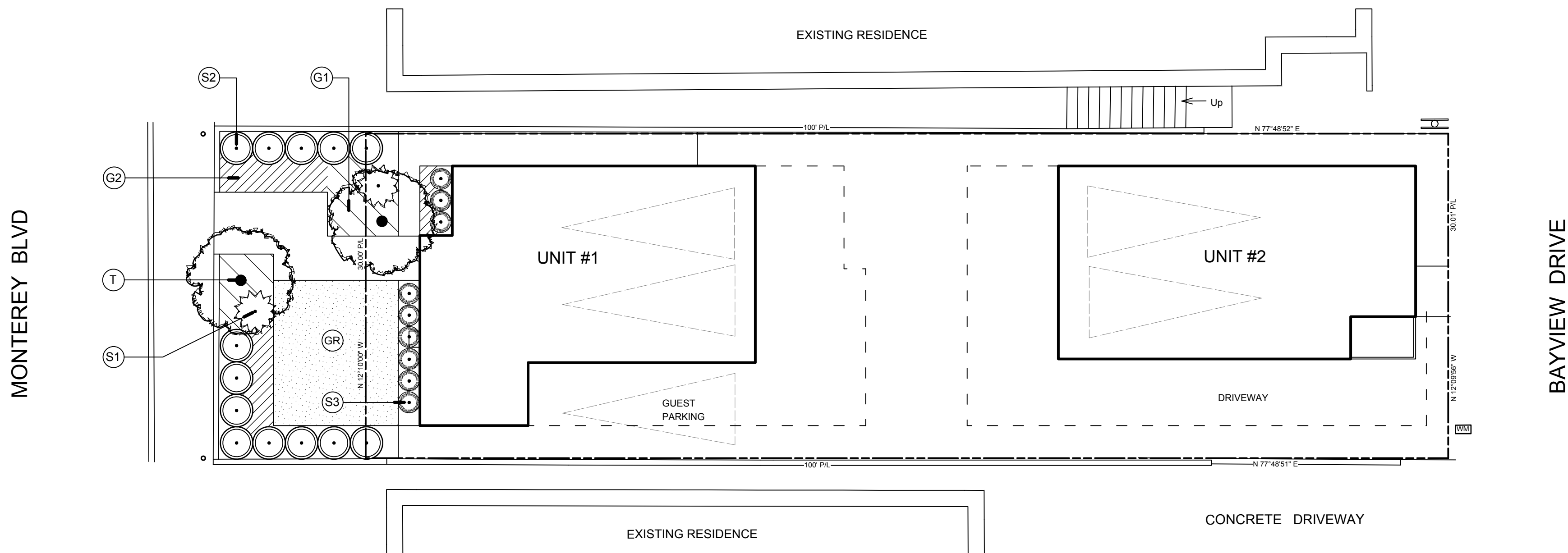
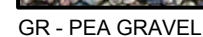
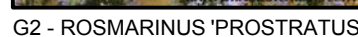
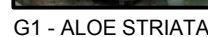
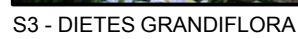
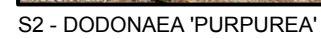
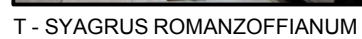
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PER 2015 REVISED MODEL WATER EFFICIENT LANDSCAPE ORDINANCE

PLANT DESCRIP.	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIG. EFFICIENCY (IE)	ETAF (PF / IE)	LAND. AREA	ETAF X AREA	ETWU
LOW WATER	0.2	DRIP	0.81	0.25	276	69	1,822 GAL. / YR.
MODERATE WATER	0.5	DRIP	0.81	0.62	20	12.4	327 GAL. / YR.
				<b>TOTAL</b>	<b>296 S.F.</b>		
						<b>ETWU TOTAL</b>	<b>2,149 GAL. / YR.</b>
						<b>MAWA TOTAL</b>	<b>4,300 GAL. / YR.</b>

$$\text{MAWA} = (\text{ETo}) (0.62) [(\text{ETAF} \times \text{LA}) + ((1-\text{ETAF}) \times \text{SLA})]$$
$$\text{MAWA} = (42.6) (0.62) [(0.55 \times 296) + (0.45 \times 0)]$$

MAWA = 4,300 GAL / YR

(AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS MUST BE .55 OR BELOW FOR RESIDENTIAL AREAS)

TOTAL ETAF X AREA = 81.4

TOTAL AREA = 296 S. F.

**AVERAGE ETAF = 0.27**

LOW WATER USE HYDROZONE = ALL PROPOSED SHRUB AND GROUND COVER PLANTING AREAS (276 SQ. FT.)

MODERATE WATER USE HYDROZONE = RWS FOR THE TWO PROPOSED PALM TREES (20 SQ. FT.)

1 PLANT QUANTITIES ON MATERIALS LIST ARE ONLY A GUIDE. PLANTS ON PLAN HAVE PRECEDENCE.  
CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXACT QUANTITIES.

2 DUE TO CONSTRUCTION GRADING FOR THE SITE, THE SOIL MANAGEMENT REPORT, INCLUDING AGRONOMIC  
ANALYSIS WITH INFILTRATION RATES, SHALL BE COMPLETED AS PART OF THE CERTIFICATE OF COMPLETION.

3 ALL PROPOSED TREES SHALL BE PLANTED WITH ROOT BARRIER PANELS. "CP SERIES" 2 FT. DEEP PANELS  
BY CENTURY PRODUCTS OR EQUAL. (CENTURYROOTBARRIER.COM) SEE DETAILS SHEET.

4 ALL PROPOSED TREES SHALL BE DOUBLE-STAKED. DOUBLE-STAKING SHALL CONFORM TO DETAIL, SEE  
DETAILS SHEET.

5 ALL PLANTING AREAS SHALL HAVE A 3" LAYER OF MULCH APPLIED PRIOR TO GROUNDCOVER PLANTING.  
"SEQUOIA BLEND MULCH", SCREENED AT 3" BY NEW LEAF ORGANICS (951.694.4625) OR EQUAL.

6 PLANTING PLAN MEETS HERMOSA BEACH MUNICIPAL CODE CHAPTER 8.56 WATER CONSERVATION -  
[HTTP://WWW.HERMOSABCH.ORG/INDEX.ASPX?PAGE=412](http://www.hermosabch.org/index.aspx?page=412) AND CHAPTER 8.60 EFFICIENT LANDSCAPING -  
[HTTP://WWW.HERMOSABCH.ORG/INDEX.ASPX?PAGE=413](http://www.hermosabch.org/index.aspx?page=413)

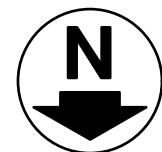
LOT AREA = 3,000 SQ. FT.  
BUILDING FOOTPRINT = 1,209 SQ. FT.  
HARDSCAPE AREA = 1,622 SQ. FT.  
LANDSCAPE AREA = 85 SQ. FT.  
PERMEABLE PAVING AREA = 40 SQ. FT.

TOTAL ENCROACHMENT AREA = 420 SQ. FT.  
REQUIRED MIN. 1/3 TO BE LANDSCAPE AREA = 140 SQ. FT.  
PROVIDED LANDSCAPE AREA = 211 SQ. FT.

"I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND THE LANDSCAPE REGULATIONS AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN."

SIGN: 

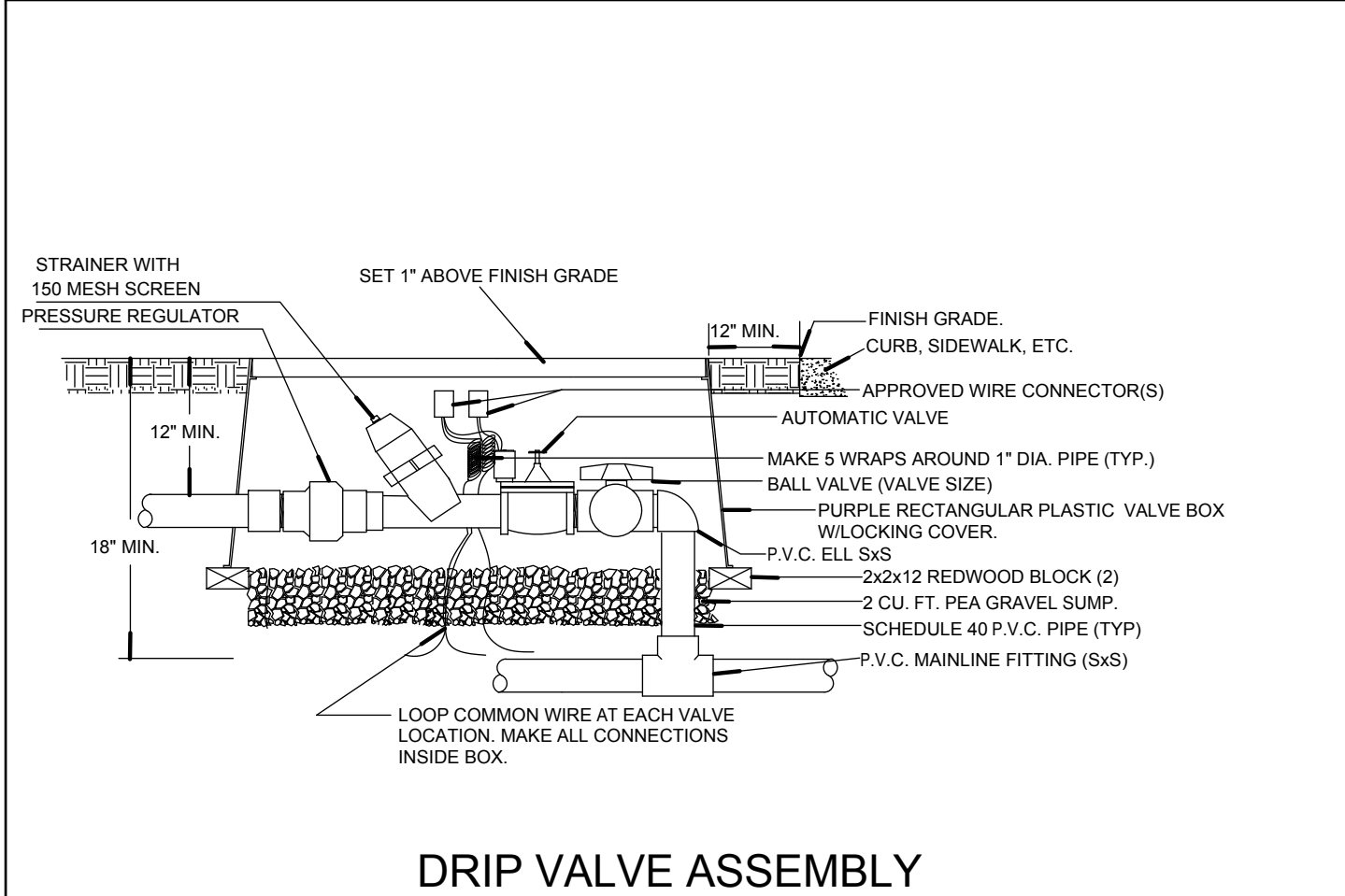
DATE: 7/29/19


$$1/8'' = 1' 0''$$
[illegible]

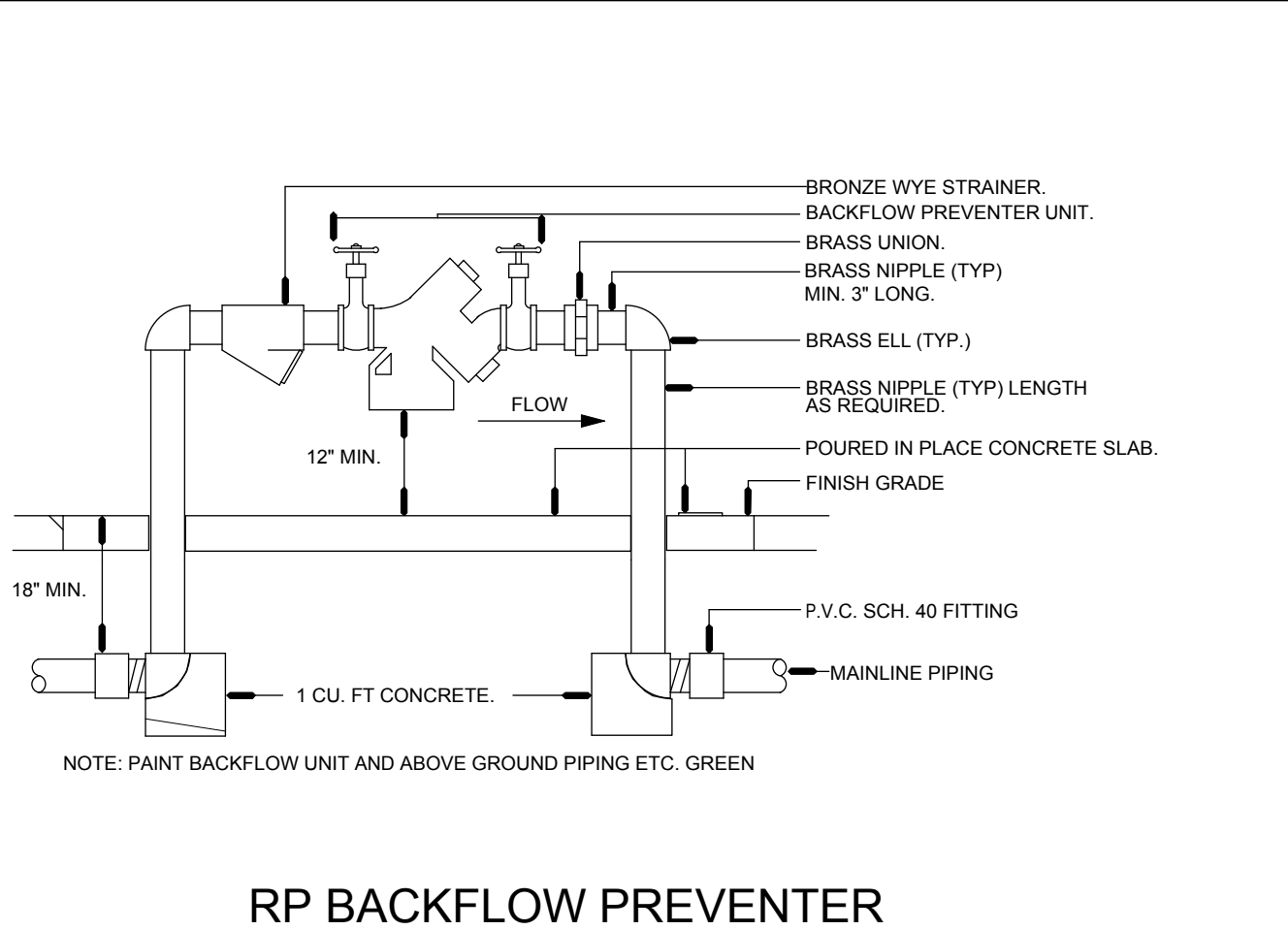




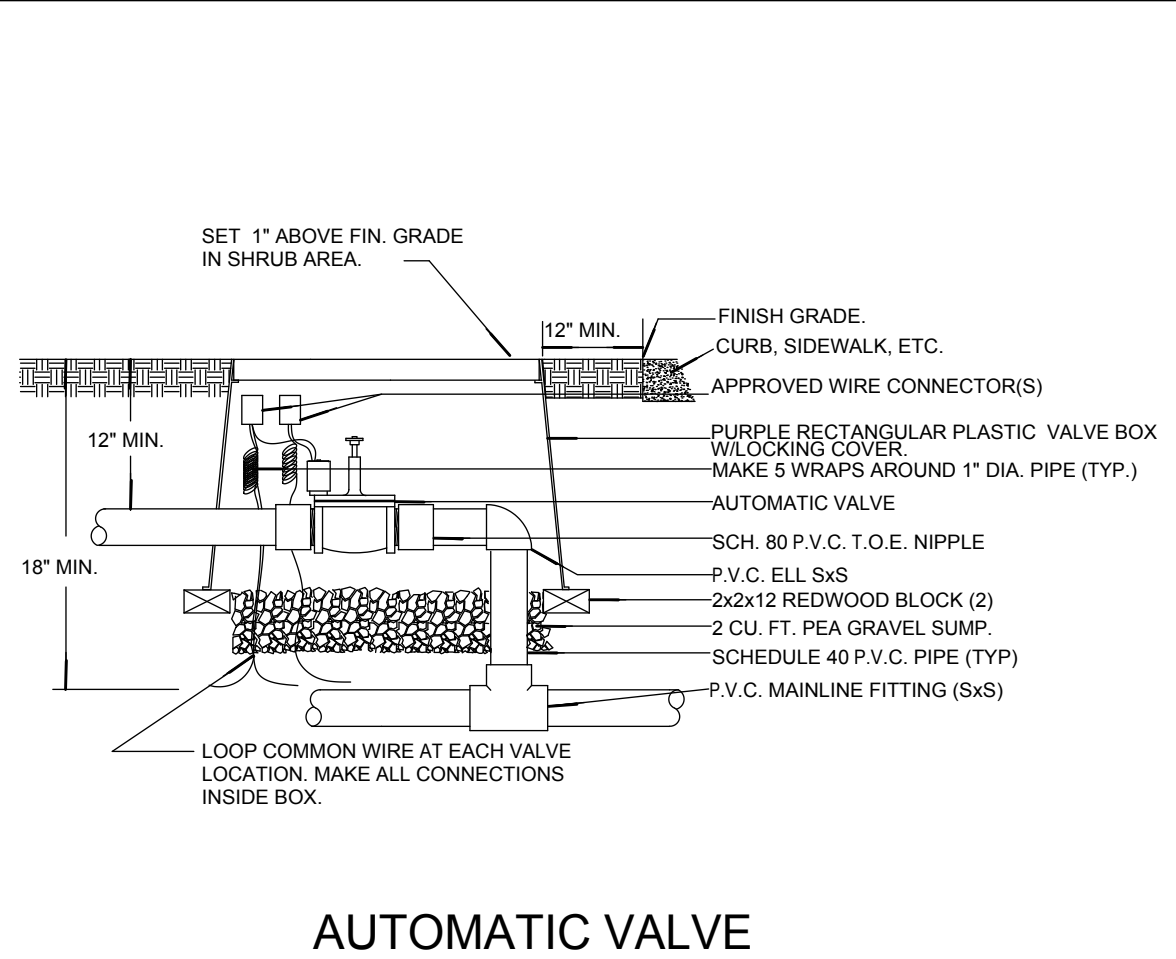
IRRIGATION DETAILS / WATERING SCHEDULE



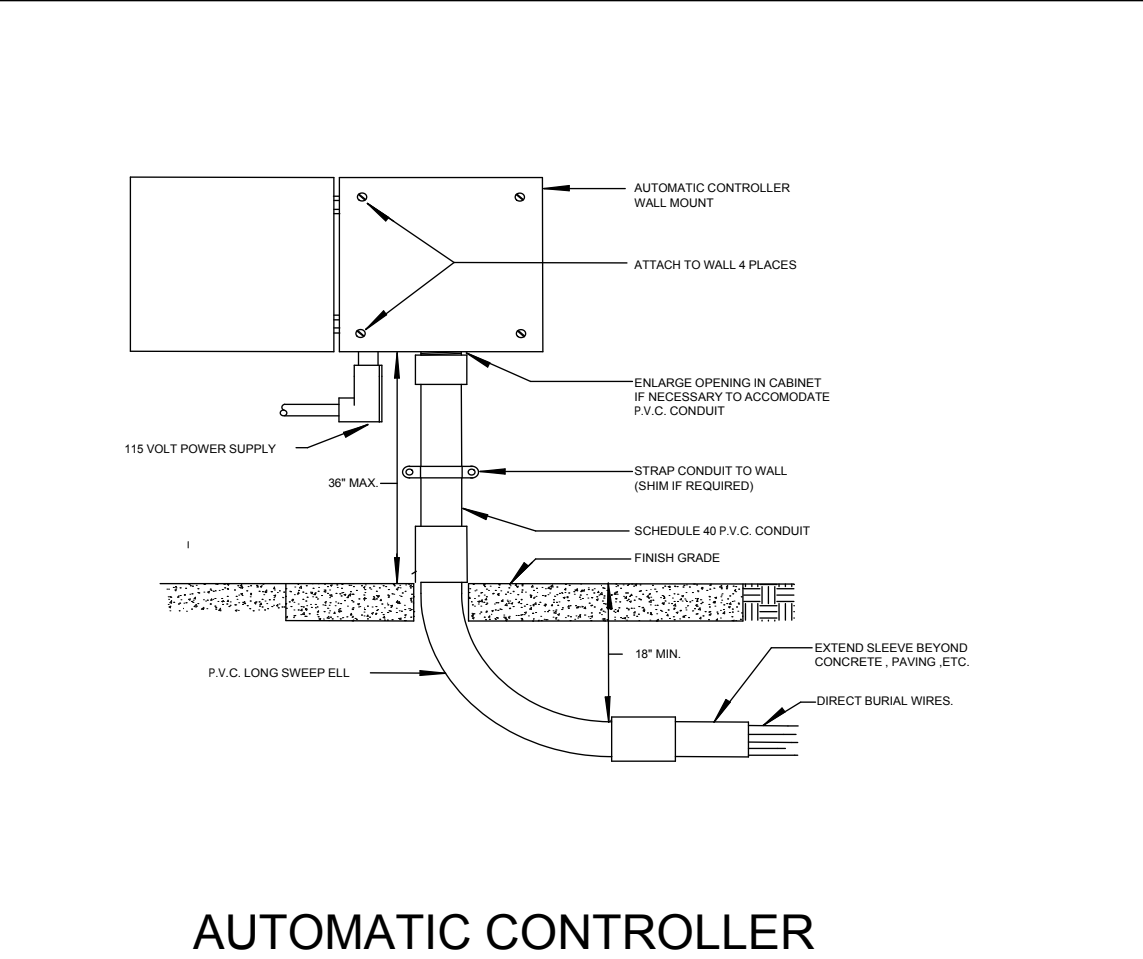
DRIP VALVE ASSEMBLY



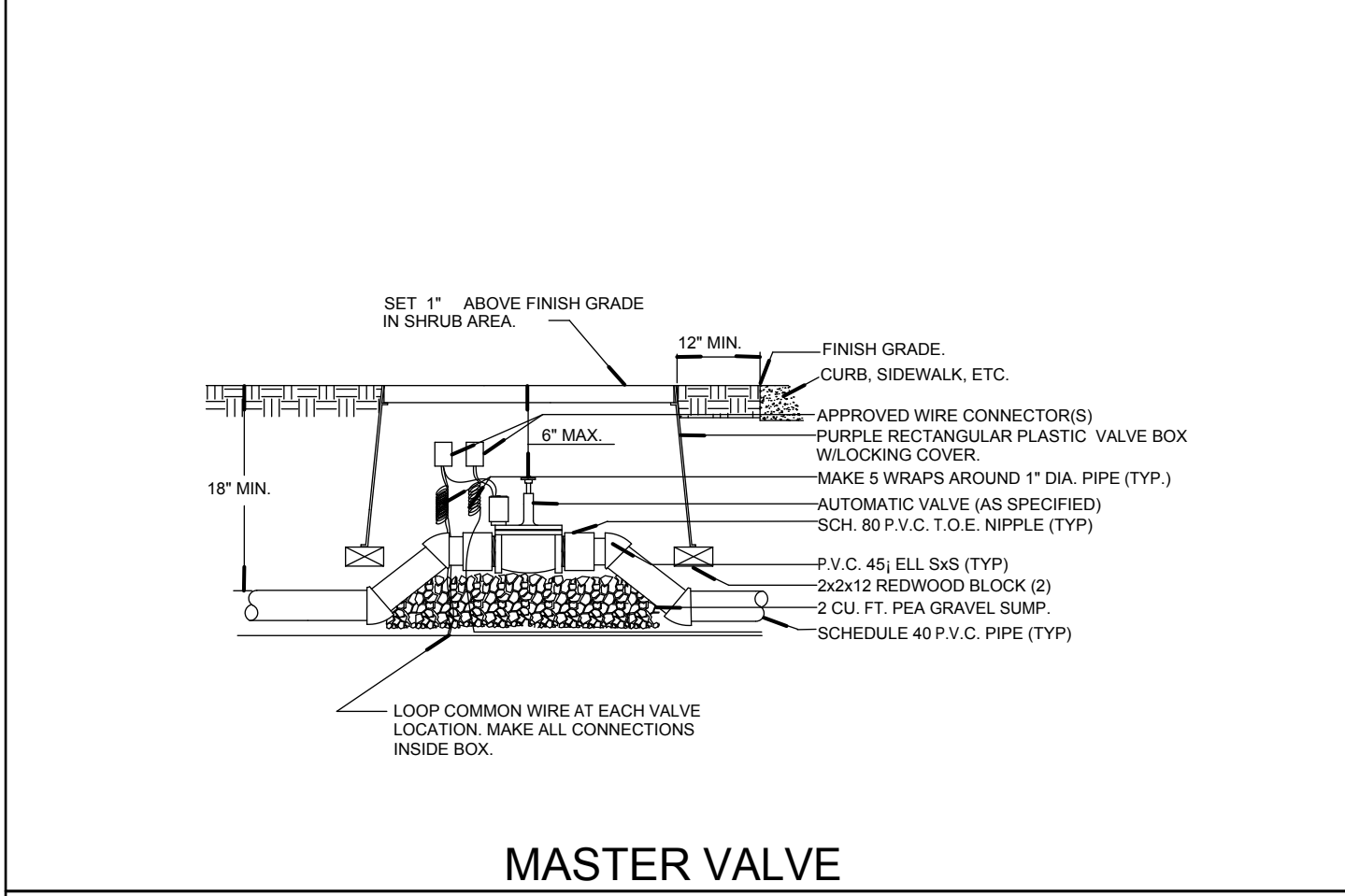
RP BACKFLOW PREVENTER



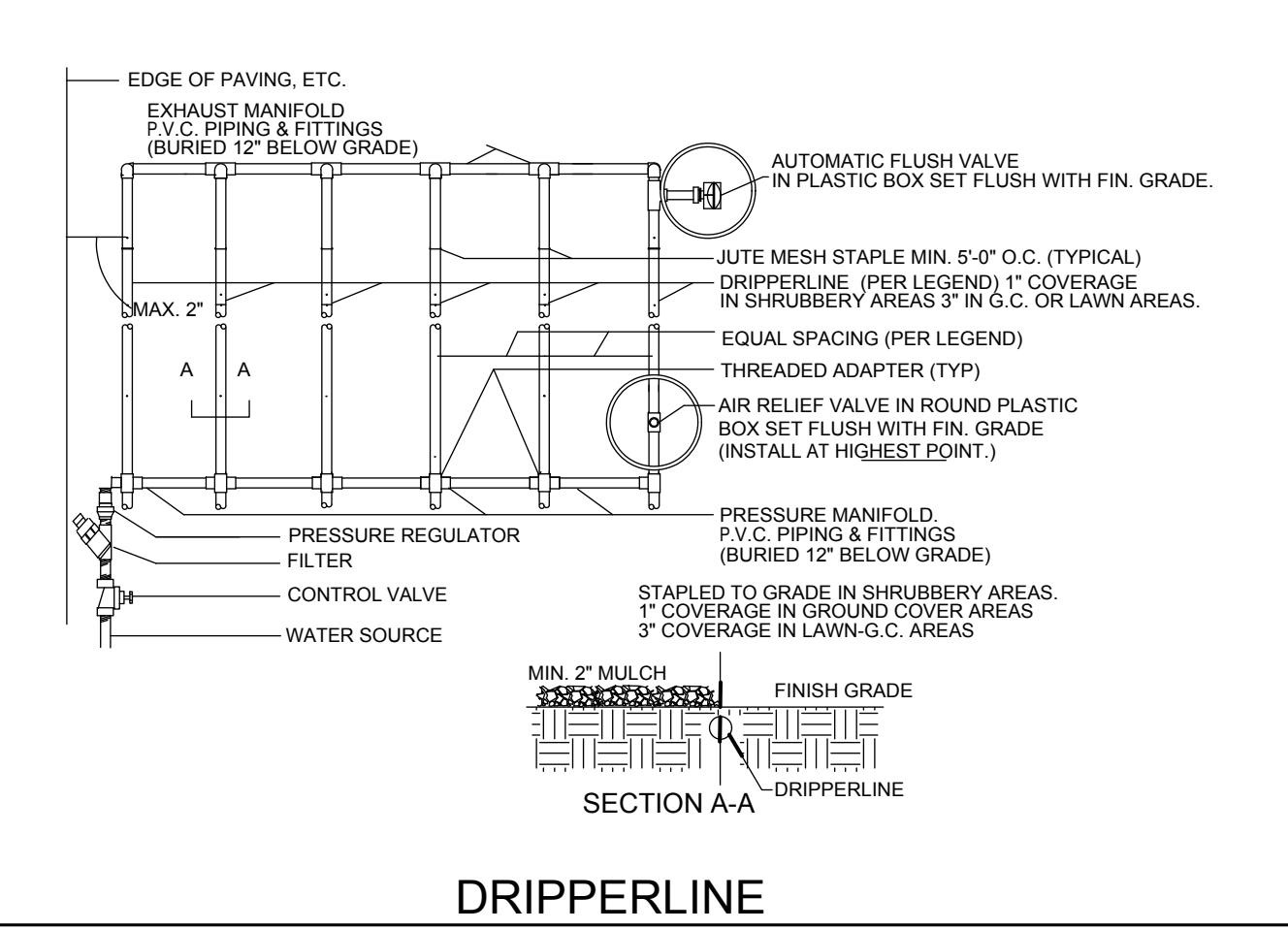
AUTOMATIC VALVE



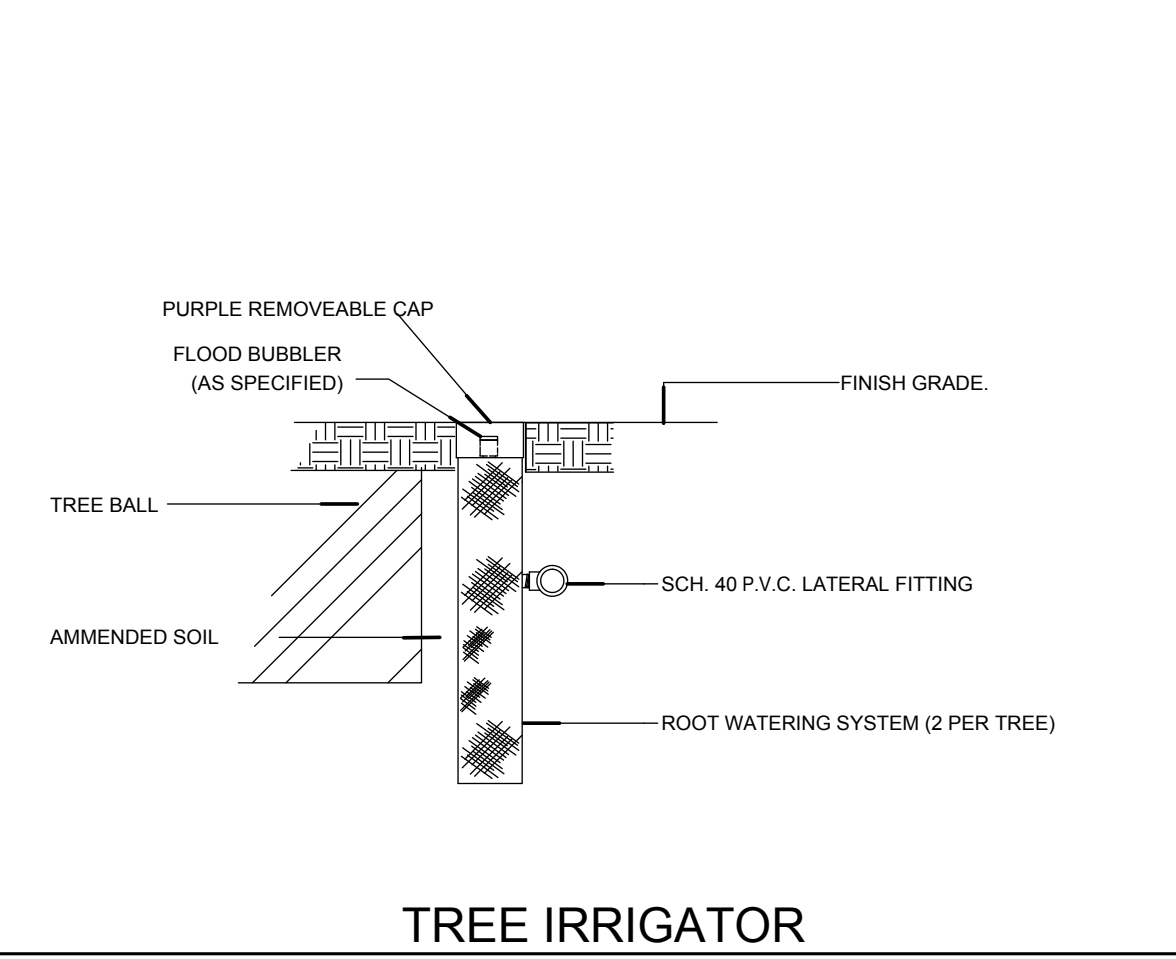
AUTOMATIC CONTROLLER



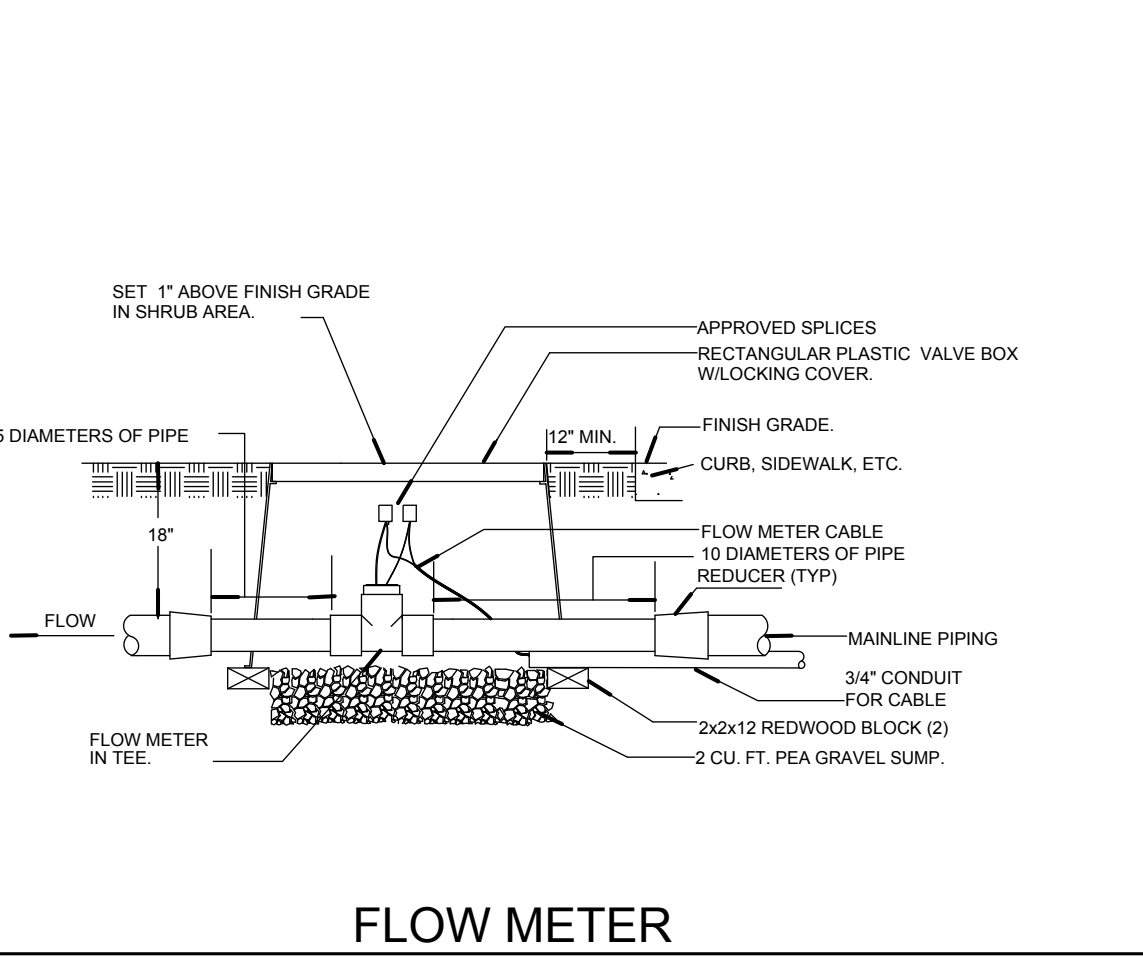
MASTER VALVE



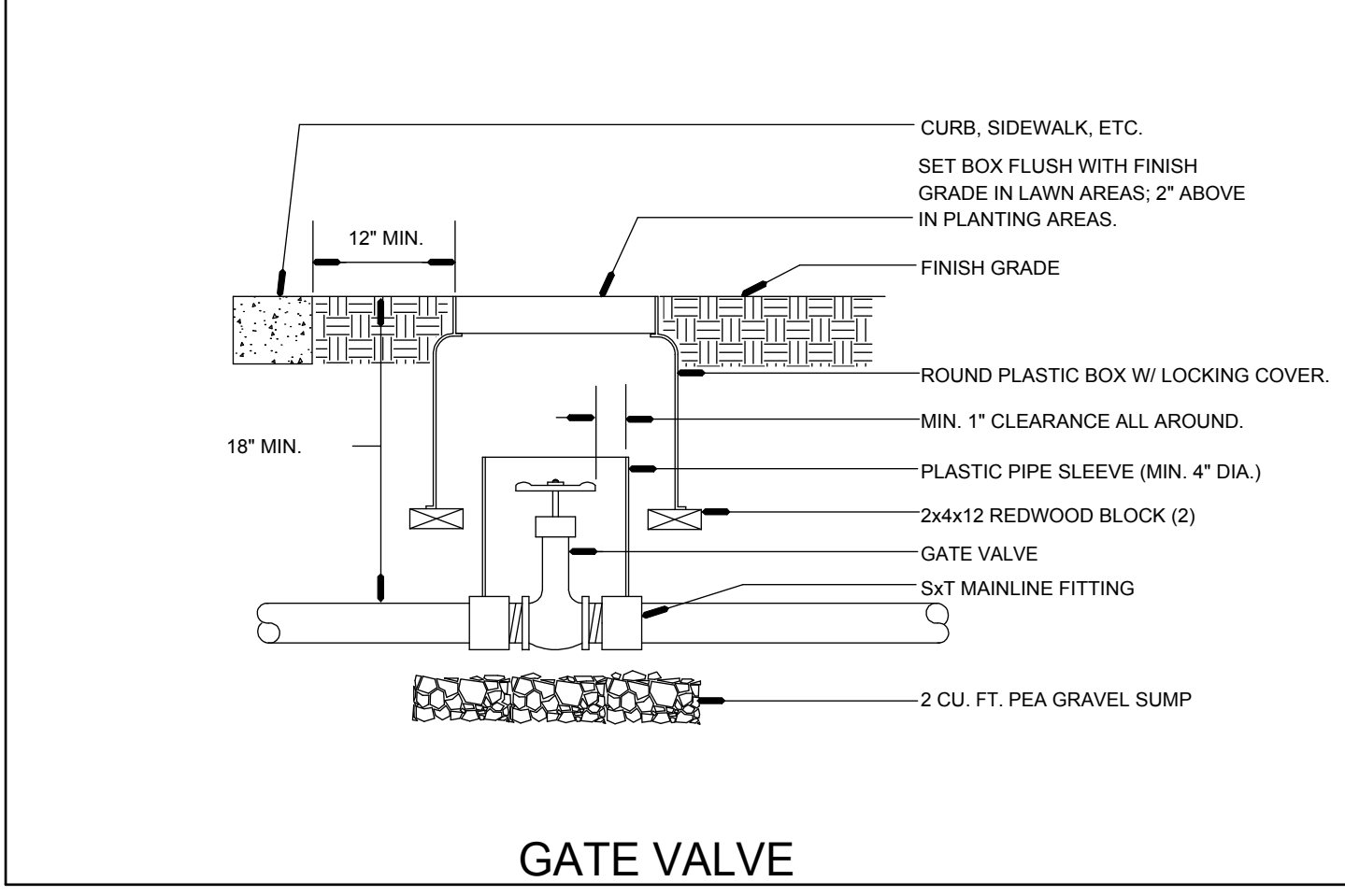
DRIPPERLINE



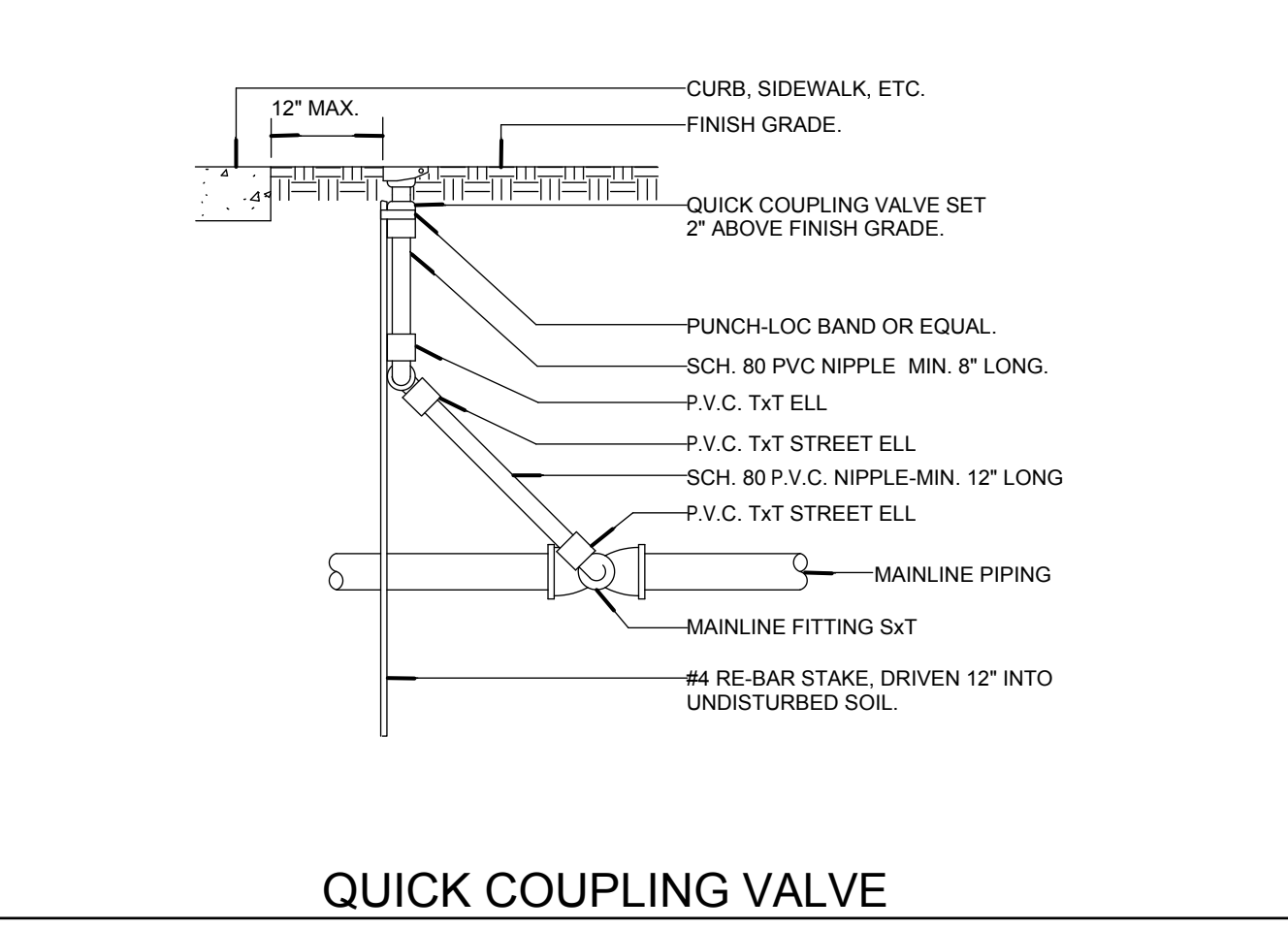
TREE IRRIGATOR



FLOW METER

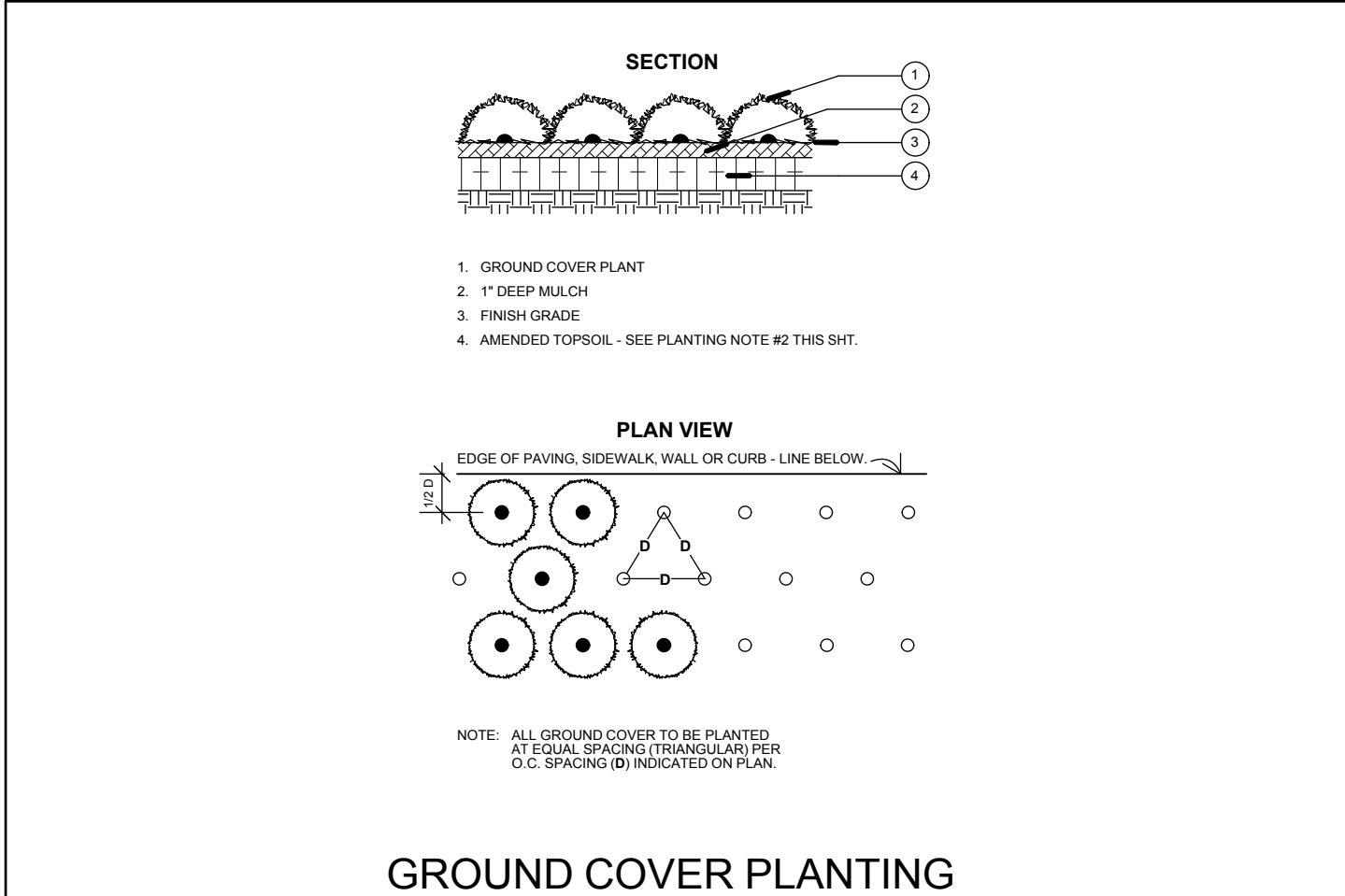


GATE VALVE

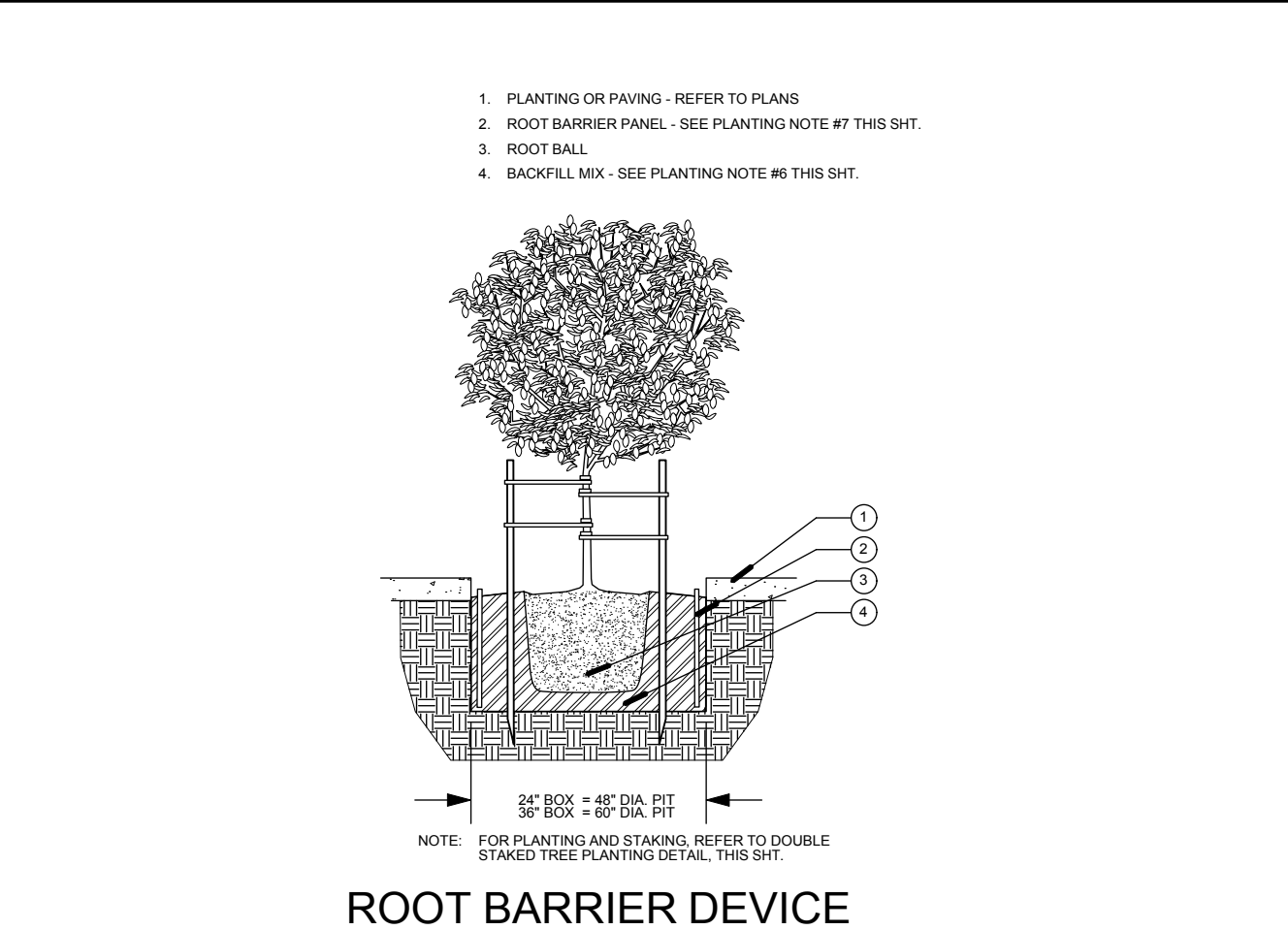


QUICK COUPLING VALVE

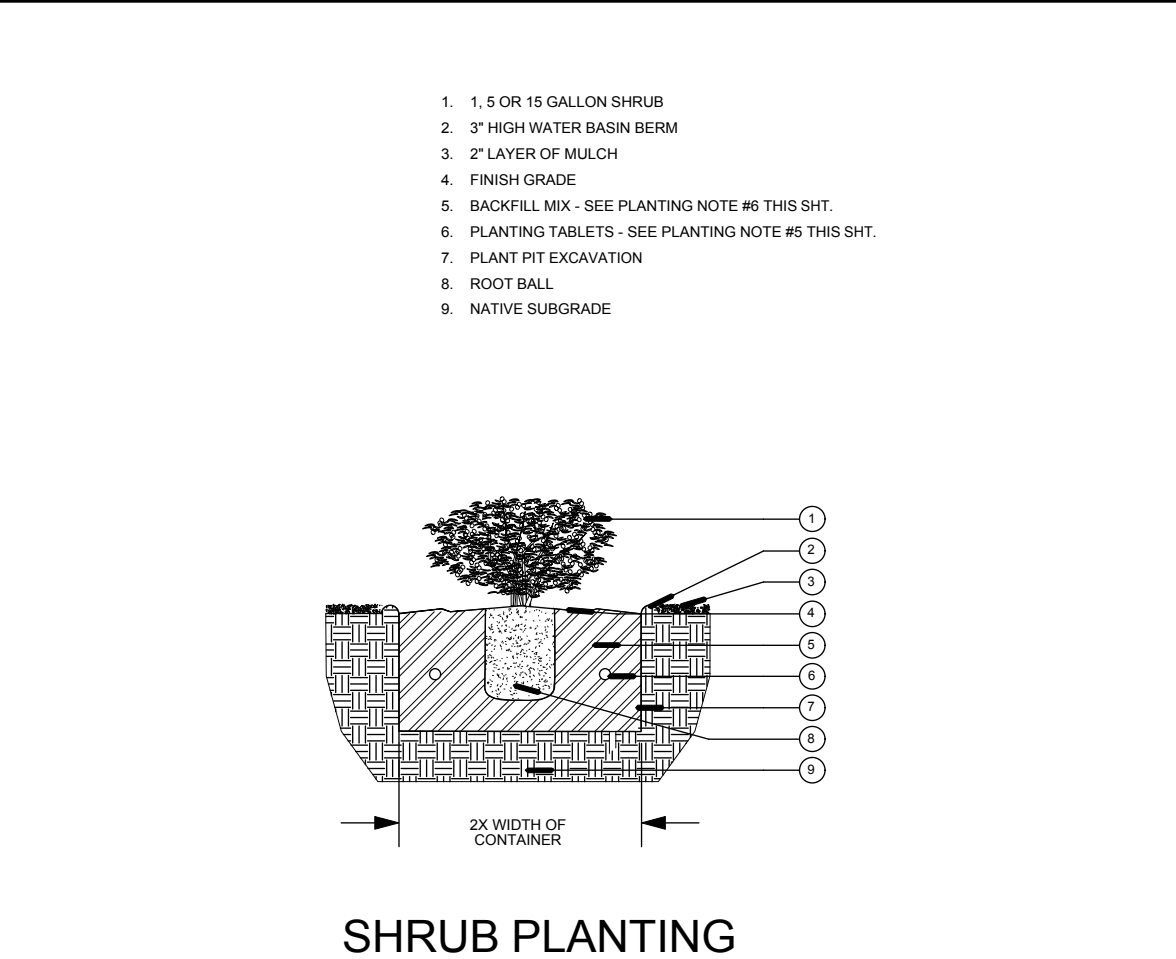
PLANTING DETAILS



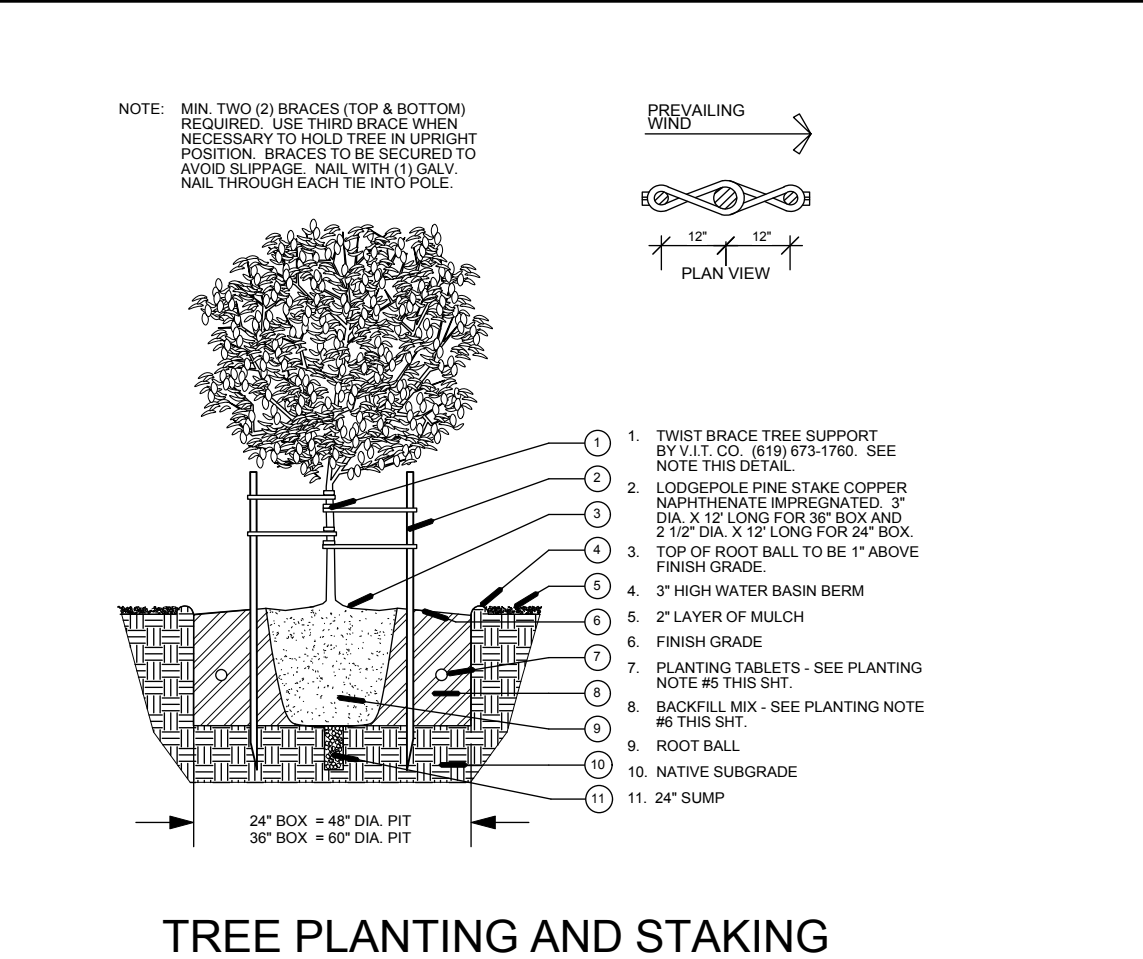
GROUND COVER PLANTING



ROOT BARRIER DEVICE



SHRUB PLANTING



TREE PLANTING AND STAKING

REVISIONS

BY

5.6.19

7.29.19

CNA

CRAIG WEBER & ASSOCIATES

PLANS PREPARED FOR:

SOUTHERN CALIFORNIA CONSTRUCTION

C/O BRIAN ARAMPOUR

REDONDA BEACH, CA 90278

PREPARED BY:

CRAIG WEBER & ASSOCIATES

595 SANTANDRADO WAY, LONG BEACH, CA 90804

PH: 562-584-0411

REGISTERED LANDSCAPE ARCHITECT

Craig Weber

California

1998

2018

STATE OF CALIFORNIA

PROJECT:

A.P.N. # 4188-010-044

2-UNIT CONDOMINIUM

421 MONTEREY BOULEVARD

HERMOSA BEACH, CA 90254

Date:

APR 2019

Scale:

Not to Scale

Drawn:

KGW

Job:

1482

Sheet:

L3

CALICENSE 1355

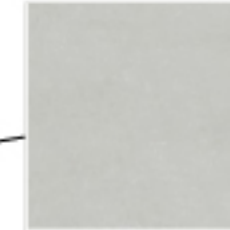




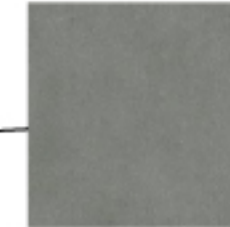
## MATERIALS



SMOOTH STUCCO  
432 MILKY QUARTZ  
OR EQUAL



**PORCELANOSA®**  
EXTERIOR TILE/ OR EQUAL



CITY CUBE NATURE

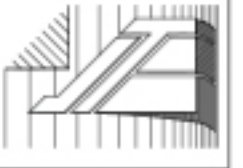
AVENUE GREY TEXTURE



EXTERIOR PAINT/OR EQUAL

JET BLACK 2120-10

WINDOW FRAMES DARK BRONZE



PROJECT DESCRIPTION:  
TWO - UNIT CONDOMINIUM FOR  
SOUTHERN CALIFORNIA CONSTRUCTION  
421 MONTEREY BLVD. HERMOSA BEACH, CA

# 421 MONTEREY BLVD

PROPOSED: TWO UNIT-CONDOMINIUM

JAN TROBAUGH  
ARCHITECT  
ARCHITECTURE AND PLANNING  
2420 GARRON STREET, SUITE 200  
TOWNSHIP, CALIFORNIA 92001  
310-308-0980 JAN.TROBAUGH.COM



GENERAL CONSTRUCTION NOTES:

- GENERAL NOTES FOR STREET AND STORM DRAIN IMPROVEMENTS:

- GENERAL NOTES FOR SEWER AND UTILITY IMPROVEMENTS:

- JOB SAFETY REQUIREMENTS:**

- WATER QUALITY REQUIREMENTS:

- PROJECT DESCRIPTION:**

DRAINAGE NOTE:

GRADING NOTES:

- ### PROJECT CUBIC YARDAGE DATA

### OWNER'S INFORMATION

CONSULTANT LIST:

## SHEET INDEX

- PROPERTY INFORMATION:**

## LID INFORMATION

# GEOTECHNICAL ENGINEERING CONSULTANT STATEMENT

BY NORCAL ENGINEERING

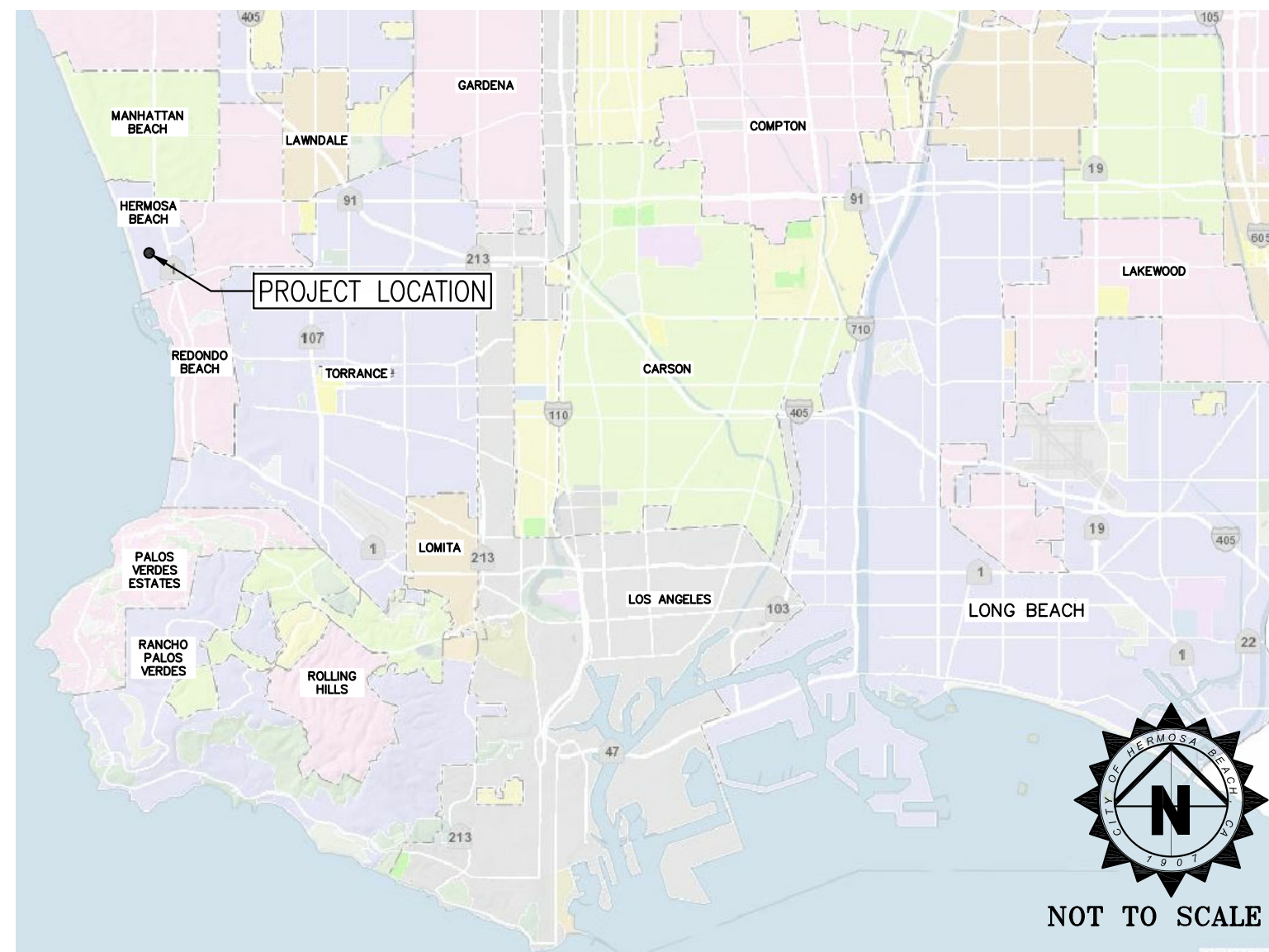
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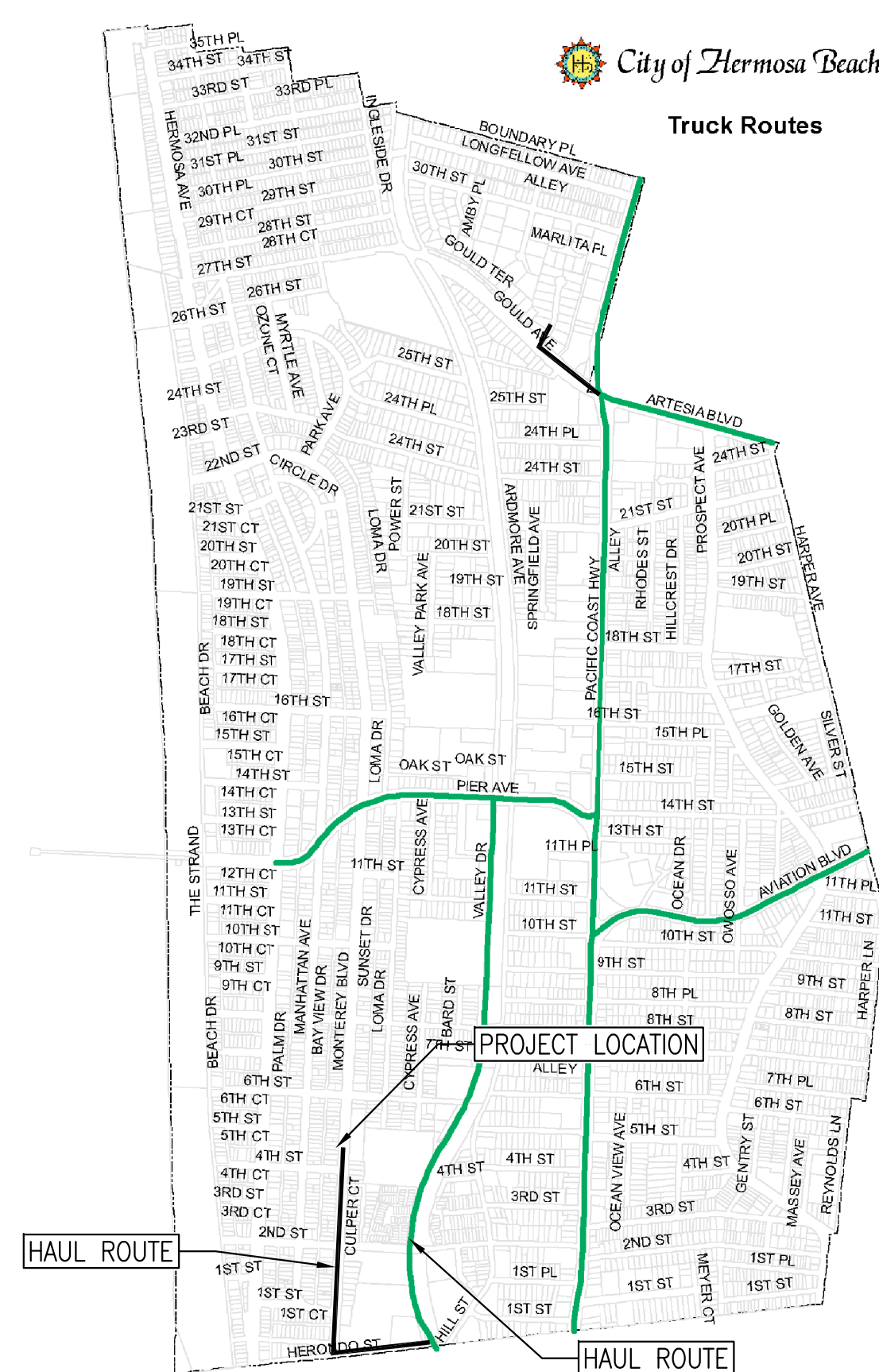
- ABBREVIATIONS:**

- |       |                            |
|-------|----------------------------|
| BOTT. | BOTTOM OF BASIN ELEVATION. |
| DS    | DOWNSPOUT                  |
| (E)   | EXISTING                   |
| ELE.  | ELEVATION                  |
| EM    | ELECTRICAL METER           |
| FF    | FINISH FLOOR               |
| FL    | FLOW LINE                  |
| FS    | FINISH SURFACE             |
| FG    | FINISH GRADE               |
| GM    | GAS METER                  |
| GTEPB | GTE PULLBOX                |
| GB    | GRADE BREAK                |
| H     | HEIGHT                     |
| HP    | HIGH POINT                 |

## REGIONAL MAP



## VICINITY MAP



## PLANS PREPARED BY:



CHRISTIAN J. PEREZ, RCE LICENSE No. 80680

07/19/2019

	DATE
--	------

**CITY OF HERMOSA BEACH  
PUBLIC WORKS DEPARTMENT**

RECOMMENDED FOR PERMIT ISSUANCE:

	DATE
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## PRIVATE IMPROVEMENT PLANS

421 MONTEREY BLDV  
CIVIL PLANS  
TITLE SHEET

FILE NUMBER

19011-CIVIL

C-0

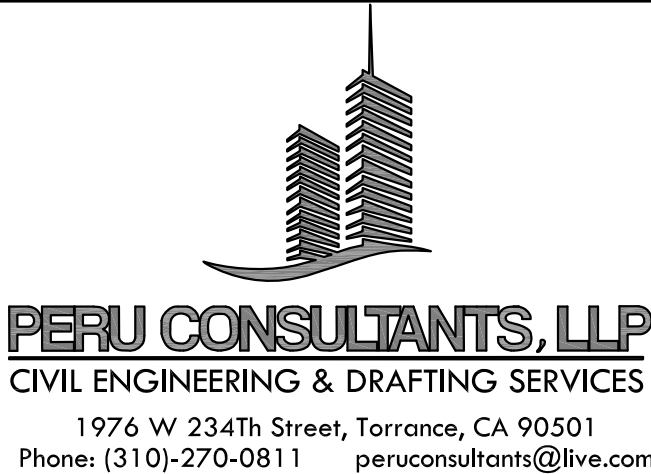
SHT. 1 OF 6

BENCH MARK:

L&T LS 7081  
ELEVATION: 100.00  
SEE KEYNOTE (5) ON C-1.

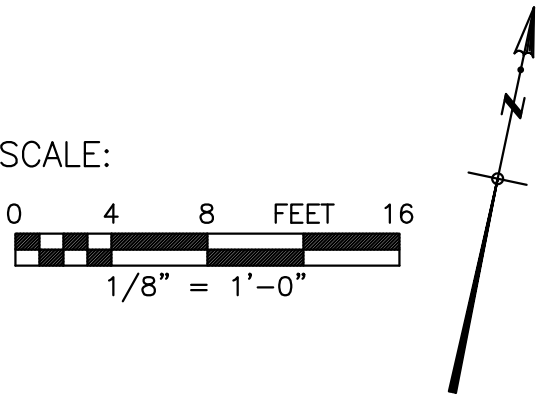





REVISIONS		
No.	DESCRIPTION	DATE
△	1ST SUBMITTAL	03/12/19
	CORRECTIONS	07/19/19



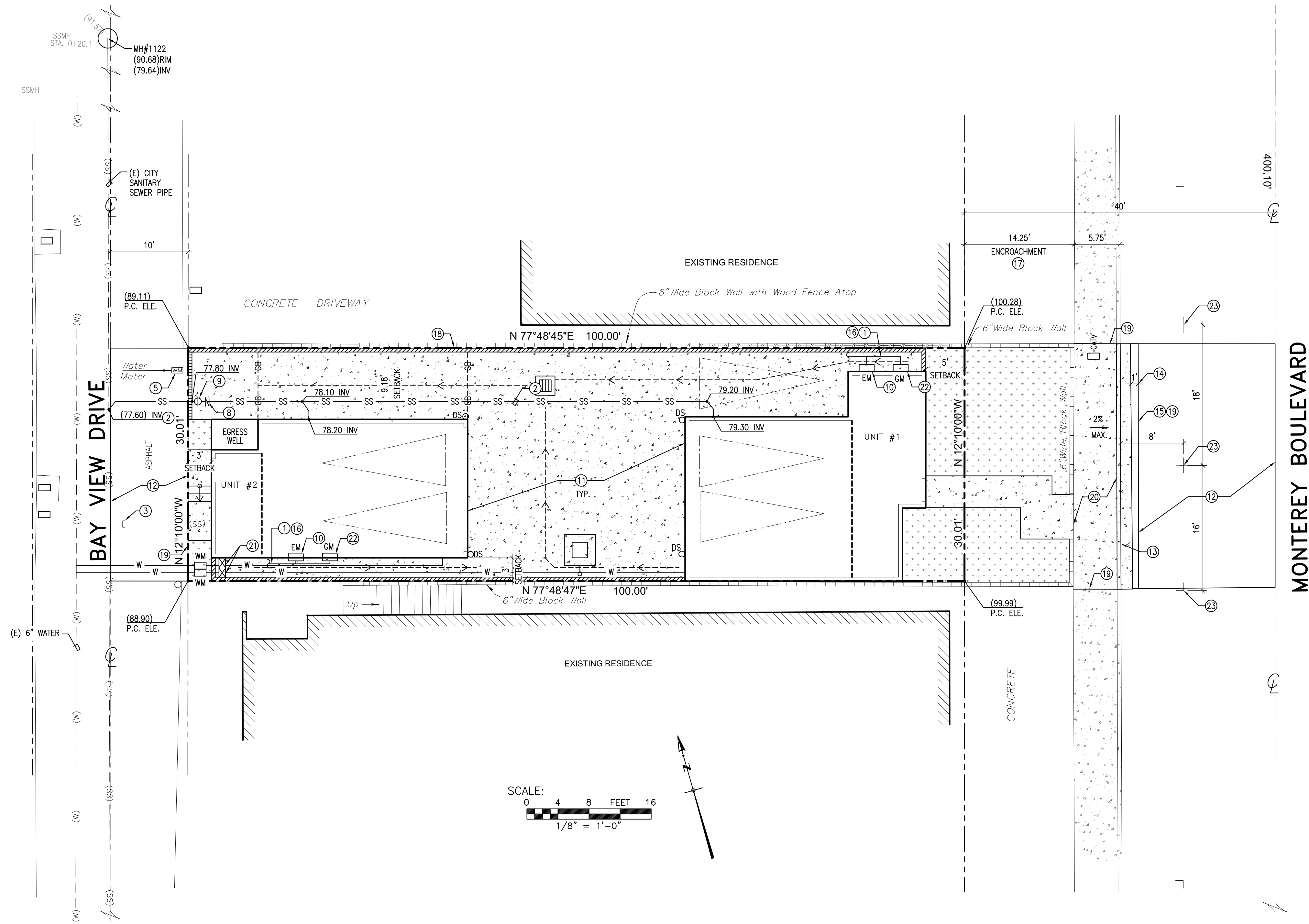
1976 W 234Th Street, Torrance, CA 90501  
Phone: (310)-270-0811 peruconsultants@live.com





BENCH MARK:  L&T LS 7081 ELEVATION: 100.00 KEE KEYNOTE ⑤ ON C-1.		REVISIONS			PLANS PREPARED BY:	CITY OF HERMOSA BEACH PUBLIC WORKS DEPARTMENT	PRIVATE IMPROVEMENT PLANS	FILE NUMBER
		No.	DESCRIPTION		DATE		RECOMMENDED FOR PERMIT ISSUANCE:	421 MONTEREY BLDV CIVIL PLANS
		△	1ST SUBMITTAL	03/12/19				
			CORRECTIONS	07/19/19				
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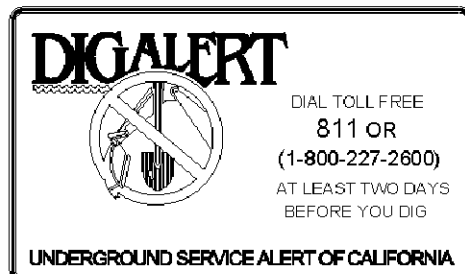
NOTE:  
FOR GRADING & DRAINAGE PLAN, SEE DRAWING  
C-1.

### CONSTRUCTION NOTES

- ① ALL OVERHEAD UTILITIES IN EL OESTE DRIVE SHALL BE UNDERGROUNDED. OBTAIN PLAN FROM SCE FOR UG. APPLY FOR PERMIT FROM THE CITY.
- ② CONSTRUCT NEW 6" VCP SEWER LATERAL PER APWA STD PLAN N° 222-1. CONNECTION IN TO MAIN LINE SHALL INCORPORATE THE INSTALLATION OF A NEW "WYE". SADDLES SHALL NOT BE ALLOWED. IF THE SEWER MAIN HAS A LINER, SADDLE CONNECTION SHALL BE USED. CONTRACTOR TO FIELD VERIFY EXACT LOCATION. NEW SEWER MAIN/LATERAL SHALL BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF THE BASEMENT.
- ③ EXISTING SEWER LATERAL SHALL BE CAPPED AT MAIN IF SEWER LATERAL REPLACEMENT IS NOT AT SAME LOCATION. OBTAIN A PERMIT FROM PUBLIC WORKS FOR THE SEWER CAP. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
- ④ NO TRASH AREA IS PERMITTED WITHIN THE PUBLIC RIGHT OF WAY.
- ⑤ RELOCATE EXISTING WATER METER. NO METER BOXES ARE PERMITTED WITHIN 2 FT OF DRIVEWAY APPROACH.
- ⑥ PROTECT SURVEY MONUMENT PER NOTE #10 OF THE GENERAL CONSTRUCTION NOTES ON C-0.
- ⑦ TRENCH SEPARATION REQUIREMENTS SHALL BE IN ACCORDANCE WITH CALIFORNIA DEPARTMENTS OF HEALTH SERVICES, "CRITERIA FOR THE SEPARATION OF WATER MAINS AND NON-POTABLE PIPELINES."
- ⑧ BACKFLOW PREVENTION VALVE.
- ⑨ 6" CLEANOUT.
- ⑩ ELECTRIC METER LOCATION.
- ⑪ CONSTRUCT NEW 6" THICK CONCRETE DRIVEWAY.
- ⑫ 2" AC OVERLAY PER CITY STANDARDS FROM P/L TO P/L TO C/L OR THE NEXT CONSTRUCTION JOINT WHICHEVER IS GREATER.
- ⑬ CONSTRUCT CURB & GUTTER PER CITY STD REFERENCE PLAN No.101 TYPE A, FROM P/L TO P/L OR THE NEXT CONSTRUCTION JOINT WHICHEVER IS GREATER.
- ⑭ AC PATCHBACK.
- ⑮ SAWCUT (E) PAVING.
- ⑯ INSTALL UNDERGROUND UTILITIES. CONTRACTOR TO FIELD VERIFY EXACT LOCATION AND DEPTH OF EXISTING MAIN UTILITY LINES (CONTACT DIG ALERT). COORDINATE WITH THE UTILITY COMPANY & PUBLIC WORKS PRIOR TO INSTALLATION. TRENCH PER CITY STANDARD ST-117. REPAIR PAVING TO MATCH EXISTING. IF INSTALLATION IS IN A MORATORIUM STREET, PUBLIC WORKS WILL DETERMINE THE EXTENT OF THE AREA TO BE REPAVED. SEE GENERAL CONSTRUCTION NOTES ON C-0. UTILITY LINE LOCATIONS SHALL BE PERMANENTLY STAMPED ON CURB FACE 2" HEIGHT, 1/4" DEPTH.
- ⑰ ENCROACHMENT PERMIT. DEFERRED SUBMITAL.
- ⑱ NEW RETAINING WALL PER SEPARATE PERMIT. PROVIDE PROVISIONS OF SHORING TO PROTECT ADJACENT WALL AND ASSOCIATED IMPROVEMENTS DURING EXCAVATION OPERATIONS. SEE C-1 FOR TOP OF WALL AND TOP OF FOOTING ELEVATIONS.
- ⑲ JOIN TO MATCH EXISTING GRADE.
- ⑳ CONSTRUCT NEW 4" THICK P.C.C. SIDEWALK TO MATCH EXISTING ADJACENT SIDEWALK WIDTH, FROM PL TO PL OR THE NEXT CONSTRUCTION JOINT, WHICHEVER IS GREATER, PER CITY STD PLAN No 106, CASE 1.
- ㉑ PRESSURE REDUCING VALVE. SET MAXIMUM PRESSURE TO 80 PSI.
- ㉒ GAS METER LOCATION.
- ㉓ RESTRIPE PARKING STALLS, TO MATCH EXISTING.

BENCH MARK:

L&T LS 7081  
ELEVATION: 100.00  
SEE KEYNOTE ⑤ ON C-1.



REVISIONS		
No.	DESCRIPTION	DATE
△	1ST SUBMITTAL	03/12/19
	CORRECTIONS	07/19/19



PLANS PREPARED BY:



CHRISTIAN J. PEREZ, RCE LICENSE No. 80680

07/19/2019

DATE

CITY OF HERMOSA BEACH  
PUBLIC WORKS DEPARTMENT

RECOMMENDED FOR PERMIT ISSUANCE:

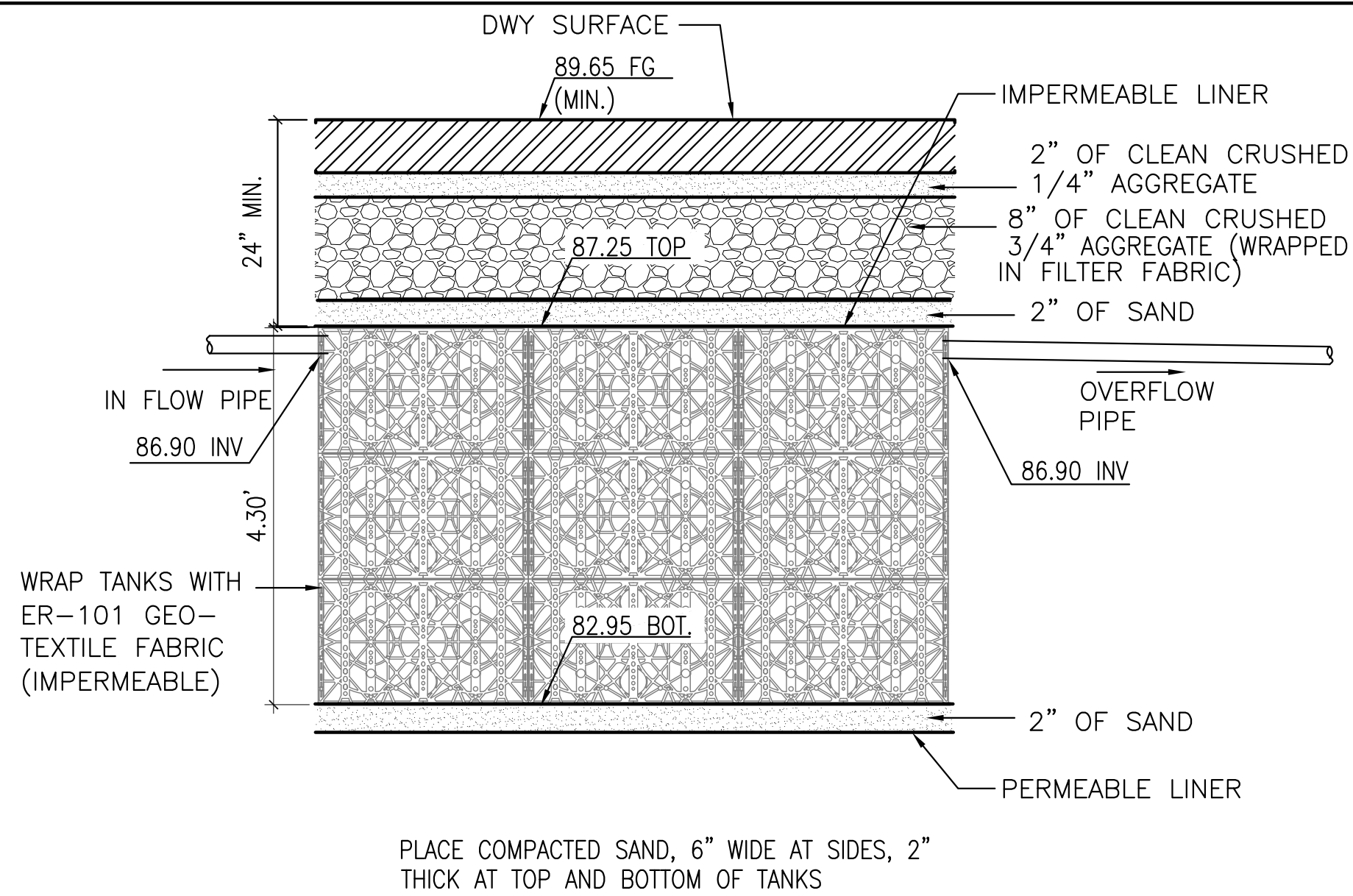
PRIVATE IMPROVEMENT PLANS

421 MONTEREY BLDV  
CIVIL PLANS  
PUBLIC IMPROVEMENTS

FILE NUMBER  
19011-CIVIL

C-2  
SHT. 3 OF 6





### INSTALLATION REQUIREMENTS:

1. EXCAVATE TRENCH LARGER THAN SPECIFIED TANK SIZE.
2. COMPACT BASE TO 35 PSI.
3. ADD SAND TO BASE, COMPACT AND LEVEL WITH A STRAIGHT EDGE.
4. LAY GEOTEXTILE MATERIAL IN BOTTOM AND ON SIDES OF TRENCH, ENOUGH TO FULLY WRAP TANK, WITH 12" SEAM OVERLAPS.
5. INSTALL TANKS UPRIGHT FOR MAXIMUM STRENGTH.
6. COVER ECORAIN TANKS WITH GEOTEXTILE MATERIAL-WRAP TIGHT, CUT AWAY EXCESS FOLDS, OVERLAP AND/OR SEAL JOINTS WITH TAPE.
7. BACKFILL SIDES WITH SANDY FILL IN MAXIMUM 12" LAYER-COMPACTING EACH LAYER AT LEAST 95%.
8. BACKFILL OVER TOP WITH 2" CLEAN SAND AND 10" MINIMUM TOP SOIL (40% SAND, 40% ORGANIC MATTER) AS SHOWN.

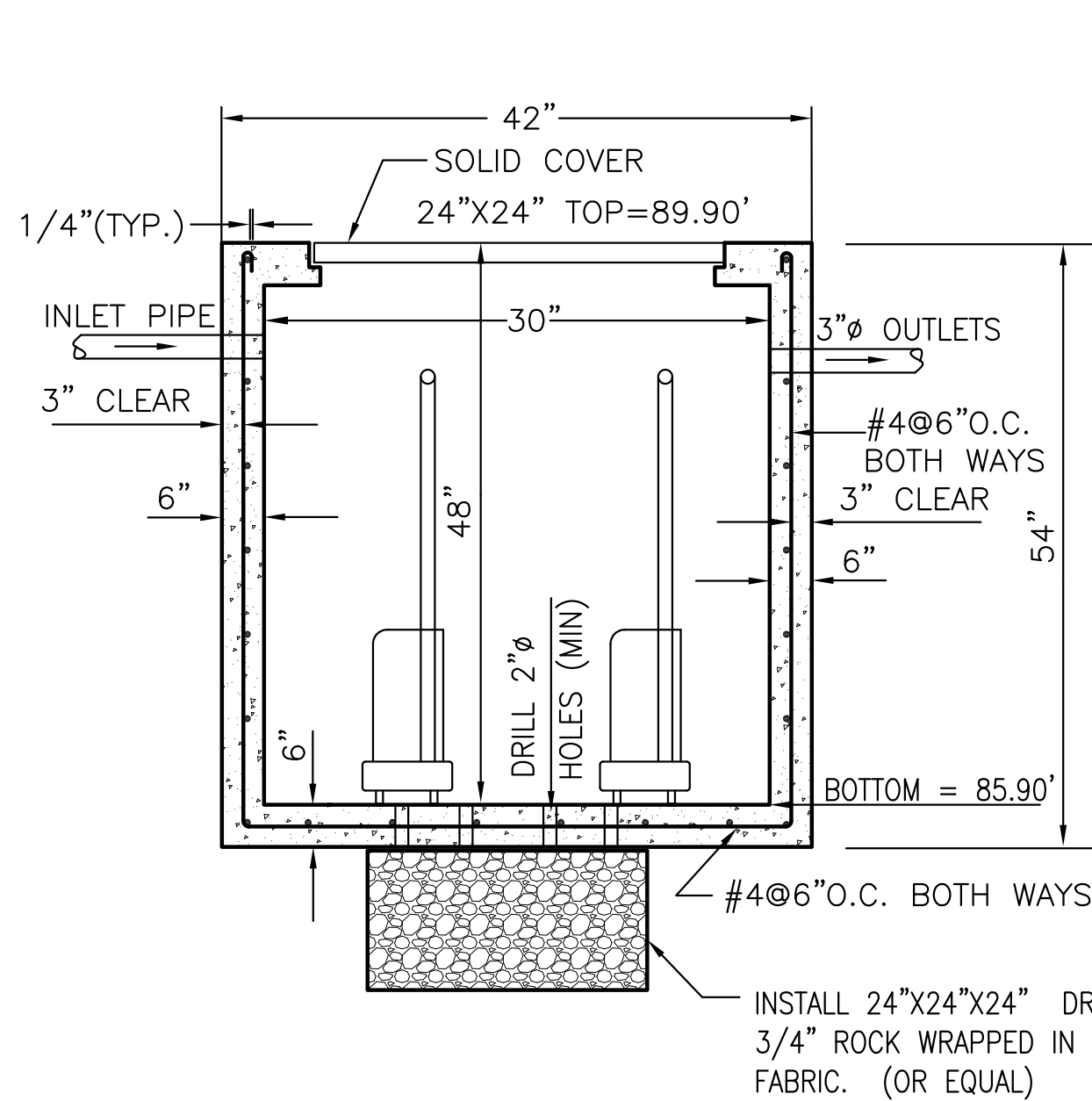
### NOTE:

CONTACT STORMWATER SOLUTIONS REGARDING INSTALLATION.

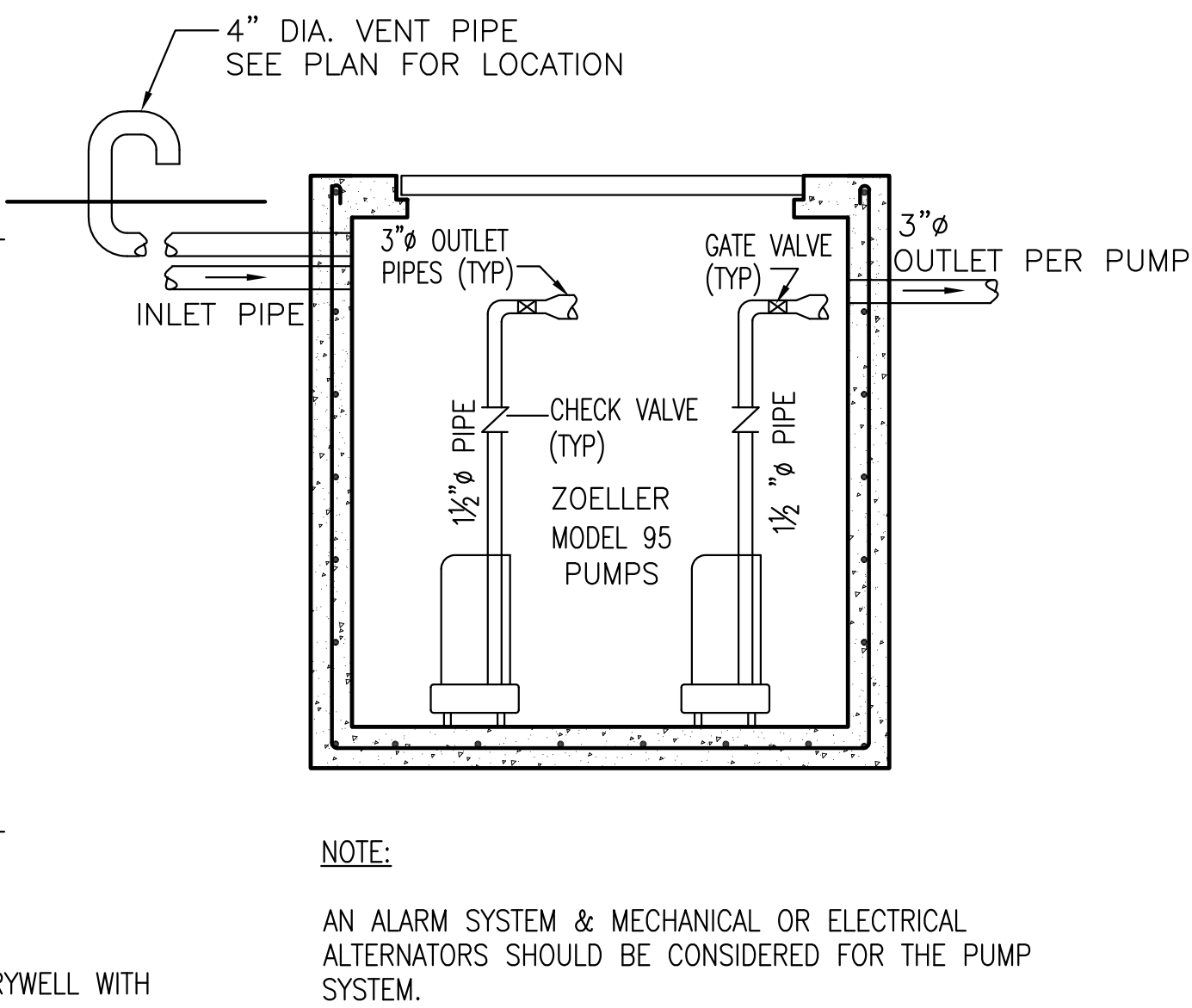
## ECORAIN TANKS

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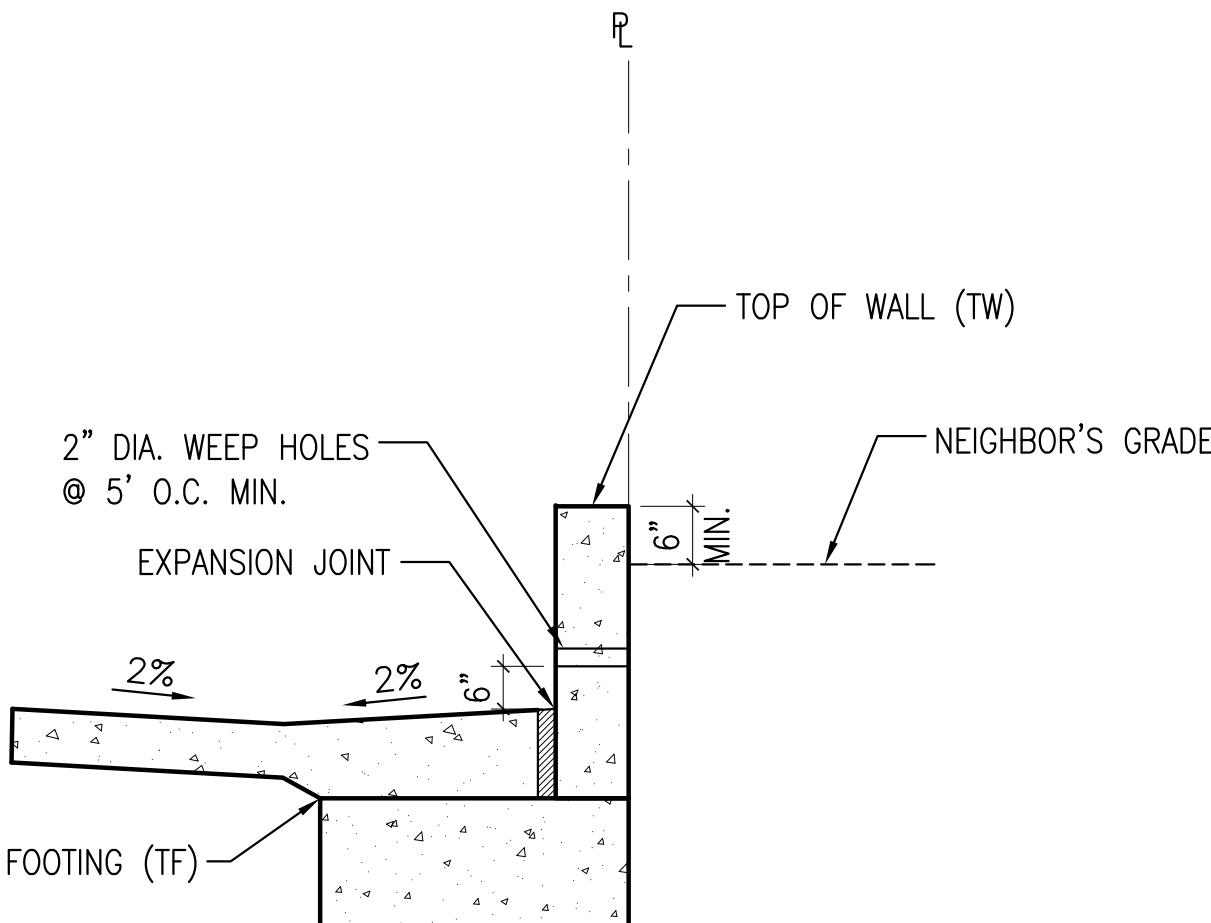
1  
C-3



SUMP BASIN DETAIL



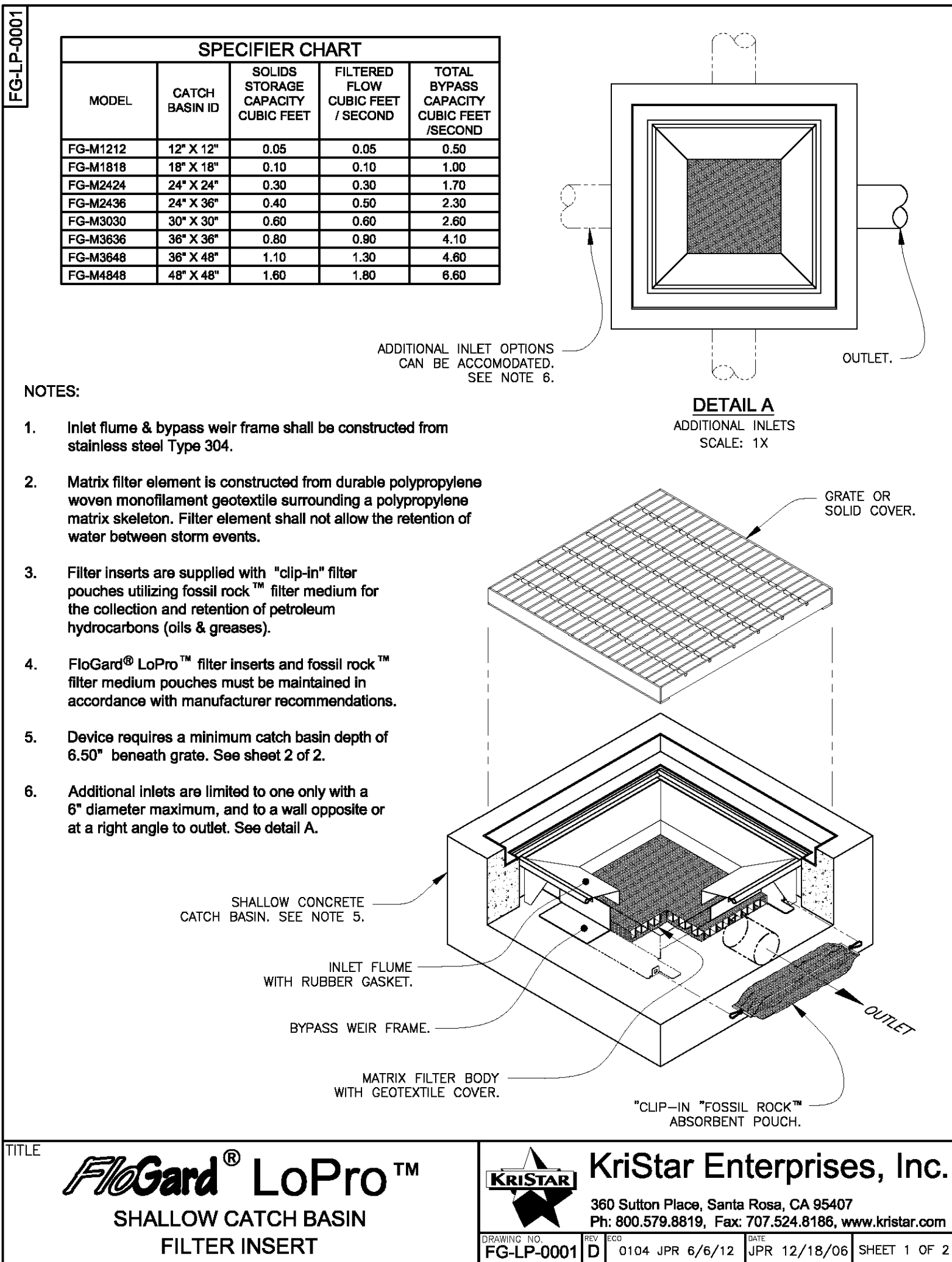
PUMP INSTALL DETAIL



## WEEPHOLE DETAIL

NOT TO SCALE

4  
C-3



### NOTE:

1. USE FG-M1212.
2. INFLOW PIPE TO CATCH BASIN FILTER IS ABOVE FILTER MEDIA TO ENSURE FLOW IS FILTERED PRIOR TO DISCHARGE INTO TANKS.

## SHALLOW CATCH BASIN FILTER INSERT

NOT TO SCALE

2  
C-3

BENCH MARK:			<table><tr><th colspan="3">REVISIONS</th></tr><tr><th>No.</th><th>DESCRIPTION</th><th>DATE</th></tr><tr><td>△</td><td>1ST SUBMITTAL</td><td>03/12/19</td></tr><tr><td></td><td>CORRECTIONS</td><td>07/19/19</td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></table>			REVISIONS			No.	DESCRIPTION	DATE	△	1ST SUBMITTAL	03/12/19		CORRECTIONS	07/19/19																	PLANS PREPARED BY:			CITY OF HERMOSA BEACH PUBLIC WORKS DEPARTMENT	PRIVATE IMPROVEMENT PLANS	FILE NUMBER 19011-CIVIL
REVISIONS																																							
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L&T LS 7081 ELEVATION: 100.00 SEE KEYNOTE ⑤ ON C-1.		07/19/2019		CHRISTIAN J. PEREZ, RCE LICENSE No. 80680	DATE	RECOMMENDED FOR PERMIT ISSUANCE:	DATE	421 MONTEREY BLDV CIVIL PLANS DETAILS	C-3 SHT. 4 OF 6																														





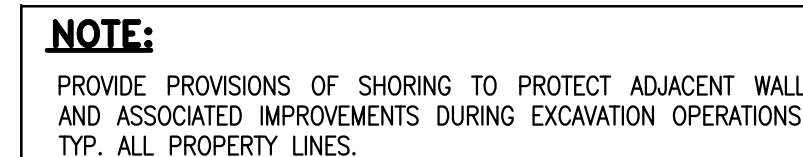
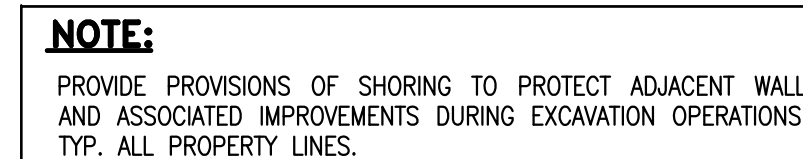
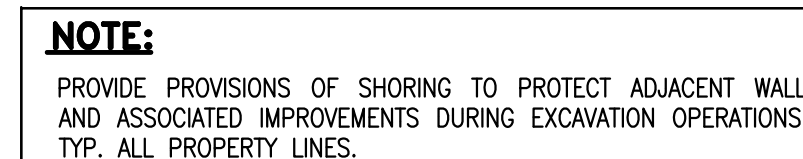
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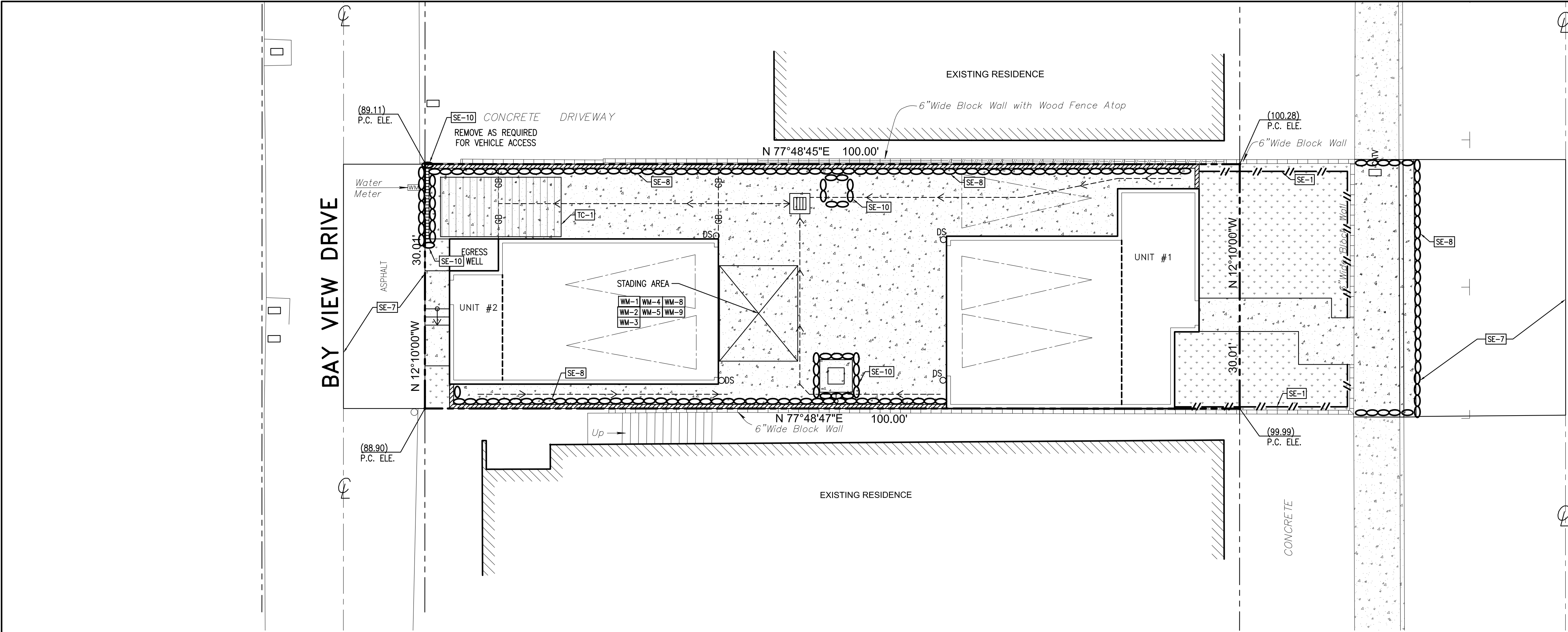


NOT TO SCALE



BENCH MARK:  L&T LS 7081 ELEVATION: 100.00 KEE KEYNOTE ⑤ ON C-1.		REVISIONS		 <b>PERU CONSULTANTS, LLP</b> CIVIL ENGINEERING & DRAFTING SERVICES 1976 W 234Th Street, Torrance, CA 90501 Phone: (310)-270-0811    peruconsultants@live.com	PLANS PREPARED BY:  <div>07/19/2019</div> CHRISTIAN J. PEREZ, RCE LICENSE No. 80680	CITY OF HERMOSA BEACH PUBLIC WORKS DEPARTMENT	PRIVATE IMPROVEMENT PLANS	FILE NUMBER 19011-CIVIL
		No.	DESCRIPTION			DATE	RECOMMENDED FOR PERMIT ISSUANCE:	421 MONTEREY BLDV CIVIL PLANS  DRIVEWAY PROFILES AND SECTIONS
		△	1ST SUBMITTAL	03/12/19				
			CORRECTIONS	07/19/19				





BMP SELECTION AND LEGEND:

BMP'S SPECIFIED ON THIS PLAN REFERENCE THE NOVEMBER 2009 EDITION OF CASQA "CALIFORNIA STORMWATER HANDBOOK". IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN BMP DETAILS AVAILABLE AT WWW.CASQA.ORG.

THE FOLLOWING BMP'S ARE NOT SHOWN IN SPECIFIC LOCATIONS ON THIS PLAN AND ARE APPLICABLE TO THE PROJECT. THE CONTRACTOR SHALL INCORPORATE THESE BMP'S INTO THE PROJECT SCOPE:

- EC-1 PROJECT SCHEDULE
- EC-2 PRESERVATION OF EXISTING VEGETATION
- NS-1 WATER CONSERVATION
- NS-3 PAVING AND GRINDING
- NS-6 DISCHARGE REPORTING
- NS-7 POTABLE WATER/IRRIGATION
- NS-8 VEHICLE CLEANING
- NS-9 VEHICLE FUELING
- NS-10 VEHICLE MAINTENANCE
- WE-1 WIND EROSION CONTROL

THE FOLLOWING BMP'S ARE SPECIFIED ON THIS PLAN:

- SE-1 SILT FENCE
- SE-8 SANDBAG BARRIER
- SE-10 INLET PROTECTION
- TC-1 STABILIZED CONSTRUCTION ENTRANCE/ EXIT
- SE-7 STREET SWEEPING AND VACUUMING

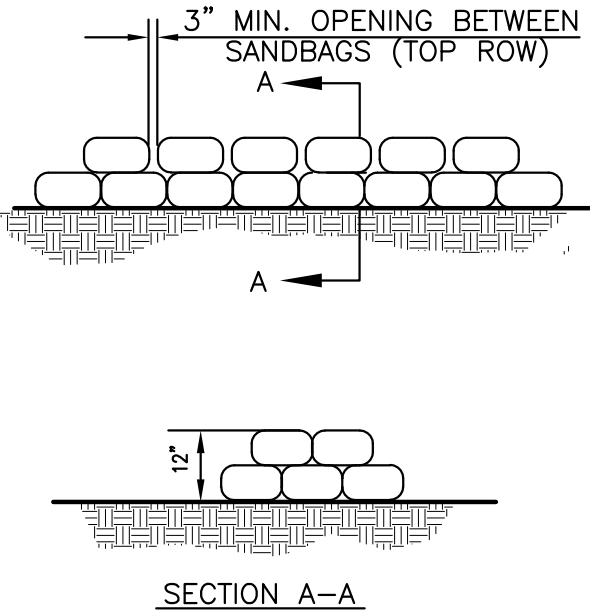
THE FOLLOWING BMP'S SHALL BE USED IN THE CONTRACTOR STAGING AREA:

- WM-1 MATERIAL STORAGE
- WM-2 MATERIAL USAGE
- WM-3 STORAGE MANAGEMENT
- WM-4 SPILL PREVENTION KIT
- WM-5 SOLID WASTE (TRASH)
- WM-8 CONCRETE WASTE (WASHOUT)
- WM-9 SEPTIC/SANITARY FACILITIES

OCEAN, LAKE AND RIVER POLLUTION PREVENTION

IT IS UP TO US. RAIN WATER OR URBAN RUN OFF MIXES WITH URBAN POLLUTANTS CREATES STORMWATER POLLUTION. THE POLLUTANTS INCLUDE: OIL AND OTHER AUTOMOTIVE FLUIDS, PAINT AND CONSTRUCTION DEBRIS, YARD AND PET WASTES, PESTICIDES AND LITTER. THE FOLLOWING BEST MANAGEMENT PRACTICES (BMP'S) WILL INSURE A CLEANER OCEAN AND CITY.

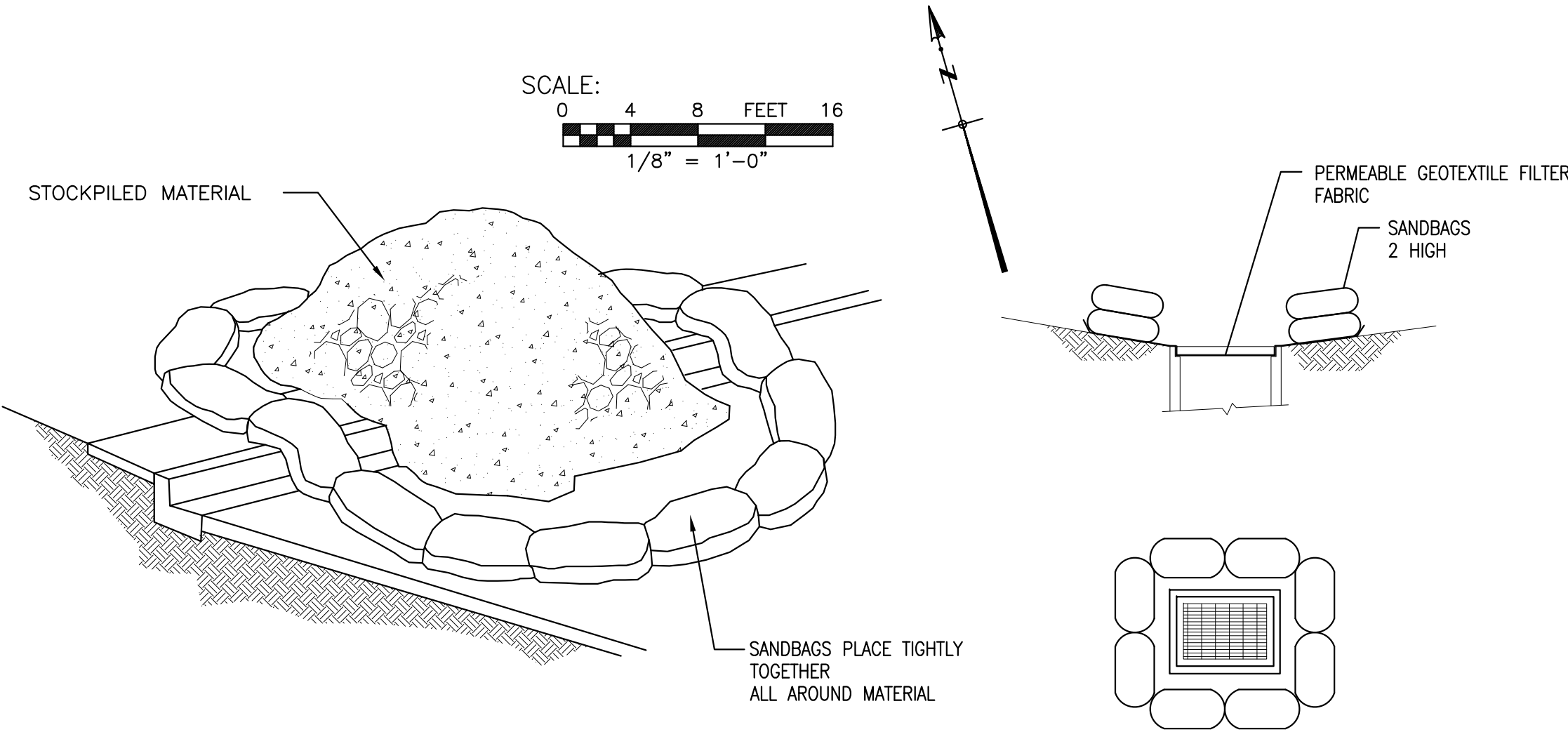
- 1. GENERAL BUSINESS PRACTICES
  - A. KEEP MATERIALS OUT OF THE RAIN. STORE THEM UNDER COVER, WITH TEMPORARY ROOFS OR PLASTIC SHEETS, PROTECTED FROM RAINFALL, RUNOFF AND THE WIND.
  - B. SCHEDULE EXCAVATION AND GRADING WORK FOR DRY WEATHER.
  - C. DEVELOP AND IMPLEMENT EROSION AND SEDIMENT CONTROL PLANS FOR EMBANKMENTS.
- 2. EQUIPMENT MAINTENANCE
  - A. MAINTAIN ALL VEHICLES AND HEAVY EQUIPMENT. INSPECT FREQUENTLY FOR LEAKS.
  - B. CONDUCT ALL VEHICLE/EQUIPMENT MAINTENANCE AND REFUELING AT ONE LOCATION - AWAY FROM STORM DRAINS.
  - C. PERFORM MAJOR EQUIPMENT/VEHICLE REPAIRS AND WASHING WHERE IT IS PERMITTED.
  - D. DO NOT USE DIESEL OIL TO LUBRICATE OR CLEAN EQUIPMENT OR PARTS.
- 3. ASPHALT AND CONCRETE REMOVAL
  - A. AFTER BREAKING UP PAVING, BE SURE TO REMOVE ALL CHUNKS AND PIECES. RECYCLE THEM AT A CRUSHING COMPANY. USE THE REFERRAL NUMBERS LISTED BELOW.
  - B. DISPOSE OF SMALL AMOUNTS OF DRY CONCRETE IN THE TRASH.
  - C. MAKE SURE BROKEN PAVEMENT DOES NOT COME IN CONTACT WITH RAINFALL OR RUNOFF.
  - D. SHOVEL OR VACUUM SAW-CUT SLURRY AND REMOVE FROM THE SITE. FOR DISPOSAL INFORMATION CONTACT THE L.A. COUNTY DEPARTMENT OF PUBLIC WORKS AT 800-552-5218.
  - E. COVER OR BARRICADE STORM DRAIN OPENINGS DURING SAW-CUTTING.
- 4. ASPHALT AND CONCRETE DISPOSAL OPTIONS
  - A. USE A CRUSHING COMPANY LIKE THOSE LISTED BELOW TO RECYCLE CEMENT, ASPHALT AND PORCELAIN RATHER THAN TAKING THEM TO A LANDFILL.
    - BLUE DIAMOND, SOUTH GATE, 800-300-6120
    - COPP CRUSHING, ANAHEIM, TEMECULA, CHINO AND SANTA FE SPRINGS, 310-802-2141
    - RJ NOBLE, SANTA ANA, 714-637-1550
- 5. DURING CONSTRUCTION
  - A. COVER CATCH BASINS AND MAINTENANCE HOLES WHEN APPLYING SEAL COAT, SLURRY SEAL, FOG SEAL, ETC.
  - B. USE CHECK DAMS, DITCHES OR BERMS TO DIVERT RUNOFF AROUND EXCAVATIONS.
  - C. NEVER WASH MATERIALS FROM EXPOSED AGGREGATE CONCRETE, ASPHALT, OR SIMILAR TREATMENTS INTO A STREET, DRAIN OR STORM DRAIN. COLLECT AND RECYCLE, OR LEGALLY DISPOSE OF.
  - D. GUTTER OR STORM DRAIN. COLLECT AND RECYCLE, OR LEGALLY DISPOSE OF.
  - E. COLLECT AND RECYCLE EXCESS ABRASIVE GRAVEL OR SAND.
  - F. AVOID OVER-APPLICATION BY WATER TRUCKS FOR DUST CONTROL.
- 6. SPILLS
  - A. NEVER HOSE DOWN "DIRTY" PAVEMENT OR SURFACES. CLEAN UP ALL SPILLS AND LEAKS USING "DRY" METHODS (WITH ABSORBENT MATERIALS AND/OR RAGS), OR DIG UP AND REMOVE CONTAMINATED SOIL. FOR DISPOSAL INFORMATION, CALL (800) 552-5218.
  - B. CATCH DRIPS FROM PAVER WITH DRIP PANS OR ABSORBENT MATERIAL (CLOTH, RAGS, ETC.) PLACED UNDER MACHINE WHEN NOT IN USE.



SE-8 SANDBAG BARRIER  
NOT TO SCALE

MATERIAL STORAGE:

- 1. DIRT AND OTHER CONSTRUCTION RELATED MATERIALS PLACED IN THE STREET OR ON OTHER IMPERVIOUS SURFACES MUST BE CONTAINED WITH SANDBAGS OR OTHER MEASURES TO PREVENT TRANSPORT TO THE STORMDRAIN SYSTEM.
- 2. ANY CONSTRUCTION MATERIAL STORED OR STOCKPILED ON-SITE SHALL BE PROTECTED FROM BEING TRANSPORTED BY THE FORCE OF WIND OR WATER.



WM-3 STOCKPILE MANAGEMENT  
NOT TO SCALE

SE-10 INLET PROTECTION  
NOT TO SCALE

BENCH MARK:  L&T LS 7081 ELEVATION: 100.00 KEEP KEYNOTE (S) ON C-1.		REVISIONS				PLANS PREPARED BY:   07/19/2019 DATE	CITY OF HERMOSA BEACH PUBLIC WORKS DEPARTMENT	PRIVATE IMPROVEMENT PLANS	FILE NUMBER 19011-CIV	
		No.	DESCRIPTION	DATE				RECOMMENDED FOR PERMIT ISSUANCE:	421 MONTEREY BLDV CIVIL PLANS EROSION CONTROL PLAN	C-5 SHT. 6 OF 6
		△	1ST SUBMITTAL	03/12/19						
		CORRECTIONS	07/19/19							