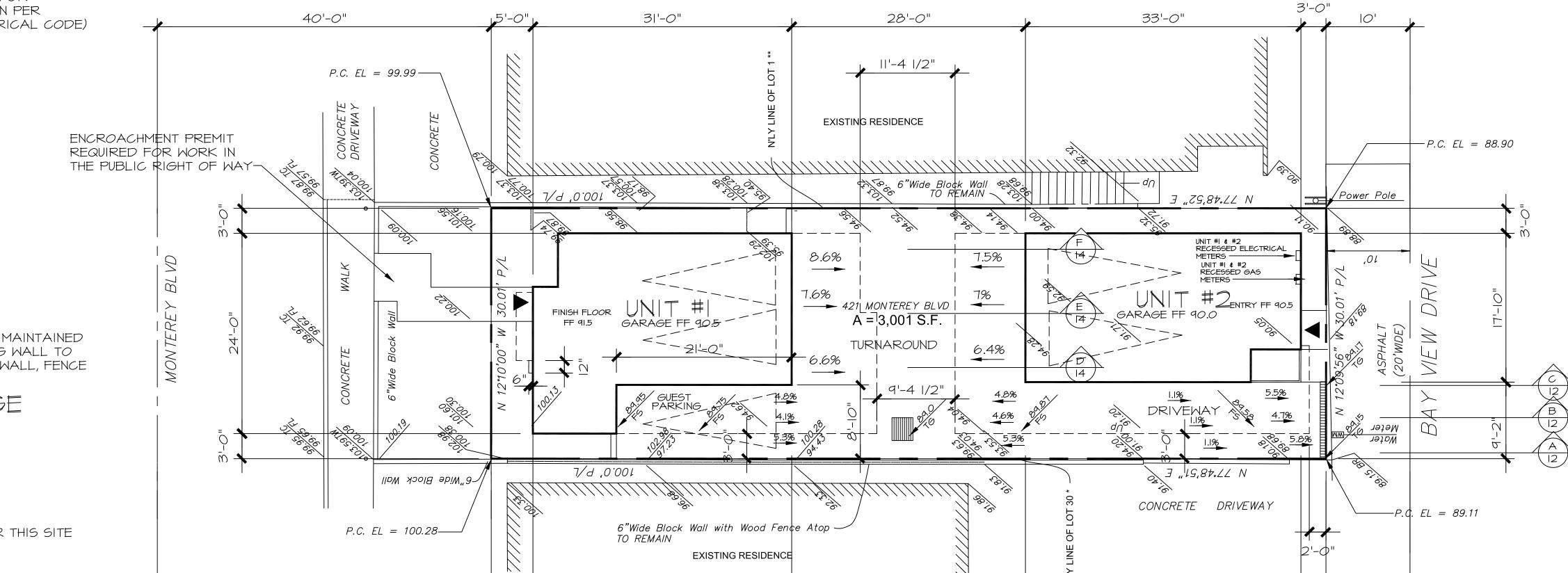


PROVIDE A CONDUIT FROM THE ROOF TO THE ELECTRCIAL PANEL FOR FUTURE SOLAR INSTALLATION PER HBMC SEC. 15.32.140 (ELECTRICAL CODE)



28'-0"

NOTE:

A 3' EGRESS PATH MUST BE MAINTAINED FROM THE FINISHED BUILDING WALL TO THE BACK OF THE SHORING WALL, FENCE OR PROPERTY LINE

LOT COVERAGE

BUILDING: 1209 SQ.FT. PAVED AREA: 1622 SQ. FT.

GRADING

GRADING IS PROPOSED FOR THIS SITE

CUBIC YARDS CUT: 984 CUBIC YARDS FILL: 180

MAX. HEIGHT OF FILL: 20' MAX. HEIGHT OF CUT: 20'



31'-0"

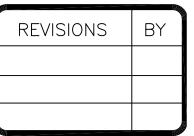
DRAINAGE TO BE BY INFILTRATION
ALL WALLS AND FENCES ARE
EXIST'S ON NEIGHBORS PROPERTY

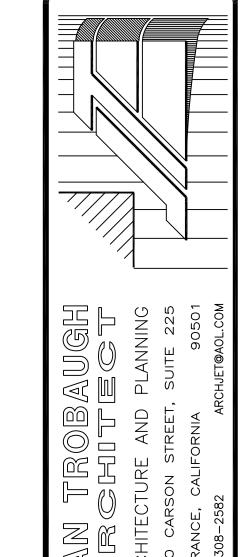
33'-0"

IMPORTANT

SHE	ET INDEX	ZONING INFORM	ATION		DEVELOPM	ENT PRO	OGRAM	OWNER
HEET S23456789101121314 L-1-23	DESCRIPTION SITE PLAN SURVEY FLOOR PLANS FLOOR PLANS FLOOR PLANS FLOOR PLANS ROOF PLAN/ROOF DECK ROOF PLAN ELEVATIONS ELEVATIONS ELEVATIONS ELEVATIONS DRIVEWAY PROFILES LOT COVERAGE TURN AROUND PROFILES LANDSCAPING PLAN LANDSCAPING PLAN	LOT AREA PER DWELLING UNIT LOT COVERAGE YARDS: FRONT SIDE REAR PARKING AND DRIVEWAYS: NUMBER OF SPACES GUEST SPACES PARKING SETBACK PARKING STALL DIMENSION TURNING AREA DRIVE WIDTH DRIVEWAY MAX. SLOPE OPEN SPACE: TOTAL PRIVATE (PER UNIT)	REQUIRED 1,320 SQ.FT 3001x65% = 1950.65 5' 3' 9'/1' 2 PER UNIT-TOTAL 4 SPACES 1 SPACES 1 SPACES 17'/9' 20'x17' UNIT 28' 9' 12.5% 300 SQ.FT. 300 PER UNIT 300 PER UNIT	PROVIDED 1443 SQ.FT. 1948 SQ.FT. 649% 5' 3' 3'/2' 2 PER UNIT-TOTAL 4 SPACES 1 SPACES 17'/9' 20'x17' 28' 9' 3%/10% 300 UNIT #1/301.5 UNIT #1 300 UNIT #1/659.5 UNIT #2 UNIT #1 DECKS 659.5 SQ.FT. TOTAL 659.5 SQ.FT.	BUILDING SUMMARY SUB-BASMENT LIVING AREA BASEMENT LIVING AREA FIRST LEVEL LIVING AREA SECOND LEVEL LIVING AREA THIRD LEVEL LIVING AREA TOTAL LIVING AREA GARAGE BALCONY/DECK ROOF DECKS TOTAL DECKS/PATIOS NUMBER OF BEDROOMS NUMBER OF BATHS OCCUPANCY R-3/U TYPE OF CONSTRUCTION VB		UNIT #2 O SQ.FT. 658 SQ.FT. II4 SQ.FT. IOIO SQ.FT. 656 SQ.FT. 2438 SQ.FT. 2438 SQ.FT. 306 SQ.FT. 506.39 SQ.FT. 3 2.5	SOUTHERN CALIFORNIA CONSTRUCTION C/O: BRIAN ARIANPOUR P.O. BOX 2284 REDONDO BEACH, CA. 90278 310-809-8761 JOB ADDRESS 421 MONTEREY BLVD. HERMOSA BEACH CALIFORNIA LEGAL LOT 31 TRACT NO 1074 MB 17-137 APN # 4188-010-044 BLDG SUMMARY
	LANDSCAPING PLAN	STORAGE (PER UNIT) ZONING R-3	200 CU.FT.	UNIT #2 DECK 200.39 SQ.FT. ROOF DECK 100 SQ.FT. TOTAL 300.39 SQ.FT. UNIT #1: 371 CU.FT. UNIT #2: 217 CU.FT	AUTOMATIC SPRIN REQUIRED. DEFE SUBMITTAL FOR F SPRINKLERS: 13-1 TO BE INSTALLED C-16 LICENSED C	RRED FIRE D SYSTE D BY A		TYPE OF CONSTRUCTION: VB, THREE STORIES W/ BASEMENT W/ SPRINKLERS OCCUPANCY: R-3/U FLOOD ZONE 'X' PARKING - 2-ENCLOSED PER UNIT I GUEST OF CALK

40'-0"



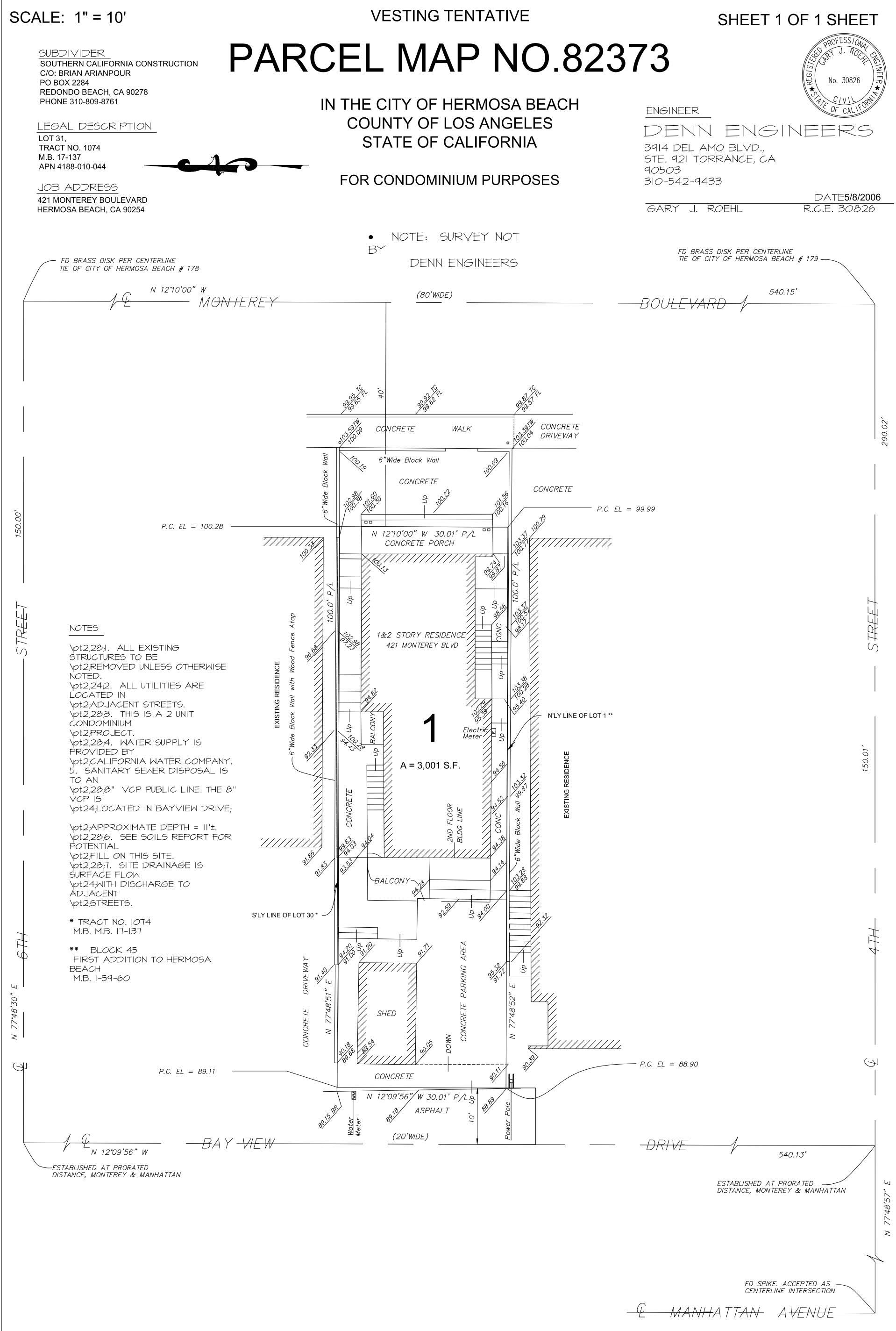


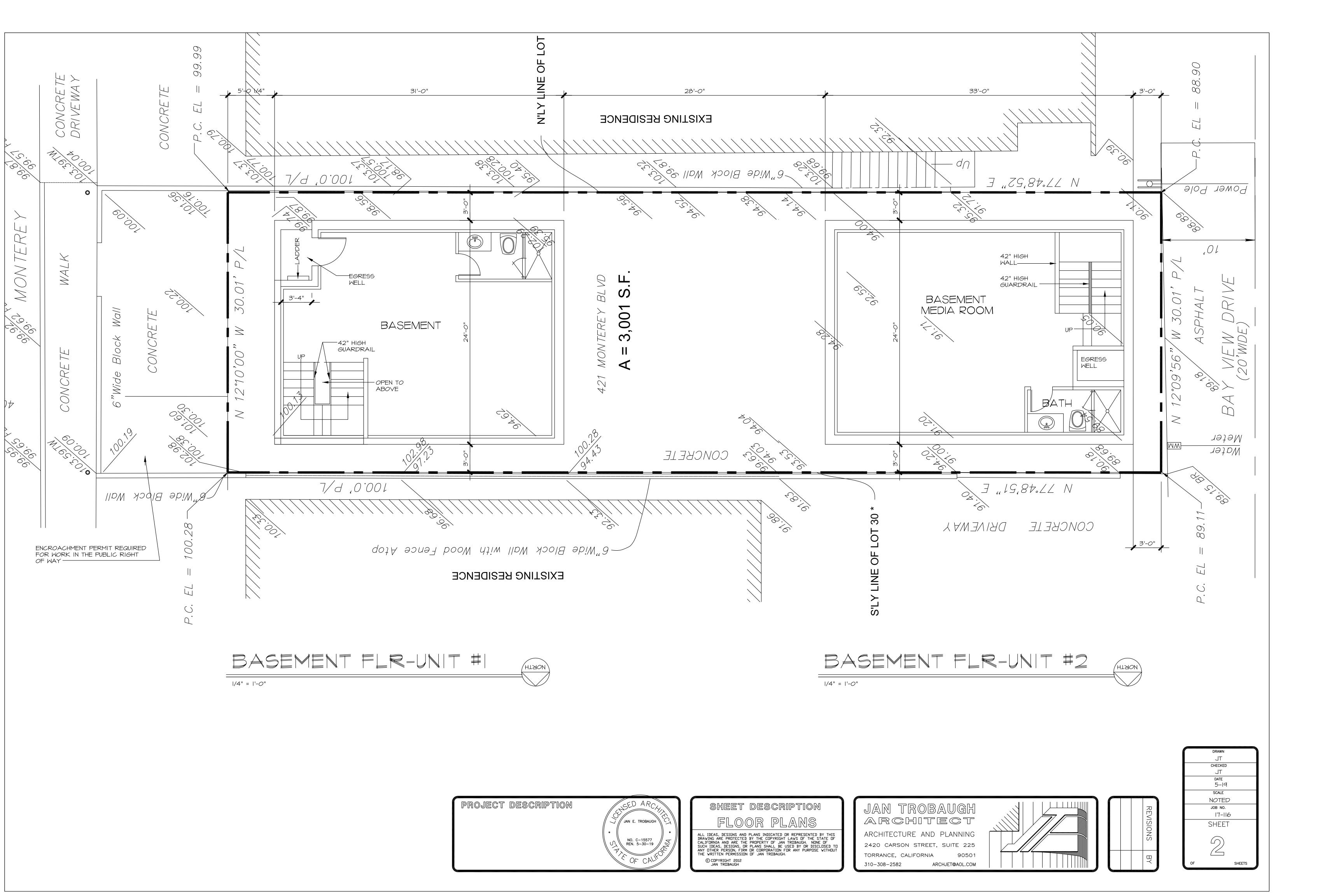
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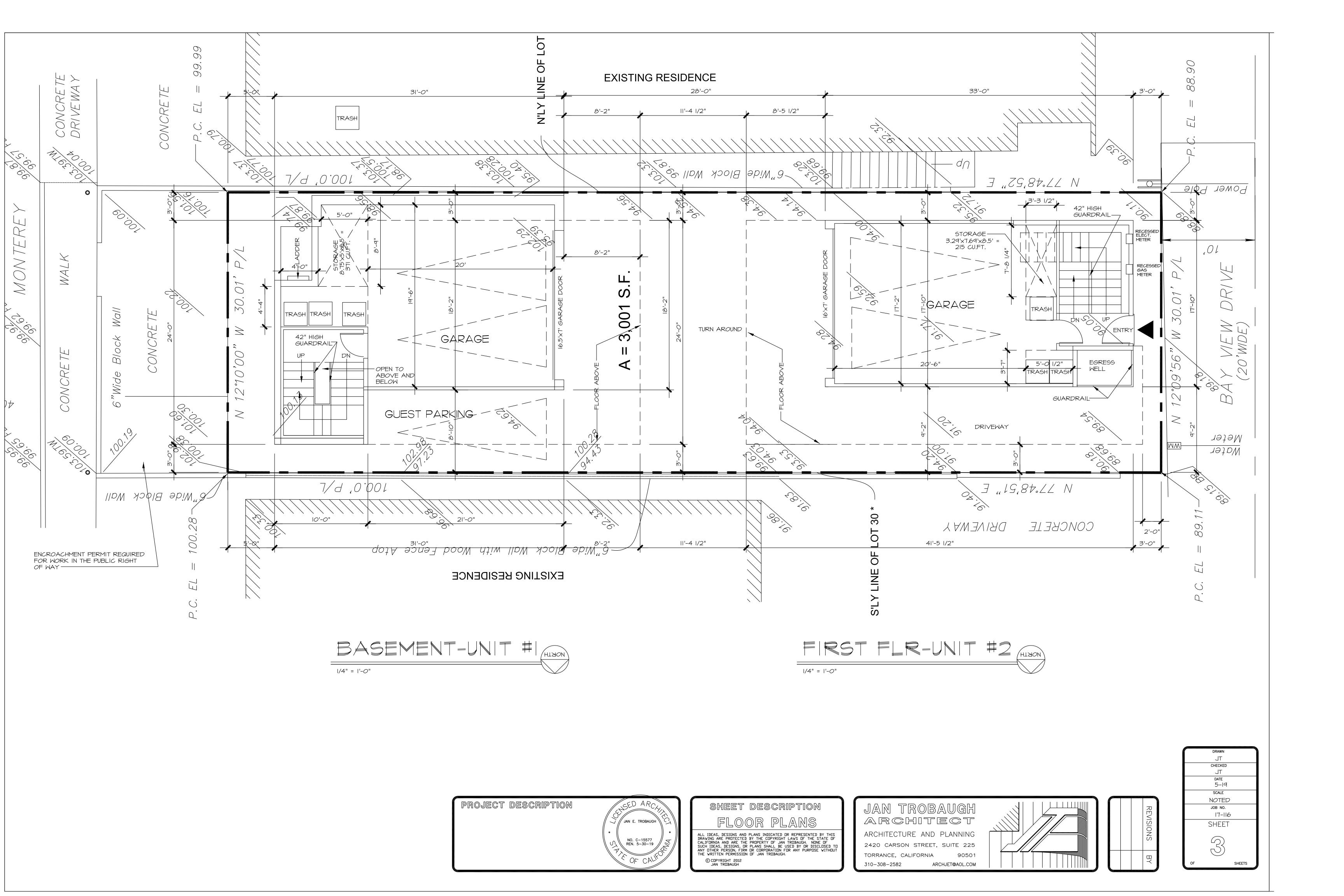
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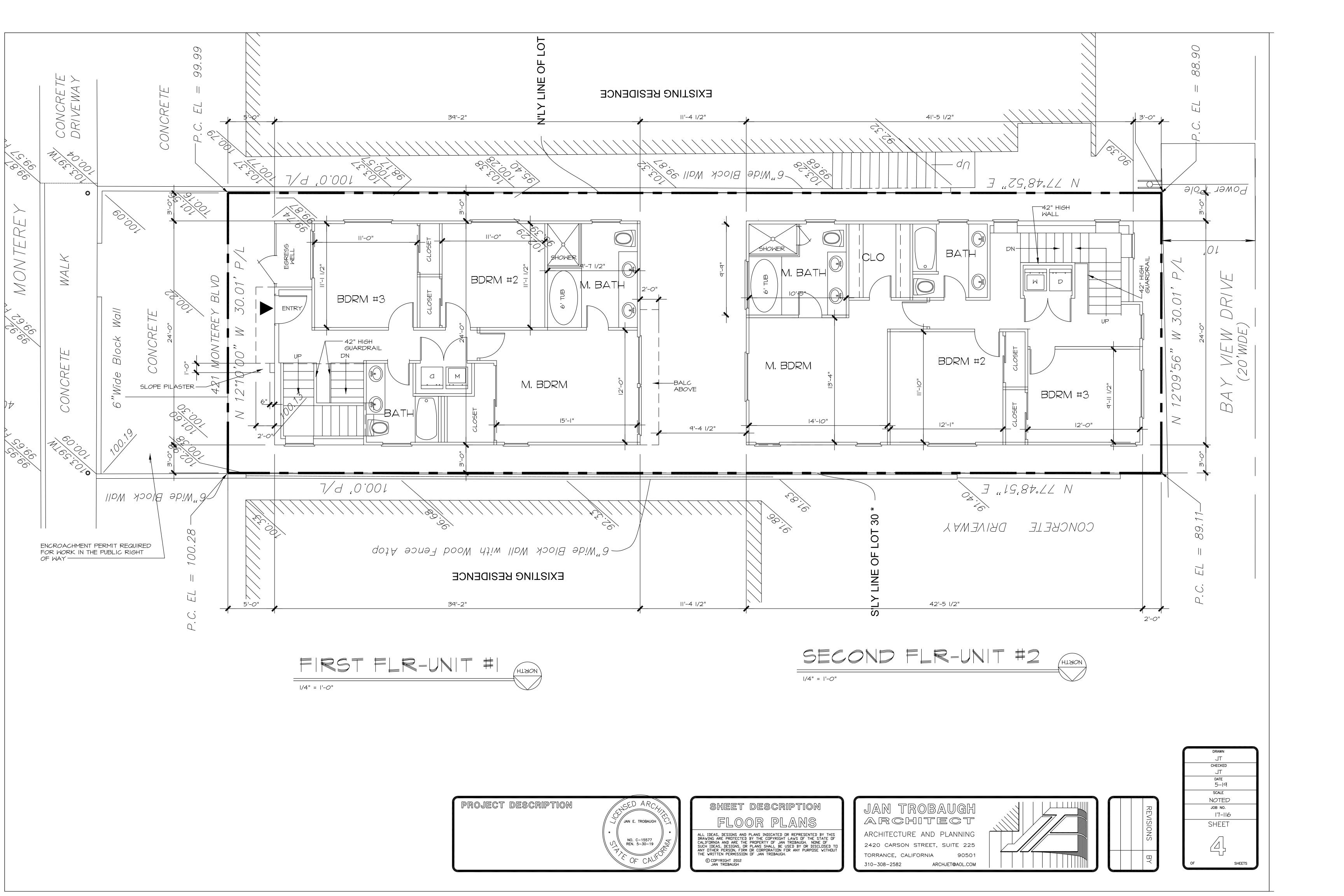
PROJECT DESCRIPTION
2-UNIT CONDOMINIUM FOR
SOUTHERN CALIFORNIA CONST.
421 MONTEREY BLVD.
HERMOSA BEACH, CA.

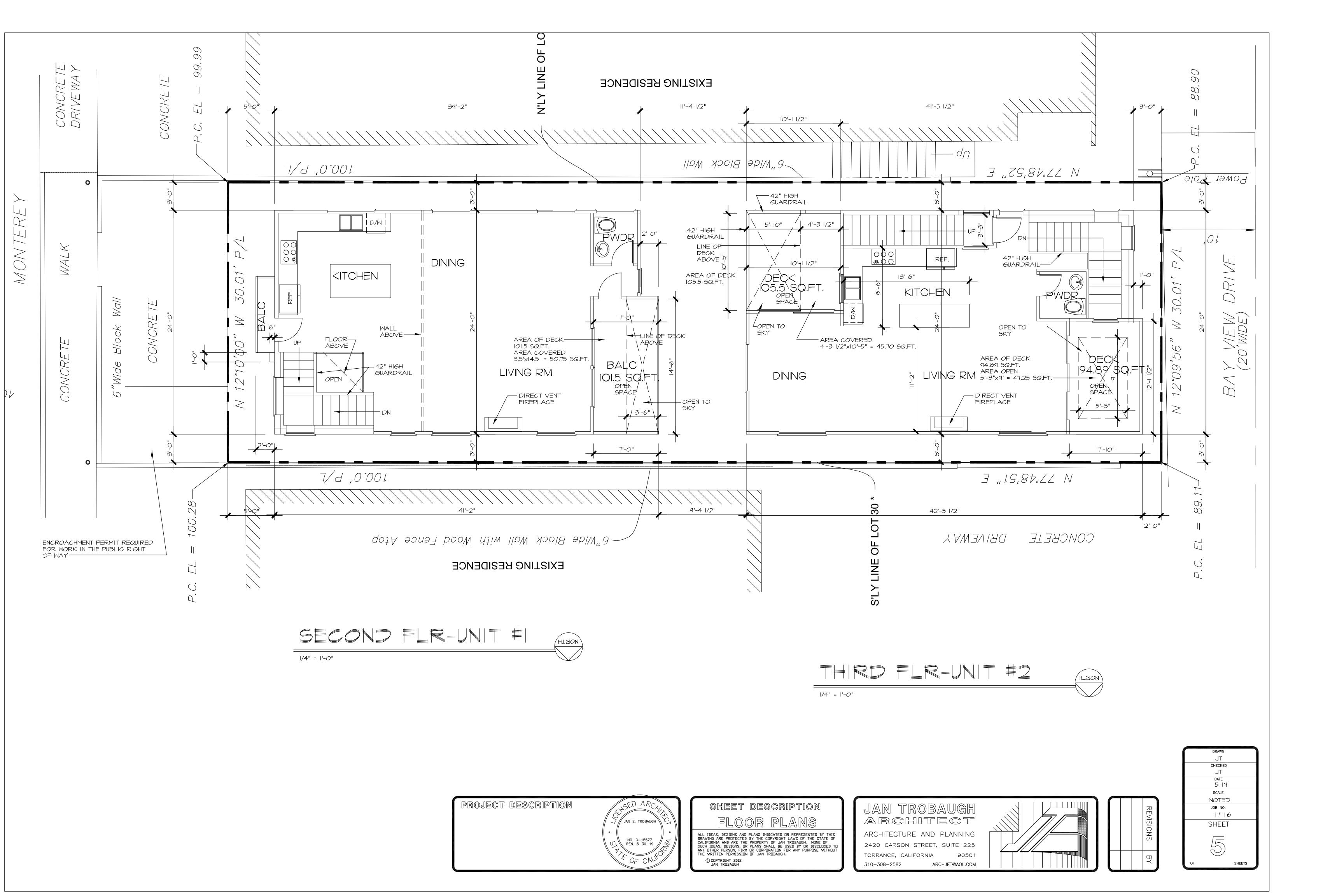
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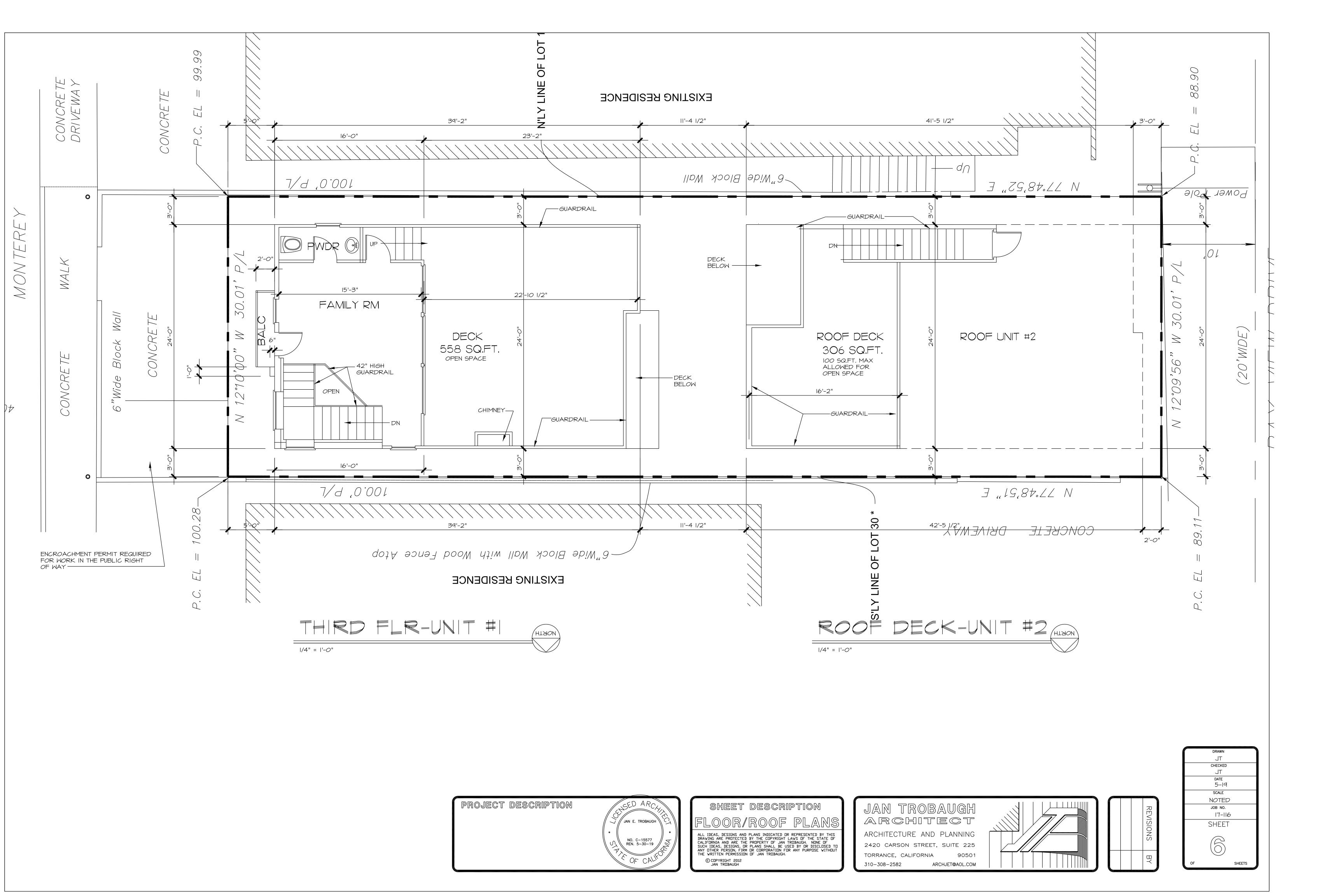


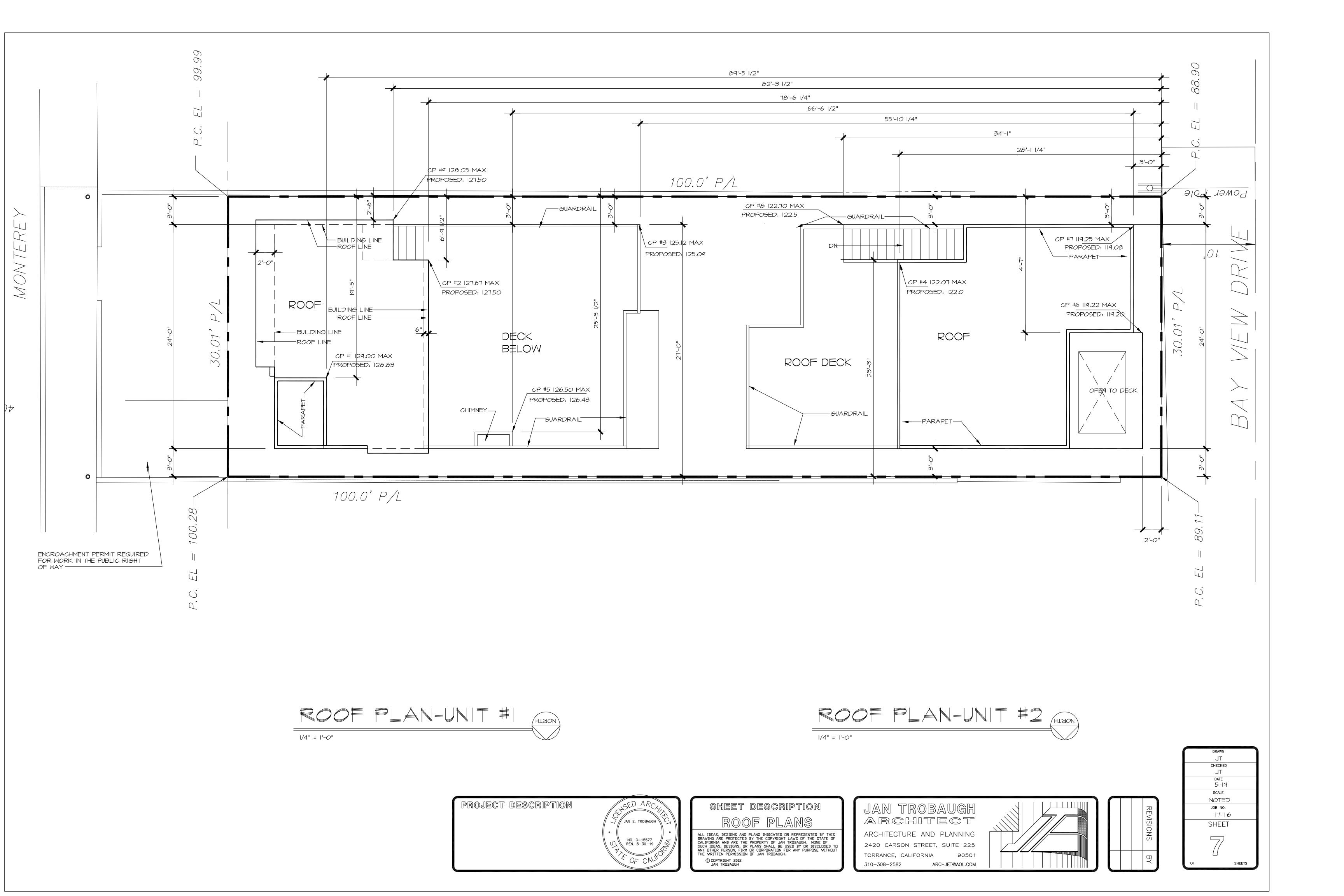


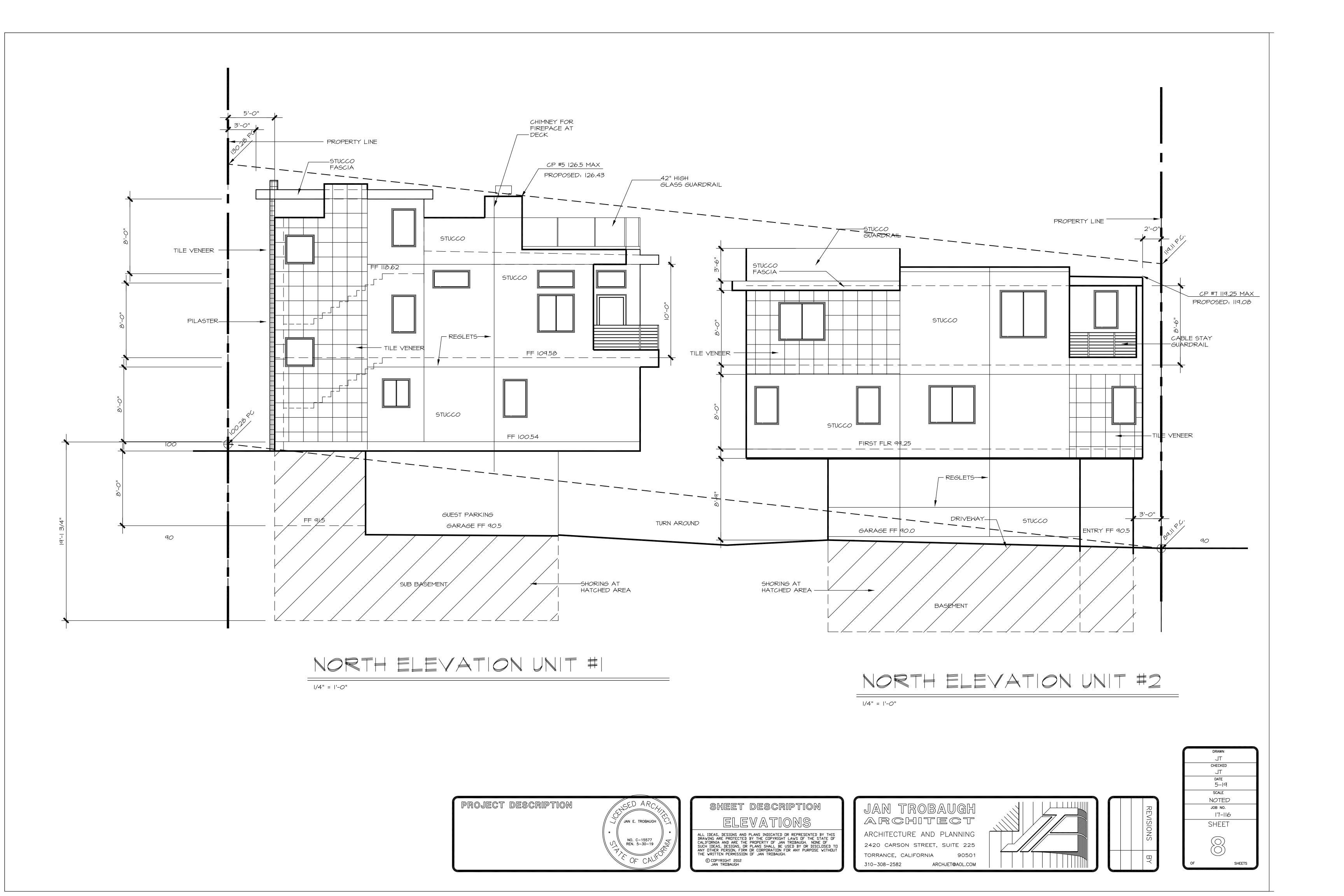


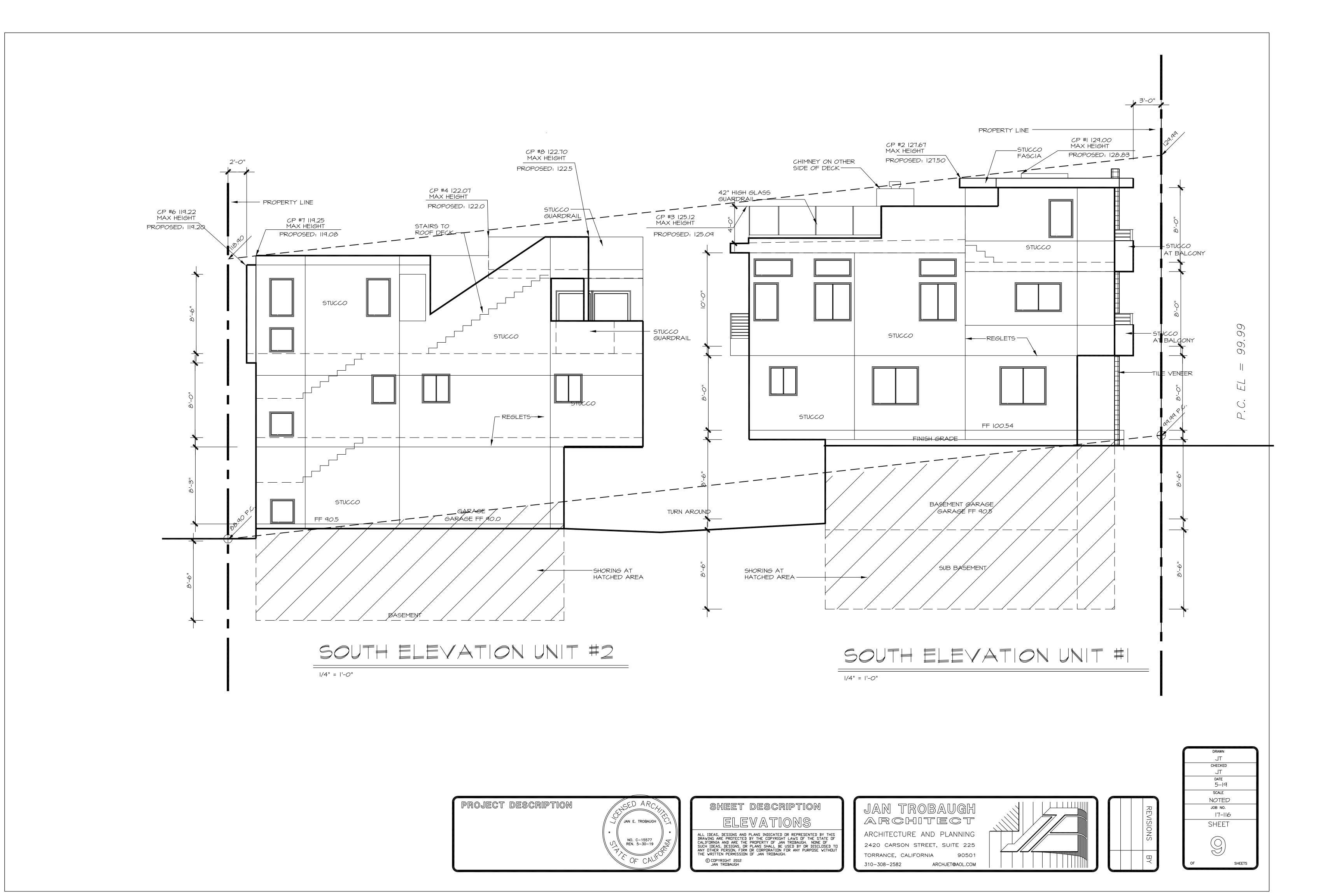


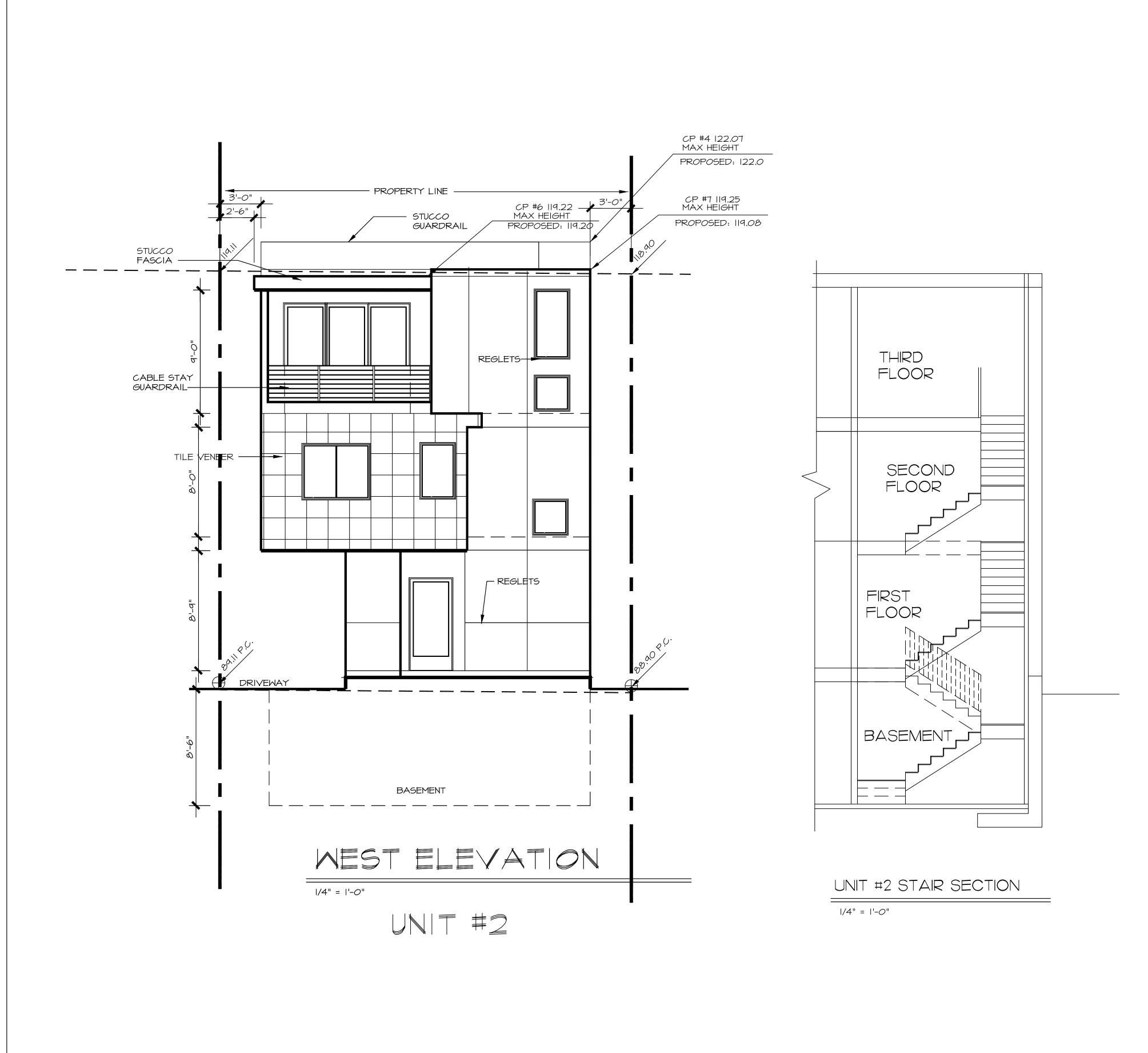


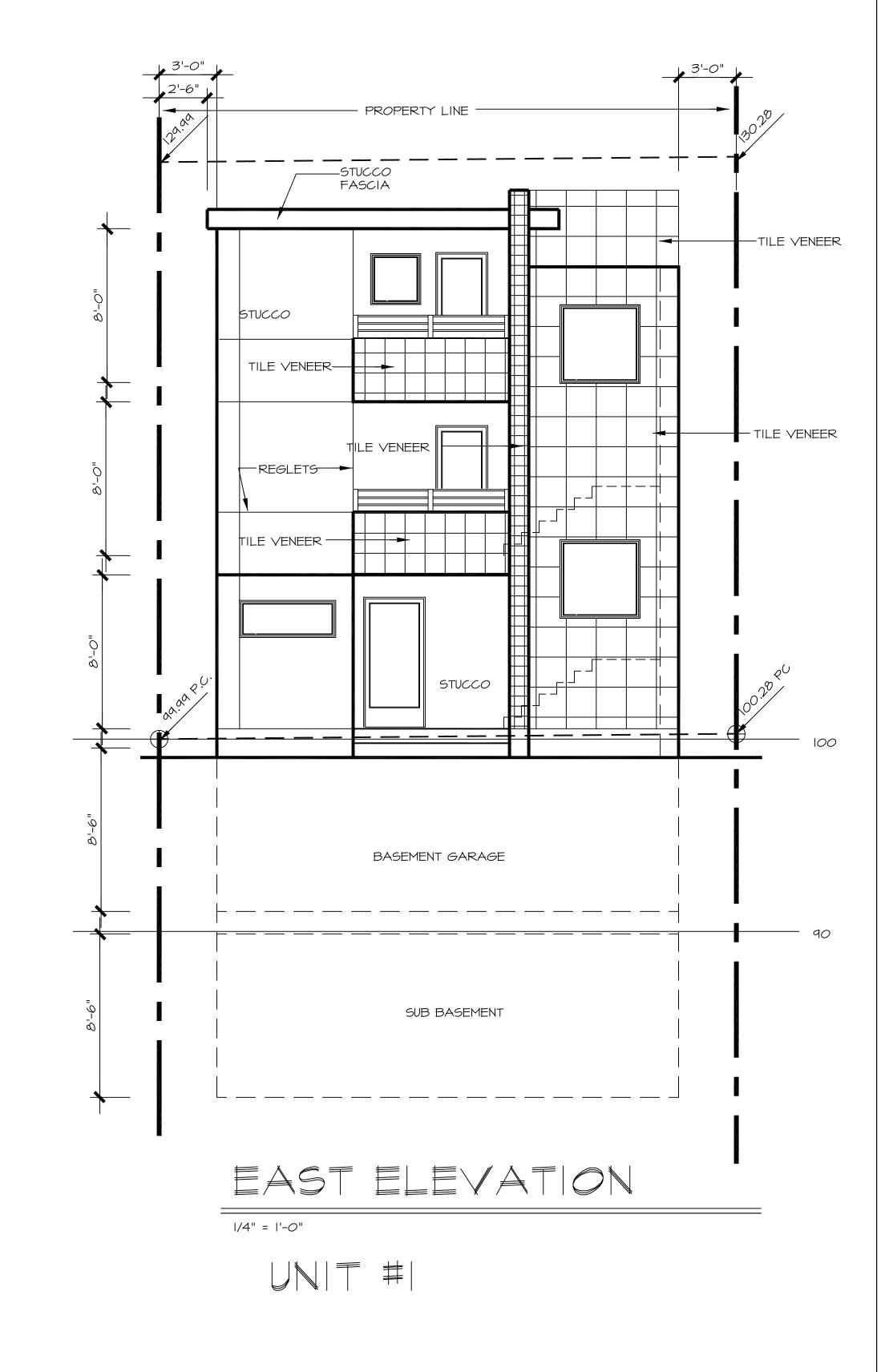












PROJECT DESCRIPTION

SED ARCHITECT

JAN E. TROBAUGH

OF CALL

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SHEET DESCRIPTION
ELEVATIONS

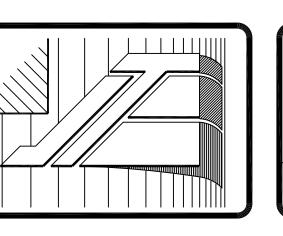
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JAN TROBAUGH

JAN TROBAUGH
ARCHITECTURE AND PLANNING
2420 CARSON STREET, SUITE 225
TORRANCE, CALIFORNIA 90501

ARCHJET@AOL.COM

310-308-2582



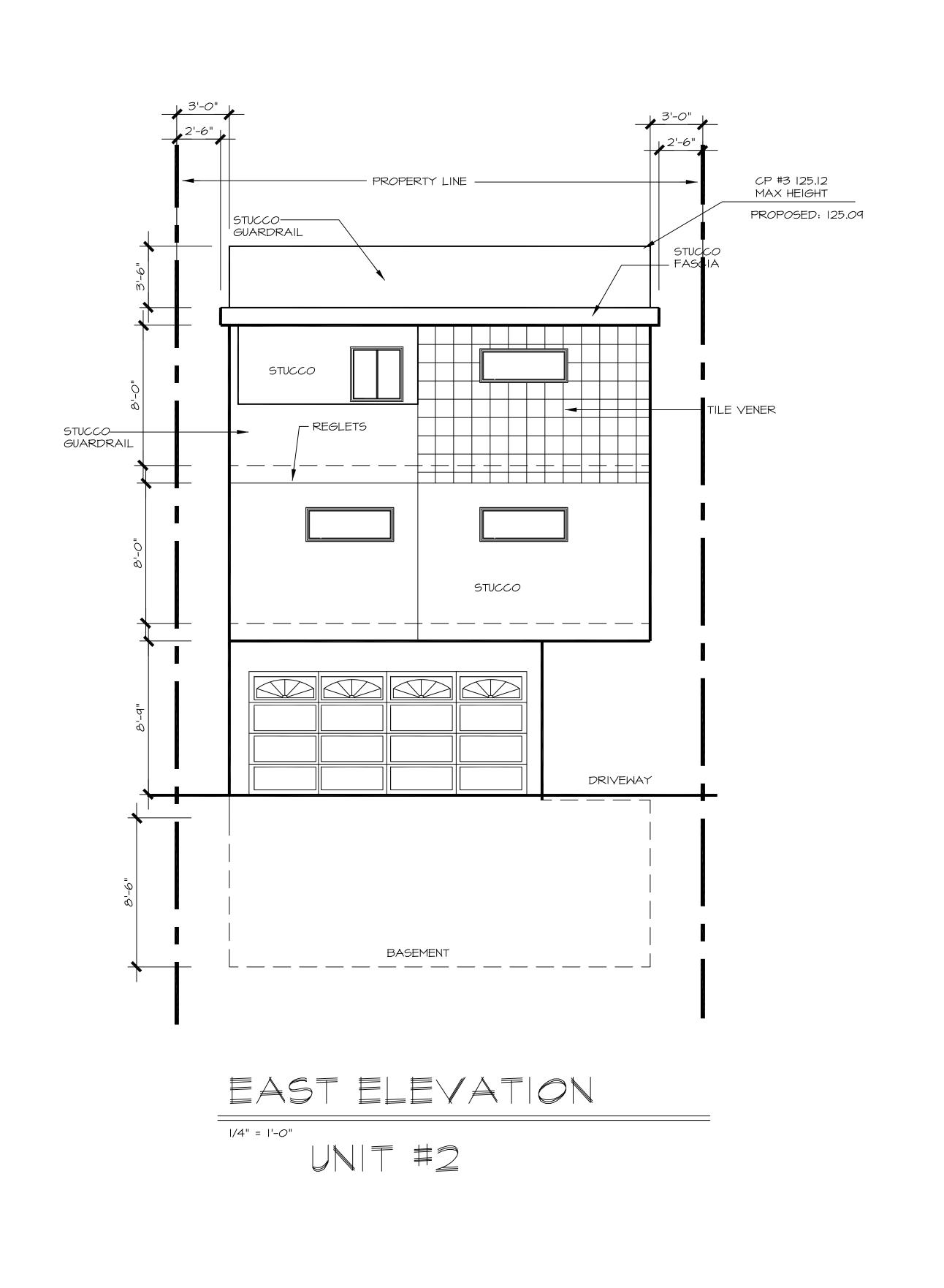
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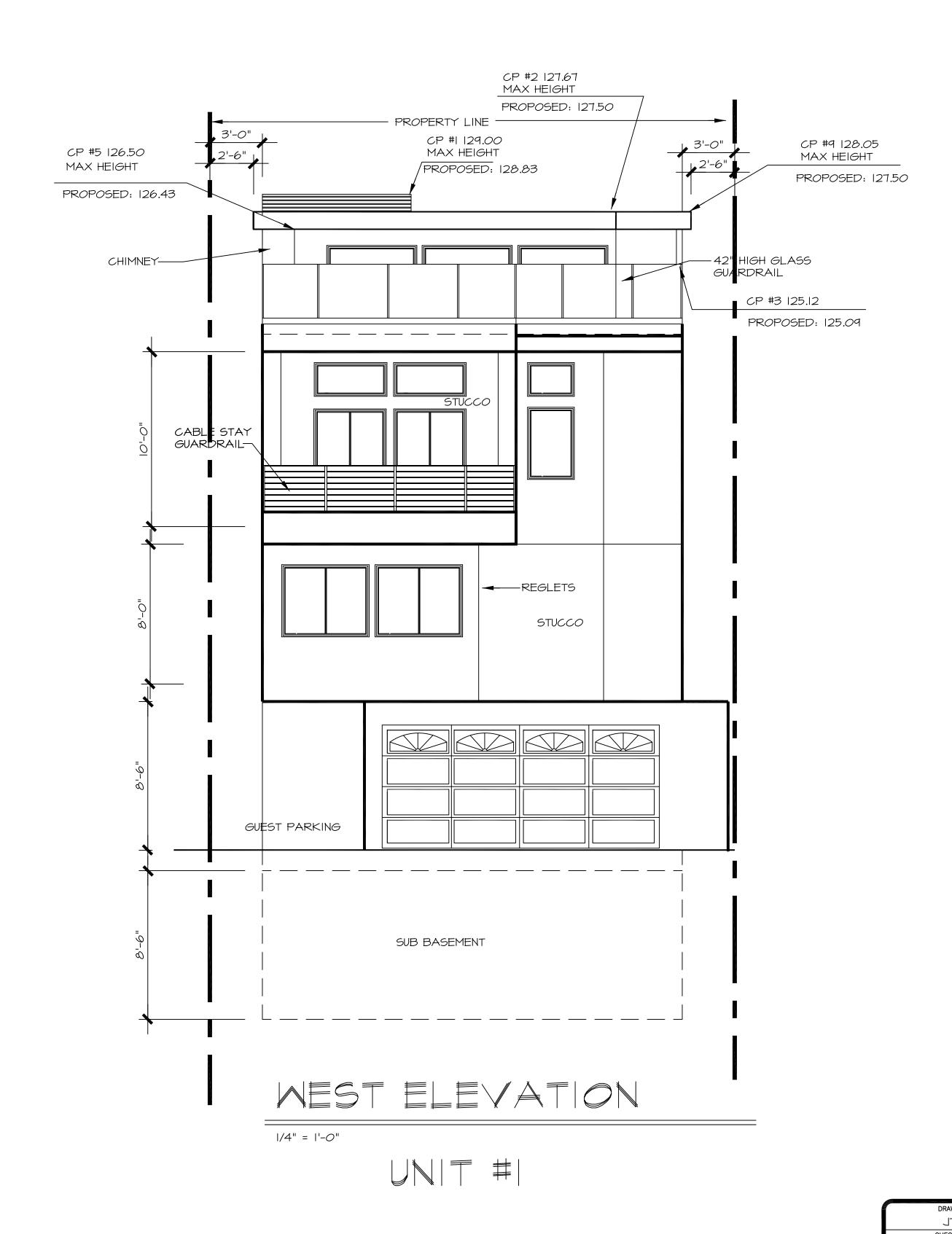
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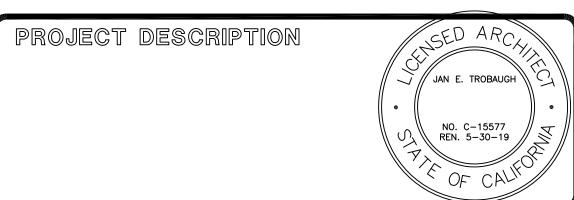
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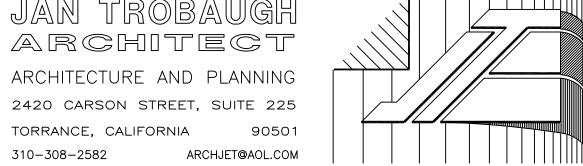


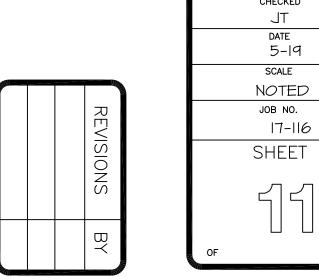
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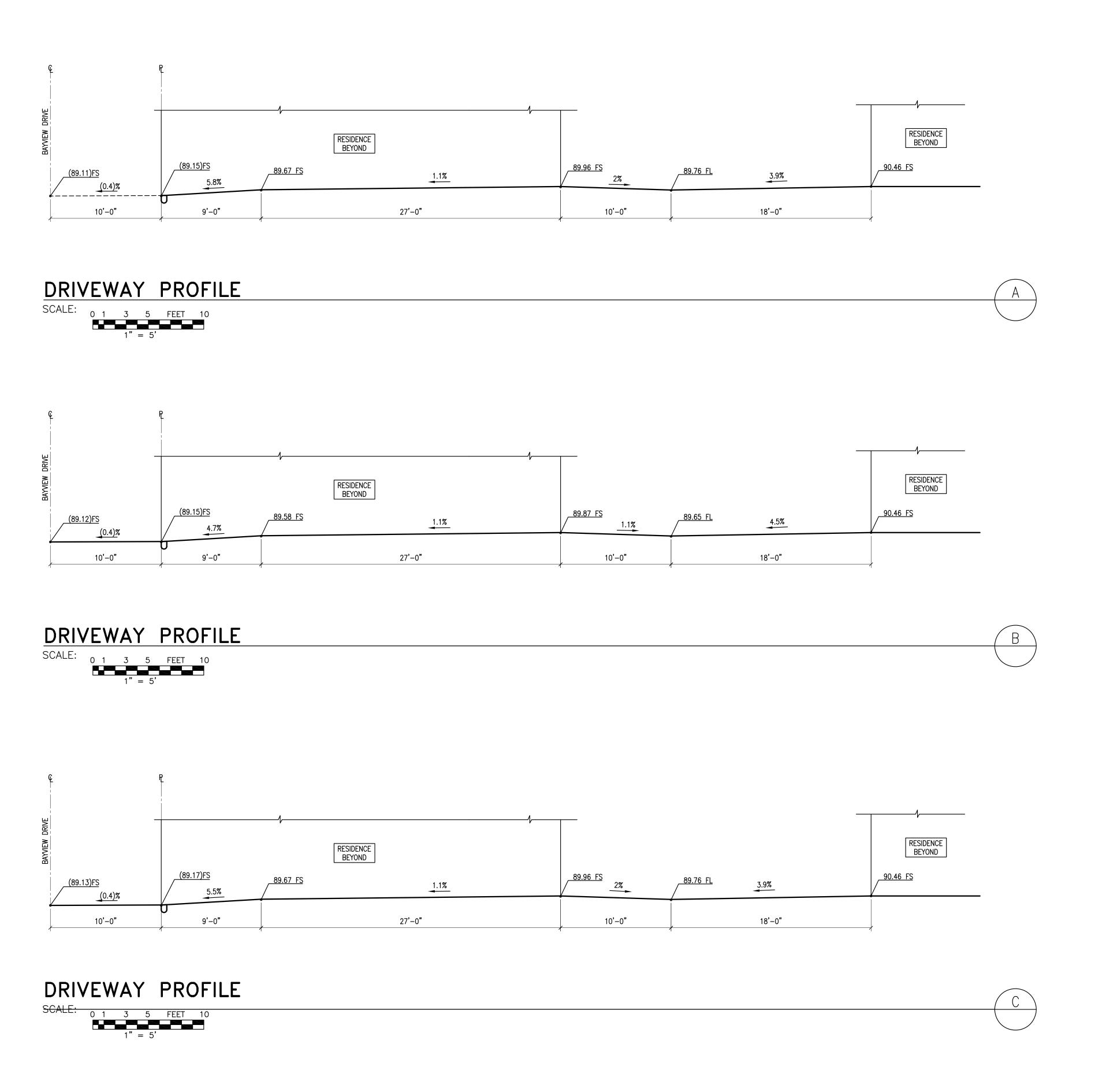
ARCHITECT ARCHITECTURE AND PLANNING

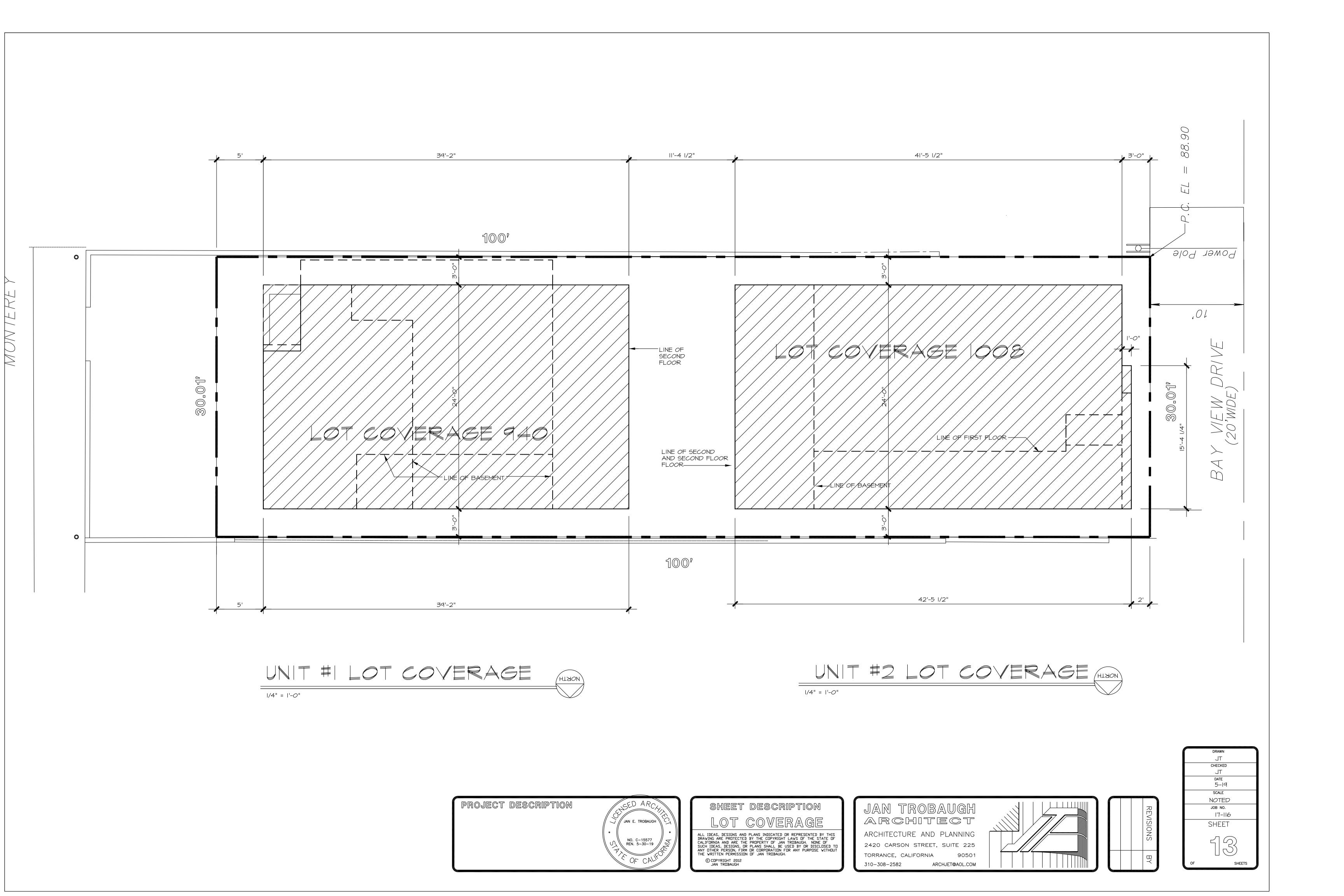
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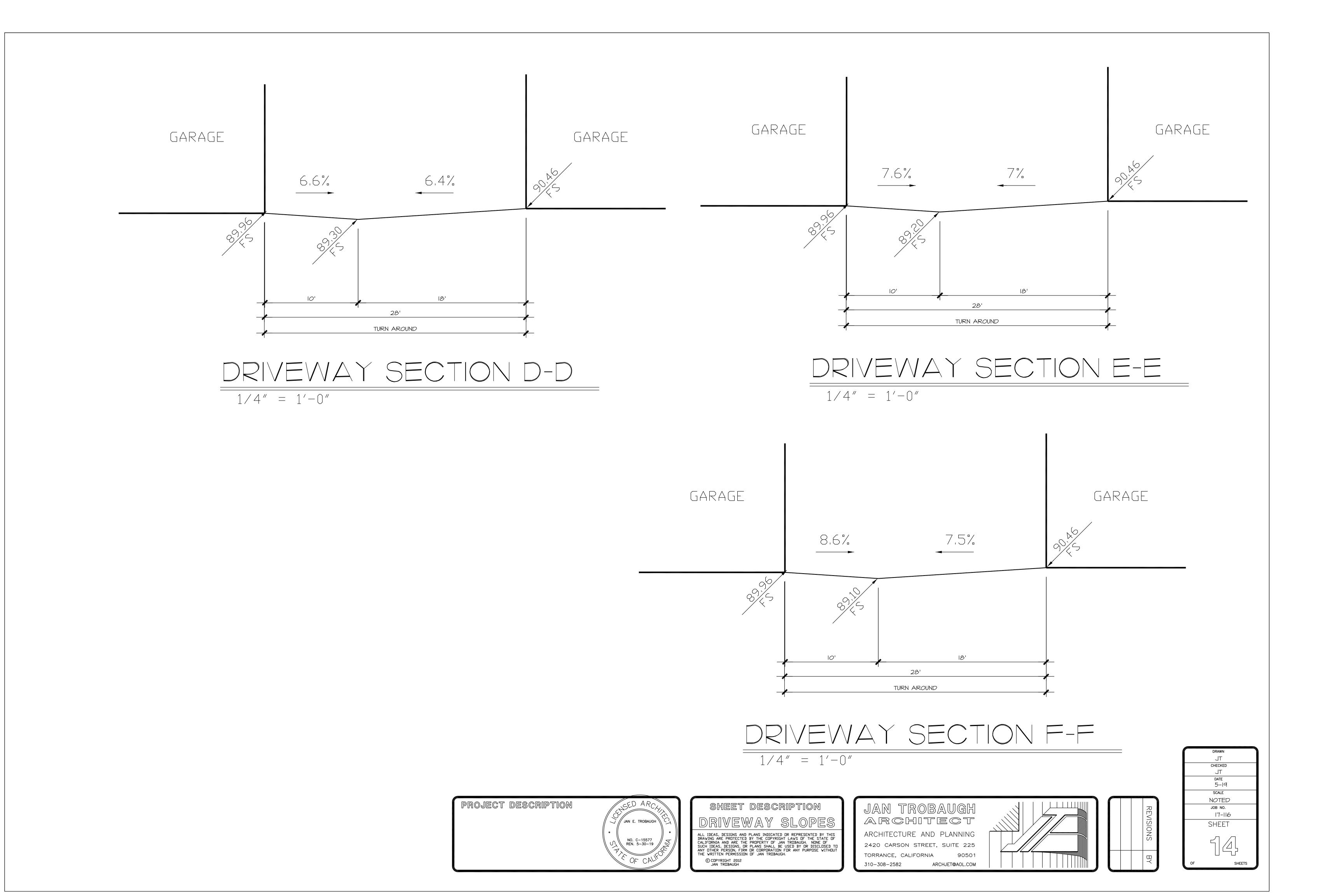




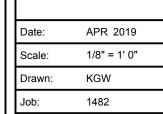
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REVISIONS









S2 - DODONAEA 'PURPUREA'









WATER EFFICIENT LANDSCAPE CALCULATIONS PER 2015 REVISED MODEL WATER EFFICIENT LANDSCAPE ORDINANCE

REFERENCE EVAPOTRANSPIRATION (ETo) 42.6

PLANT DESCRIP.	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIG. EFFICIENCY (IE)	ETAF (PF / IE)	LAND. AREA	ETAF X AREA	ETWU
LOW WATER	0.2	DRIP	0.81	0.25	276	69	1,822 GAL. / YF
MODERATE WATER	0.5	DRIP	0.81	0.62 TOTAL	<u>20</u> 296 S .F.	<u>12.4</u> 81.4	327 GAL. / YR.
						ETWU TOTAL MAWA TOTAL	2,149 GAL. / YI 4,300 GAL. / YI

MAXIMUM APPLIED WATER ALLOWANCE (MAWA)

MAWA = (ETo) (0.62) [(ETAF X LA) + ((1-ETAF) X SLA)] $MAWA = (42.6) (0.62) [(0.55 \times 296) + (0.45 \times 0)]$ MAWA = 4,300 GAL. / YR.

ETAF CALCULATIONS

(AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS MUST BE .55 OR BELOW FOR RESIDENTIAL AREAS) TOTAL ETAF X AREA = 81.4 TOTAL AREA = 296 S. F. **AVERAGE ETAF = 0.27**

HYDROZONE INFORMATION TABLE

LOW WATER USE HYDROZONE = ALL PROPOSED SHRUB AND GROUNDCOVER PLANTING AREAS (276 SQ. FT.) MODERATE WATER USE HYDROZONE = RWS FOR THE TWO PROPOSED PALM TREES (20 SQ. FT.)

PLANT LIST

NO.	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WUCOLS RATING	HEIGHT X WIDTH	REMARKS
TREE	:						
T	SYAGRUS ROMANZOFFIANUM	QUEEN PALM	24" BOX	2	MODERATE	30' X 12-15'	
SHRI	UBS:						
S1	CHONDROPETALUM ELEPHANTINUM	LARGE CAPE RUSH	5 GAL.	2	LOW	4-5' X 4-5'	
S2	DODONAEA VISCOSA 'PURPUREA'	PURPLE HOPSEED BUSH	5 GAL.	13	LOW	8-12' X 4-6'	UPRIGHT FORM
S3	DIETES GRANDIFLORA	FORTNIGHT LILY	1 GAL.	9	LOW	3' X 3'	
GRO	UNDCOVERS:						
G1	ALOE STRIATA	CORAL ALOE	1 GAL.	30" o.c.	LOW	1-2' X 1-1.5'	
G2	ROSMARINUS 'PROSTRATUS'	PROSTRATE ROSEMARY	1 GAL.	36" o.c.	LOW	1-1.5' X 2-4'	

UNIT #1

EXISTING RESIDENCE

GRAVEL: permeable paving

GR 2" LAYER PEA GRAVEL OVER FILTER FABRIC

PLANTING NOTES

- PLANT QUANTITIES ON MATERIALS LIST ARE ONLY A GUIDE. PLANTS ON PLAN HAVE PRECEDENCE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXACT QUANTITIES.
- DUE TO CONSTRUCTION GRADING FOR THE SITE, THE SOIL MANAGEMENT REPORT, INCLUDING AGRONOMIC ANALYSIS WITH INFILTRATION RATES, SHALL BE COMPLETED AS PART OF THE CERTIFICATE OF COMPLETION.
- ALL PROPOSED TREES SHALL BE PLANTED WITH ROOT BARRIER PANELS. 'CP SERIES' 2 FT. DEEP PANELS BY CENTURY PRODUCTS OR EQUAL. (CENTURYROOTBARRIER.COM) SEE DETAILS SHEET.
- ALL PROPOSED TREES SHALL BE DOUBLE-STAKED. DOUBLE-STAKING SHALL CONFORM TO DETAIL, SEE DETAILS SHEET.
- ALL PLANTING AREAS SHALL HAVE A 3" LAYER OF MULCH APPLIED PRIOR TO GROUNDCOVER PLANTING. 'SEQUOIA BLEND MULCH', SCREENED AT 3" BY NEW LEAF ORGANICS (951.694.4625) OR EQUAL.
- PLANTING PLAN MEETS HERMOSA BEACH MUNICIPAL CODE CHAPTER 8.56 WATER CONSERVATION -HTTP://WWW.HERMOSABCH.ORG/INDEX.ASPX?PAGE=412 AND CHAPER 8.60 EFFICIENT LANDSCAPING -HTTP://WWW.HERMOSABCH.ORG/INDEX.ASPX?PAGE=413.

AREA CALCULATION

EXISTING RESIDENCE

LOT AREA = 3,000 SQ. FT. BUILDING FOOTPRINT = 1,209 SQ. FT. HARDSCAPE AREA = 1,622 SQ. FT. LANDSCAPE AREA = 85 SQ. FT. PERMEABLE PAVING AREA = 40 SQ. FT.

ENCROACHMENT LANDSCAPE AREA

CONCRETE DRIVEWAY

TOTAL ENCROACHMENT AREA = 420 SQ. FT. REQUIRED MIN. 1/3 TO BE LANDSCAPE AREA = 140 SQ. FT. PROVIDED LANDSCAPE AREA = 211 SQ. FT.

REQUIRED STATEMENT

"I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINACE AND THE LANDSCAPE REGULATIONS AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN."



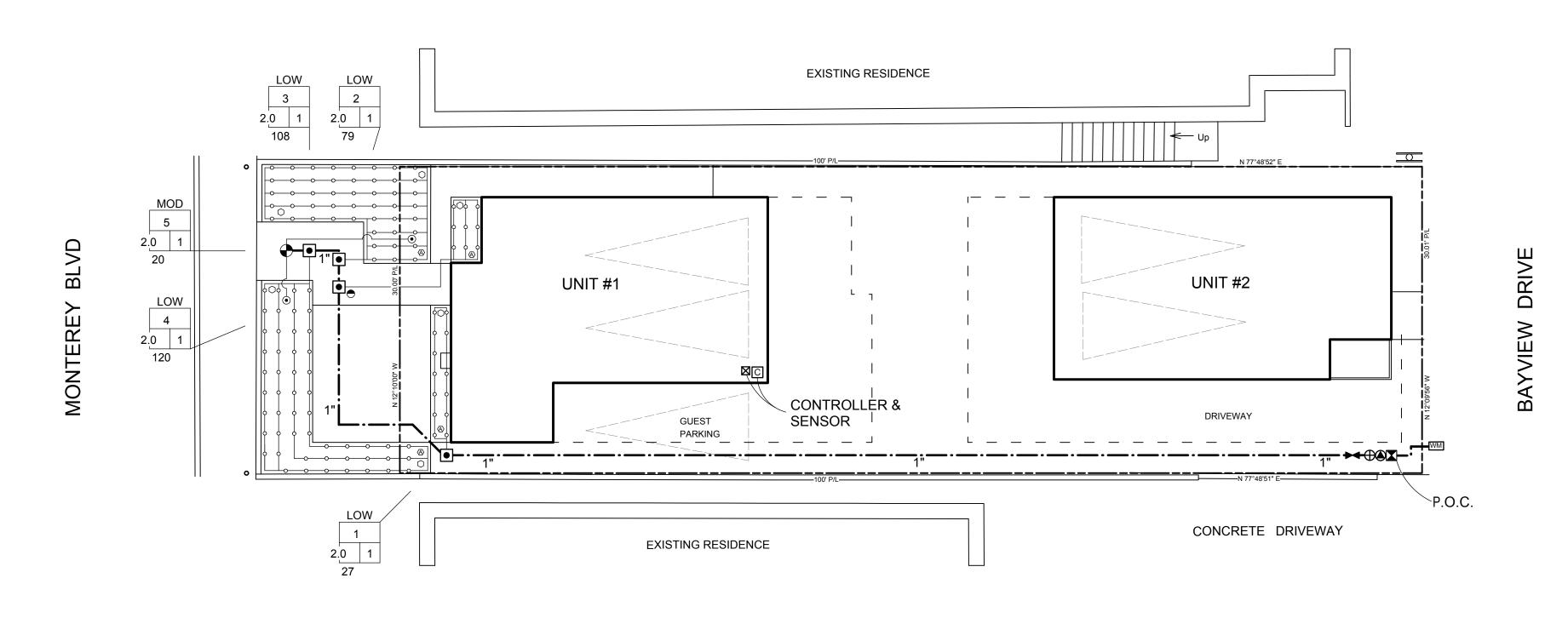




REVISIONS

5.6.19 7.29.19

KGW 1482



NOTES

- DO NOT WILLFULLY INSTALL THE SYSTEM AS DESIGNED, WHEN IT IS OBVIOUS THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT WERE NOT KNOWN DURING DESIGNING. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE, OTHERWISE THE IRRIGATION CONTRACTOR MUST ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- THIS DESIGN IS DIAGRAMMATIC. EQUIPMENT SHOWN IN PAVED AREAS IS FOR CLARIFICATION ONLY, AND IS TO BE INSTALLED IN PLANTING AREA WHEREVER POSSIBLE.
- UNLESS OTHERWISE NOTED, 120 VOLT ELECTRICAL POWER FOR CONTROLLER(S) TO BE PROVIDED BY OTHERS.
- ALL WIRES FROM CONTROLLER TO AUTOMATIC VALVES TO BE COPPER, DIRECT BURIAL, MIN. #14 GAUGE. INSTALL IN SAME TRENCH AS MAINLINE PIPING WHERE POSSIBLE. MIN. COVERAGE OVER WIRE TO BE 18". COMMON WIRE TO BE WHITE IN COLOR. CONTROL WIRES TO BE A DIFFERENT COLOR FOR EACH CONTROLLER USED. BUNDLE AND TAPE WIRES TOGETHER MIN. 20' ON CENTER.
- FINAL LOCATIONS FOR BACKFLOW PREVENTER(S) AND CONTROLLER(S) TO BE DETERMINED BY OWNER'S AUTHORIZED REPRESENTATIVE, IN THE FIELD.
- INSTALL EQUIPMENT AS PER DETAILS.
- INSTALL ALL EQUIPMENT (VALVES, GATE VALVES, BOXES ETC.) IN PLANTING AREAS ONLY, NOT IN LAWN AREAS.
- PROVIDE MIN. 18" COVERAGE OVER ALL PRESSURE LINES, AND A MIN. OF 12" COVERAGE OVER ALL NON-PRESSURE LINES. ALL PIPING UNDER PAVING TO BE MIN. SCHEDULE 40 P.V.C. AND TO HAVE MIN. 24" COVER OVER PIPING.
- IRRIGATION CONTRACTOR TO FLUSH ALL LINES AND ADJUST ALL SPRINKLERS FOR MAXIMUM PERFORMANCE, AND TO PREVENT OVERSPRAY ONTO WALKS, DRIVES, BUILDINGS, ETC.. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC TO FIT ACTUAL SITE CONDITIONS.
- DRIPPERLINE WILL BE INSTALLED MAXIMUM 2" FROM HARDSURFACE AND WILL BE SPACED AT MAXIMUM OF 18" ON CENTER IN PLANTING AREAS, AND MAXIMUM 12" CENTER IN LAWN AREAS. ALL TUBING WILL BE CONNECTED TO EITHER P.V.C. HEADER OR TO OTHER TUBING, THERE WILL BE NO "DEAD ENDS". DRIPPERLINE IN SHRUBBERY AREAS WILL BURIED MIN.1" BELOW FINISHED GRADE, AND STAPLED AT 5'-0" O.C. DRIPPERLINE IN TURF AREAS WILL BE INSTALLED 3" BELOW FINISH GRADE. ALL TUBING IN SHRUBBERY AREAS WILL BE COMPLETELY COVERED WITH MULCH BLANKET. TUBING ROWS WILL BE OFFSET SO THAT EMITERS WIL BE IN EQUALATERAL TRIANGULAR SPACING. (APPROX.18" O.C.). DRIPPERLINE LOCATIONS AS SHOWN ARE DIAGRAMMATIC. CONTRACTOR TO COVER ALL AREAS AS REQUIRED.
- IRRIGATION CONTRACTOR WILL INSTALL SWING CHECK VALVES OR SRING LOADED CHECK VALVES AS REQUIRED TO ELIMINATE DRAINAGE FROM LOW SPRINKLERS. THIS WILL BE IN ADDITION TO ANY CHECK VALVES SHOWN
- ALL P.V.C. MAINLINE FITTINGS TO BE "LONG SOCKET" TYPE AS MANUFACTURED BY DURA COMPANY.
- UPON COMPLETION, IRRIGATION CONTRACTOR TO SUPPLY TO OWNER, A COMPLETE SET OF REPRODUCIBLE "AS-BUILT" DRAWINGS. DRAWINGS WILL SHOW LOCATION OF ALL VALVES, CROSSINGS, QUICK COUPLING VALVES, ETC. EACH CONTROLLER TO HAVE ITS OWN CONTROLLER CHART. CHART WILL CLEARLY SHOW EACH AREA SPRINKLED IN A DIFFERENT COLOR, AND WILL BE LAMINATED BETWEEN 2 LAYERS OF 10 MIL. CLEAR PLASTIC.
- THE IRRIGATION SYSTEM SHALL BE FULLY GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. ANY DEFECTIVE MATERIALS OR POOR WORKMANSHIP SHALL BE REPLACED OR CORRECTED BY IRRIGATION CONTRACTOR AT NO COST TO OWNER.

LECEND

	JENU							
SYMBOL	MANUFACTURER	MODEL#	DESCRIPTION	GALL	GALLONS PER MIN. RAD.		DVD	P.S.I.
OT WIDOL	WANDI ACTORER	WODLL #	DEGGINI TION	FULL	HALF	HALF QTR.		F.S.I.
•	HUNTER	RZWS-18-50-CV	DEEP WATERING TREE BUBBLER ASSEMBLY WITH CHECK VALVE (TREE IRRIGATOR)	0.50	-	-	-	30
· · · · · · · · · · · · · · · · · · ·	TORO	DL-2000-RGP-418	DRIPLINE, SHRUBBERY AREAS BURIED APPROX 1" DEEP APPROX. 18" ON CENTER.W/1.0 G.P.H EMITT	ER				40
	TORO	DZK-TPV-1-LF	DRIP ZONE LOW FLOW VALVE ASSEMBLY					
\circ	TORO	T-FCH-H	AUTOMATIC FLUSH VALVE					
(A)	TORO	T-YD-500-34	AIR/VACUUM RELEIF VALVE					
lacktriangle	TORO	075-SLSC	3/4" QUICK COUPLING VALVE					
lacktriangle	TORO	250-06-04	1" ELECTRIC SOLENOID VALVE, W/ FLOW CONTROL					
\oplus	SUPERIOR	3000	1" NORMALLY CLOSED MASTER VALVE					
	TORO	TFS-100	1" FLOW SENSOR					
C	TORO	TMC-424E-ID-4F-4	AUTOMATIC CONTROLLER, WALL MOUNT WITH WIRE	LESS RA	IN SENSOF	2		
	TORO	TWRS	WIRELESS RAIN SENSOR, VERIFT EXACT LOCATION	ON SITE.				
	FEBCO	825Y	1" REDUCED PRESSURE BACKFLOW PREVENTER. I A STRONGBOX MODEL SBBC-30SS STAINLESS STEE					
H	NIBCO	T-113	GATE VALVE, LINE SIZE					
P.O.C.	POINT OF CONNECTION	ON FOR IRRIGATION SYS	TEM IS 1" POTABLE SERVICE LINE. WATER PRESSURE IS	65 P.S.I.	MAXIMUM	FLOW =2.0	G.P.M	

— WATER REQUIREMENT APPROX. G.P.M. VALVE SIZE. ----- AREA (SQ. FT.)

•• — • • • • • • MAINLINE PIPING-SCHEDULE 40 P.V.C - ALL 1" SIZE, OR NOTED - MIN 18" COVER LATERAL PIPING SCHEDULE 40 P.V.C., SIZE NOTED, MIN. 12" COVER = == == == = = = = SLEEVING FOR PIPING OR WIRE UNDER DRIVEWAY - ALL SHEDULE 40 P.V.C., SIZE NOTED 1" BELOW FINISH GRADE, AND COMPLETELY COVERED WITH MULCH. INSTALL AIR RELIEF VALVES AT HIGHEST POINTS AS REQUIRED BY MANUFACTURER. INSTALL DRIPPERLINE ROWS SO THAT EMITTERS ARE STAGGERED IN A TRIANGULAR PATTERN.

LATERAL PIPE SIZING CHART

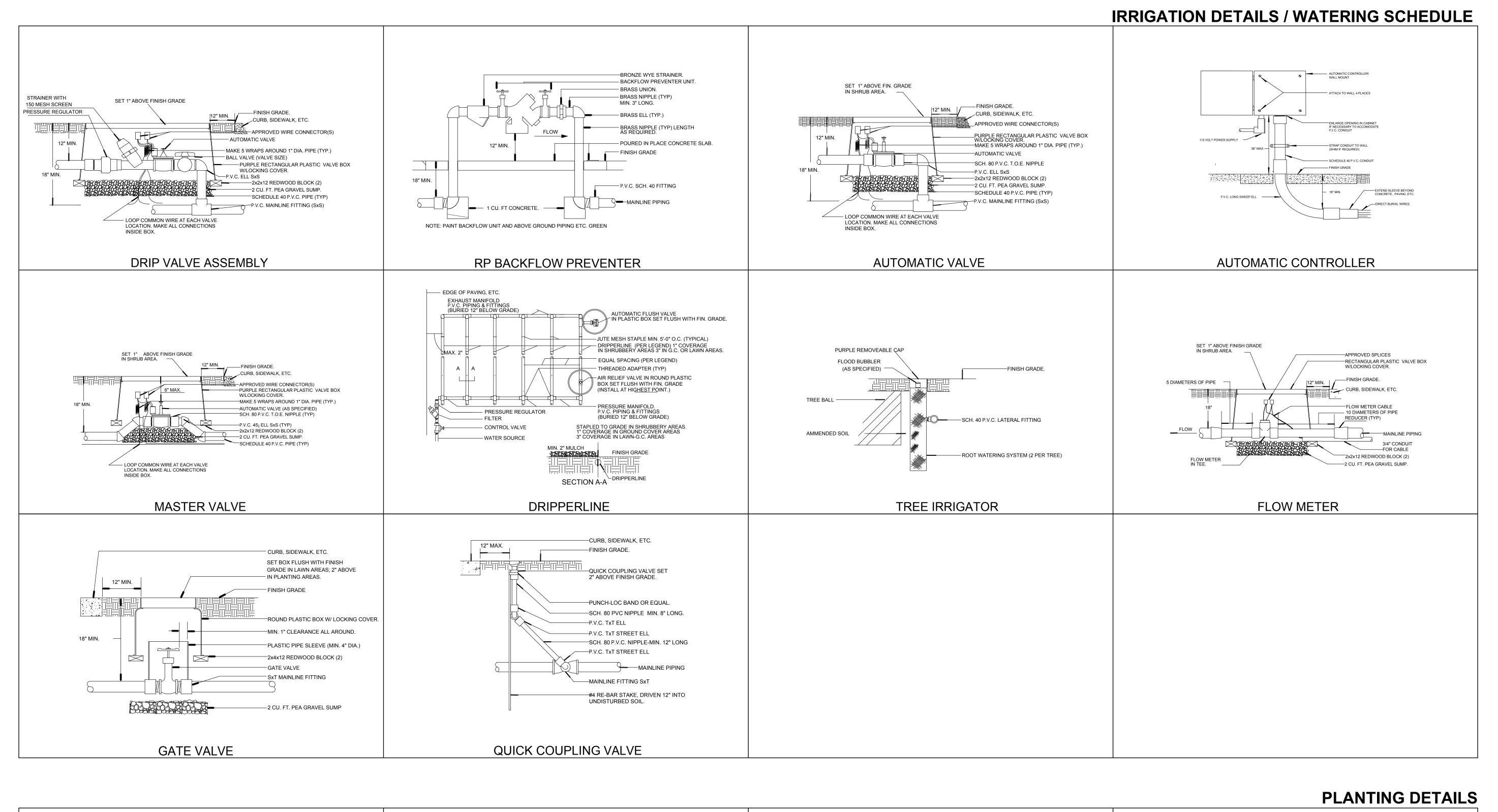
0.0 G.P.M. TO 6.00 G.P.M. 6.1 G.P.M. TO 12.00 G.P.M. 12.1 G.P.M. TO 20.00 G.P.M. /// 1-1/4"

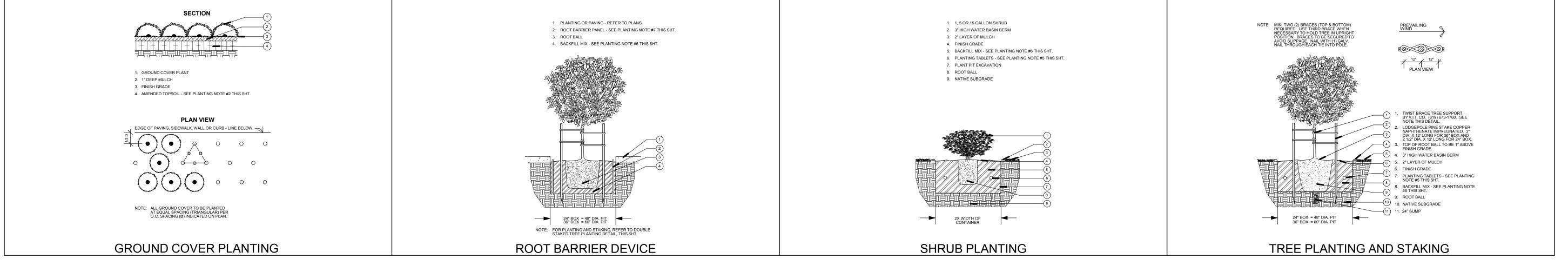
HYDROZONE # (VALVE #)	AREA (SQ. FT.)	SUB-TOTALS AREA (SQ. FT.)	% OF TOTAL LANDSCAPE AREA
(VALVE 1)	07		
,	27		
(VALVE 2)	108		
(VALVE 3)	120	274	93%
(VALVE 4)	19	J	
(VALVE 5)	20	20	7%
TOTAL	294	294	100%

* SEE "WATER EFFICIENT LANDSCAPE CALCULATIONS" ON SHEET L1.

HYDROZONES'

IRRIGATION PLAN





REVISIONS BY

5.6.19

7.29.19

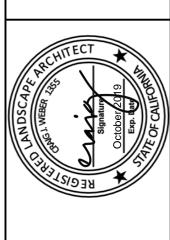
CRAIG WEBER & ASSOCIATES

A LICENSE 1355

HERN CALIFORNIA CONSTRUCTIONS CONSTRUCTION CHICA CA 90278

D. CA 90278

D. BY:



A.P.N. # 4188-010-044

2-UNIT CONDOMINIUM
421 MONTEREY BOULEVARD
HERMOSA BEACH, CA 90254

Pate: APR 2019

Cocale: Not to Scale

Scale: Not to Scale

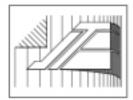
Drawn: KGW

Job: 1482

L3







PROJECT DESCRIPTION: TWO - UNIT CONDOMINIUM FOR SOUTHERN CALIFORNIA CONSTRUCTION 421 MONTEREY BLVD. HERMOSA BEACH, CA

JAN TROBAUGH ARCHITECT ARCHITECTURE AND PLANNING 2400 GARBON ETWEET, BALTE 2300 TORRINGE, COLUTORNA 82001

PUBLIC WORKS STANDARD NOTES

GENERAL CONSTRUCTION NOTES:

- CONSTRUCTION WORK HOURS ARE LIMITED TO 8:00 AM TO 6:00 PM, MONDAY THROUGH FRIDAY. WORK PROHIBITED ON SATURDAYS, SUNDAYS AND NATIONAL HOLIDAYS.
- 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE PLANS, THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ("GREENBOOK"), AND CITY OF HERMOSA BEACH PUBLIC WORKS STANDARD PLANS
- 3. ALL WORK DONE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE BY A LICENSED CONTRACTOR WITH A CLASS A; C-8 OR C-12 LICENSE FOR ALL SIDEWALK, CURB AND GUTTER; C-12 LICENSE FOR ALL STREET PAVEMENT WORK; AND CLASS C-34 LICENSE FOR UTILITY WORK SUCH AS SEWER LATERAL. SEWER CAP AND UNDERGROUND UTILITY WORK IN CONJUNCTION WITH A SINGLE FAMILY RESIDENTIAL STRUCTURE.
- 4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS. PUBLIC WORKS TEMPORARY RIGHT-OF-WAY PERMITS ARE REQUIRED FOR ANY SCAFFOLDING, UTILITY TRENCHING, LUMBER DROPS, CRANES, DUMPSTERS, ETC ON PUBLIC PROPERTY. THE PUBLIC WORKS PERMIT MUST BE ON THE JOB SITE AND AVAILABLE FOR REVIEW BY CITY OFFICIALS AT ALL TIMES. IF ANY WORK HAS BEGUN BEFORE OBTAINING A PERMIT, THE JOB WILL BE STOPPED UNTIL THE PERMIT IS OBTAINED.
- 5. ALL CONTRACTORS WORKING ON PUBLIC WORKS PROJECTS MUST HAVE A CURRENT CITY OF HERMOSA BEACH BUSINESS LICENSE.
- 6. THE CONTRACTOR SHALL CALL IN A LOCATION REQUEST TO UNDERGROUND SERVICE ALERT (USA) AT (800) 227-2600 TWO WORKING DAYS BEFORE PERFORMING ANY DIGGING. SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES THAT A DIGALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID.
- ALL EXCAVATIONS SHALL BE BACKFILLED AT THE END OF EACH WORKING DAY AND ROADS OPENED TO VEHICULAR TRAFFIC UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- 8. CONTACT PUBLIC WORKS FOR INSPECTION AT LEAST 24 HOURS IN ADVANCE INSPECTIONS ARE AVAILABLE MONDAY THROUGH FRIDAY, 8:30 A.M. TO 12:00 A.M. AND 1:00 P.M. TO 4:30 P.M.: OFFICE COUNTER ASSISTANCE IS AVAILABLE FROM 7:00 A.M. TO 8:30 A.M. AND 4:30 P.M. TO 6:00
- 9. ALL FORMS AND COMPACTION SHALL BE INSPECTED PRIOR TO ANY CONCRETE POUR OR ASPHALT BEING PLACED.
- 10. ALL SURVEY POINTS AND MONUMENTS SHALL BE PROTECTED IN PLACE OR RE-ESTABLISHED IF THEY ARE REMOVED OR DESTROYED DURING CONSTRUCTION.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL, DUST CONTROL, AND TEMPORARY DRAINAGE CONTROL AT ALL TIMES.
- 12. ALL CONSTRUCTION TO BE IN CONFORMANCE WITH THE REGULATIONS OF CAL-OSHA.

GENERAL NOTES FOR STREET AND STORM DRAIN IMPROVEMENTS:

- 1. ALL STREET CLOSURES REQUIRE A TRAFFIC CONTROL PLAN TO BE REVIEWED AND APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION. ALL TRAFFIC CONTROL SHALL BE PER THE WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) MANUAL. STREET CLOSURES APPROVED BY THE CITY ENGINEER WILL REQUIRE A MINIMUM OF 48 HOUR NOTICE TO BE POSTED AND DISTRIBUTED WITH PROPER DOOR-HANGERS TO ALL RESIDENCES ON SAME BLOCK. THE CONTRACTOR SHALL ALSO NOTIFY THE DISPATCH CENTER FOR HERMOSA BEACH POLICE AND FIRE DEPARTMENTS AT (310) 524-2750 OF ANY CLOSURES OR RESTRICTIONS IN ACCESS.
- GRAFFITI IN FRESHLY POURED CONCRETE SHALL BE REMOVED BY WHATEVER MEANS NECESSARY UP TO AND INCLUDING REMOVAL AND REPLACEMENT.
- 3. ANY ASPHALT OR CONCRETE PAVEMENT WITHIN THE PROPERTY LIMITS THAT IS DAMAGED PRIOR TO CONSTRUCTION SHALL BE REMOVED AND REPLACED TO MEET CURRENT CITY STANDARDS.
- 4. ANY PUBLIC PROPERTY DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN KIND OR BETTER TO THE SATISFACTION OF THE CITY PUBLIC WORKS INSPECTOR. THE CITY SHALL AT ITS DISCRETION. AND IN THE INTEREST OF PUBLIC SAFETY. MAKE ANY REPAIRS DEEMED NECESSARY: THE COST OF WHICH WILL BE DEDUCTED FROM THE DEPOSIT HELD BY THE CITY.
- 5. ALL EXISTING PAVEMENT TO BE REMOVED SHALL BE SAW-CUT OR WHEEL-CUT AND REMOVED TO CLEAN STRAIGHT LINES.
- 6. AT ALL LOCATIONS WHERE NEW PAVEMENT JOINS EXISTING, THE EXISTING PAVEMENT SHALL BE COATED WITH AN ASPHALTIC EMULSION.

GENERAL NOTES FOR SEWER AND UTILITY IMPROVEMENTS:

- SEPARATION OF SEWER AND WATER FACILITIES SHALL BE IN CONFORMANCE WITH LATEST EDITION OF THE STATE OF CALIFORNIA DEPT OF HEALTH SERVICES.
- 2. SEWER LATERALS SHALL BE CONNECTED TO THE SEWER MAIN WITH WYES.
- 3. THE SEWER LINE SHALL BE TESTED PRIOR TO MAKING PERMANENT SERVICE CONNECTIONS.
- 4. BACKFILL OF TRENCHES SHALL BE DONE IN LIFTS OF NO MORE THAN 8-INCHES WITH WATER AND APPROPRIATE COMPACTION TOOLS USED BETWEEN EACH LIFT. ONE SACK SLURRY MIX CAN BE USED IN PLACE OF NATIVE SOIL. AFTER BACKFILLING THE TRENCH, A TEMPORARY ASPHALT PATCH SHALL BE PLACED OVER THE TRENCH AND REMAIN FOR NO MORE THAN TWO WEEKS. THE FINAL PATCH SHALL BE A MINIMUM OF 5" THICK OR 1" THICKER THAN THE EXISTING PAVEMENT. THE CONTRACTOR SHALL FOLLOW THE LATEST HERMOSA BEACH STANDARD PLANS FOR AC AND P.C.C. PAVEMENT.
- 5. THE FINAL PATCH IN ASPHALT STREETS SHALL BE DONE IN TWO LIFTS, A BASE OF 3" MINIMUM 3/4" AGGREGATE AND A TOP LIFT OF 2" OF 3/8" AGGREGATE. ALL EDGES OF THE CUT ASPHALT TO BE TACKED THOROUGHLY AND THE PATCH COMPACTED BY MECHANICAL MEANS TO A HEIGHT SLIGHTLY HIGHER THAN THE EXISTING ASPHALT AND ALL EDGES TO BE TACKLE.
- 6. THE FINAL PATCH ON CONCRETE STREETS TO BE CLASS 3500 P.S.I (7 SACK), EXISTING CONCRETE TO BE DRILLED TWO AND ONE HALF INCHES (2 ½") BELOW THE SURFACE TO A DEPTH OF 6" MINIMUM AND DOWELLED WITH #5 REBAR ON 18" SPACING. FINISH TO MATCH EXISTING OR
- 7. ALL UTILITY BOXES ARE TO BE ADJUSTED TO THE NEW GRADE. DAMAGED BOXES SHALL BE REPLACED. KEEP ALL UTILITY BOXES OUT OF DRAINAGE FLOW LINES, CURB RETURNS, DRIVEWAY APPROACH AND WHEEL CHAIR RAMPS, UNLESS APPROVED BY THE CITY ENGINEER.

JOB SAFETY REQUIREMENTS:

- . PROPER BARRICADES SHALL BE PLACED AROUND ANY CONSTRUCTION SITE WITHIN THE PUBLIC RIGHT-OF-WAY. THESE BARRICADES SHALL COMPLY WITH THE REQUIREMENTS OF THE WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) MANUAL.
- 2. ALL CONSTRUCTION FENCING SHALL BE BEHIND THE SIDEWALK AND ALL CONSTRUCTION MATERIAL WITHOUT PERMITS ARE TO BE BEHIND THE FENCE. SIDEWALKS ARE TO BE ACCESSIBLE TO PEDESTRIANS AT ALL TIMES.
- 3. NO CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIAL, PORTABLE TOILETS, DUMPSTERS, ETC. SHALL BE LEFT ON THE PUBLIC RIGHT-OF-WAY WITHOUT PROPER PERMITS. THESE OBSTRUCTIONS MUST HAVE PROPER BARRICADES WITH FLASHING YELLOW LIGHTS AFTER DARK
- 4. ANY PUBLIC SIDEWALK DAMAGED TO THE POINT OF CAUSING A TRIP HAZARD MUST BE REPAIRED IMMEDIATELY. THE PANEL OF CONCRETE SHALL BE REMOVED AND PATCHED WITH A TEMPORARY ASPHALT PATCH AND MUST BE KEPT IN GOOD REPAIR UNTIL THE PERMANENT SIDEWALK IS CONSTRUCTED.
- 5. ALL VEHICLES THAT INTRUDE INTO A NORMAL TRAFFIC LANE MUST HAVE PROPER SIGNAGE AND BARRICADES AS REQUIRED BY THE (WATCH) MANUAL.
- 6. ALL WORK VEHICLES ARE SUBJECT TO ALL APPLICABLE PARKING RESTRICTIONS.
- 7. FLAGMEN ARE REQUIRED FOR ANY VEHICLES THAT BLOCK THE TRAVEL LANE AND REQUIRE TRAFFIC TO USE THE OPPOSING LANE TO PASS.

WATER QUALITY REQUIREMENTS:

- 1. 1PRECAUTIONS SHALL BE TAKEN TO PREVENT ANY CONSTRUCTION MATERIAL DEBRIS OR RUNOFF FROM ENTERING ANY PUBLIC RIGHT-OF-WAY OR COUNTY STORM DRAIN. ALL SAW CUT RESIDUE MUST BE RETAINED WITH BERMS OR SANDBAGS AND VACUUMED TO PREVENT IT FROM ENTERING INTO ANY STORM DRAIN SYSTEM.
- 2. SANDBAGS ARE REQUIRED FOR EROSION CONTROL DURING THE RAINY SEASON, OCTOBER 15TH THROUGH APRIL 15TH, AND MAY BE REQUIRED AT OTHER TIMES. SANDBAGS ARE REQUIRED AT NEARBY CATCH BASINS DURING CONSTRUCTION. SANDBAGS SHALL BE MAINTAINED AND IN GOOD CONDITION AT ALL
- 3. MAKE SURE BROKEN PAVEMENT DOES NOT COME IN CONTACT WITH RAINFALL OR RUNOFF.
- 4. SHOVEL OR VACUUM SAW-CUT SLURRY AND REMOVE FROM THE SITE. FOR DISPOSAL INFORMATION CONTACT THE L.A. COUNTY DEPARTMENT OF PUBLIC WORKS AT 800-552-5218.
- 5. COVER OR BARRICADE STORM DRAIN OPENINGS DURING SAW-CUTTING.
- 6. DURING CONSTRUCTION:
- PROTECT CATCH BASINS AND MAINTENANCE HOLES WHEN APPLYING SEAL COAT, SLURRY SEAL, FOG
- SEAL, ETC. USE CHECK DAMS, DITCHES OR BERMS TO DIVERT RUNOFF AROUND EXCAVATIONS.
- COLLECT AND RECYCLE EXCESS ABRASIVE GRAVEL OR SAND.
- AVOID OVER-APPLICATION BY WATER TRUCKS FOR DUST CONTROL
- NEVER HOSE DOWN "DIRTY" PAVEMENT OR SURFACES. CLEAN UP ALL SPILLS AND LEAKS USING "DRY" METHODS (WITH ABSORBENT MATERIALS AND /OR RAGES), OR DIG UP AND REMOVE CONTAMINATED SOIL. FOR DISPOSAL INFORMATION CALL (800) 552-5218.
- CATCH DRIPS FROM PAVER WITH DRIP PANS OR ABSORBENT MATERIAL (CLOTH, RAGS, ETC.) PLACED UNDER MACHINE WHEN NOT IN USE.

PROJECT DESCRIPTION:

2-UNIT CONDOMINIUM (2 CAR GARAGE EACH + 1 GUEST PARKING) LOT AREA: 3,001 SF.

DRAINAGE NOTE: PROVISIONS FOR CONTRIBUTORY DRAINAGE SHALL BE MADE AT ALL TIMES.

GRADING NOTES:

TOTAL IMPORT SOILS:

- 1. HAUL ROUTE MUST BE APPROVED BY ENGINEERING SERVICES. SEE CITY'S APPROVED ROUTE ON VICINITY MAP HEREIN.
- 2. OFFSITE GRADING APPROVAL MUST BE OBTAINED IN WRITING.
- 3. BORROW OR DISPOSAL SITE MUST BE PERMITTED & BONDED (IF WITHIN CITY) AND PERMITTED.

PROJECT CUBIC YARDAGE DATA

1,500 CUBIC YARDS ± TOTAL CUT SOILS: TOTAL FILL SOILS: 0 CUBIC YARDS ± TOTAL EXPORT SOILS: 1,500 CUBIC YARDS ±

 CONTRACTOR IS RESPONSIBLE FOR COMPLETING HIS OWN CUT AND FILL CALCULATIONS. VOLUMES SHOWN ARE FOR OWNERS PLANNING PURPOSES ONLY AND NO GUARANTEE IS EXPRESSED OR IMPLIED REGARDING THEIR ACCURACY.

OWNER'S INFORMATION

SOUTHERN CALIFORNIA CONSTRUCTION C/O. BRYAN ARIANPOUR P.O. BOX 2284 REDONDO BEACH, CA 90278 PH: (310) 809-8761 ARIANO01@VERIZON.NET

PH: (310) 308-2582 ARCHJET@AOL.COM

CONSULTANT LIST:

ARCHITECT
JAN TROBAUGH ARCHITECT

HAUL ROUTE

<u>SURVEYOR</u> DENN ENGINEERS 3914 DEL AMO BLVD, SUITE 921, TORRANCE, CA 90503 PH: (310) 542-9433.

2420 W CARSON STREET, SUITE 225, TORRANCE CA 90501

<u>CIVIL ENGINEER</u> PERU CONSULTANTS, LLP 1976 W 234TH STREET, TORRANCE, CA 90501 PH: (310) 270-0811

REGIONAL MAP

LOS ANGELES

VICINITY MAP

25TH ST

20TH ST

18TH ST

OAKST OAKST

19TH ST ଲିස්

24TH PL 24TH ST

11TH ST

10TH ST

PROJECT LOCATION

35TH PL 34TH ST 34TH ST

33RD ST 33RD PL

31ST PL 30TH ST

26TH ST

E 30THPL 29TH ST

29TH CT

27TH ST

21ST ST

21ST CT

20TH ST

20TH CT

19TH ST

19TH CT

5 17TH CT

16TH CT 15TH ST

15TH CT

13TH ST

13TH CT

11TH ST 11TH CT

10TH CT 9TH ST

9TH CT

6TH CT

5TH ST

5TH CT

3RD ST

4TH CT

3RD CT

4TH ST

2ND ST

1ST ST

10TH ST

14TH ST 14TH CT

16TH ST

18TH ST 18TH CT

32ND PL 31ST ST

LAKEWOOD

NOT TO SCALE

LONG BEACH

🤼 City of Hermosa Beach

Truck Routes

17TH ST

8TH ST

6TH ST

1ST ST

CITY OF HERMOSA BEACH

RECOMMENDED FOR PERMIT ISSUANCE:

15TH PL

14TH ST

10TH ST ਨੇ

4TH ST

8TH PL

6TH ST

ੜ੍ਹੋ 51H ST

1ST ST

15TH ST

MANHATTAN BEACH

HERMOSA BEACH

REDONDO BEACH

|PROJECT LOCATION|

SOILS ENGINEER: NORCAL ENGINEERING 10641 HUMBOLDT STREET, LOS ALAMITOS, CA 90720 PH: (562) 799-9469

SHEET INDEX

TITLE SHEET C-0

GRADING & DRAINAGE PLAN

PUBLIC IMPROVEMENTS C-2

DETAILS C-3

DRIVEWAY PROFILE AND SECTIONS C-5 EROSION CONTROL PLAN

PROPERTY INFORMATION:

APN: 4188-010-044

LOT# 31, TRACT# 1074

LATITUDE & LONGITUDE: 33°51'25.5"N 118°23'49.1"W

PROPERTY TYPE: 2-UNIT CONDOMINIUM

LOT SIZE: 3,001 SF

SITE ADDRESS: 421 MONTEREY BLVD, HERMOSA BEACH, CA 90254

LID INFORMATION

SOIL INFILTRATION RATE: 120 IN/HR.

SOIL TYPE: SILTY SAND

BMP TYPE: INFILTRATION

TOTAL DRAINAGE AREA (ACRES): 0.168 ACRES

IMPERVIOUS AREA: 2,801 SF PERVIOUS AREA: 200 SF PDESIGN: 0.80 IN

CATCHMENT AREA (SF) = IMPERVIOUS AREA (SF)*0.9 + PERVIOUS AREA (SF)*0.1

SWQDV (CF) = CATCHMENT AREA (SF)*PDESIGN*0.083(FT/IN)

CATCHMENT AREA (SF) = 2,541 SF SWQDV (CF) = 169 CF

STORAGE CAPACITY (CUBIC FEET): 172 CF (14 TRIPLE ECORAIN TANKS)

STORM WATER QUALITY DESIGN VOLUME (CUBIC FEET): 169 CF

GEOTECHNICAL ENGINEERING CONSULTANT STATEMENT

THE UNDERSIGNED GEOTECHNICAL ENGINEERING HAVE REVIEWED THESE PLANS, AND FOUND THEM TO BE IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDELINES OF NORCAL ENGINEERING'S GEOTECHNICAL REPORTS DATED <u>02/28/2019</u>, PROJECT No. <u>20992-19</u>.

DATE

BY NORCAL ENGINEERING

GEOTECHNICAL ENGINEER: KEITH D. TUCKER

INVERT ELEVATION

PROPERTY CORNER

POWER POLE

RIM ELEVATION

STORM DRAIN

TOP OF CURB

TOP OF FOOTING

TELEVISION PULL BOX

TOP OF GRATE

TOP OF WALL

TOP OF TANK

FILE NUMBER

TYPICAL

POINT OF CONNECTION

ABBREVIATIONS:

ELEVATION

ELECTRICAL METER

FINISH FLOOR

FINISH SURFACE

FINISH GRADE

GTE PULLBOX

GRADE BREAK

HEIGHT

HIGH POINT

GAS METER

FLOW LINE

BOTTOM OF BASIN ELEVATION

CATCH BASIN WITH FILTER INSERT DOWNSPOUT EXISTING

R.G.E 841

____SS____ 4" DIA. PVC SDR-35 SANITARY SEWER PIPE

LEGEND:

- 4 DIA. PVC SCH 40 PERFORATED PIPE

_____L LIMIT OF NEW PAVING

POINT OF CONNECTION

GRASS/LANDSCAPE SURFACE CONCRETE PAVING

SURFACE

79.50 FS PROPOSED ELEVATION

(79.50)FS **EXISTING ELEVATION**

PUBLIC WORKS DEPARTMENT | PRIVATE IMPROVEMENT PLANS | 19011-CIVIL

421 MONTEREY BLDV CIVIL PLANS

TITLE SHEET

SHT. $\frac{1}{1}$ OF $\frac{6}{1}$

BENCH MARK:

L&T LS 7081 ELEVATION: 100.00 KEE KEYNOTE (5) ON C-1.



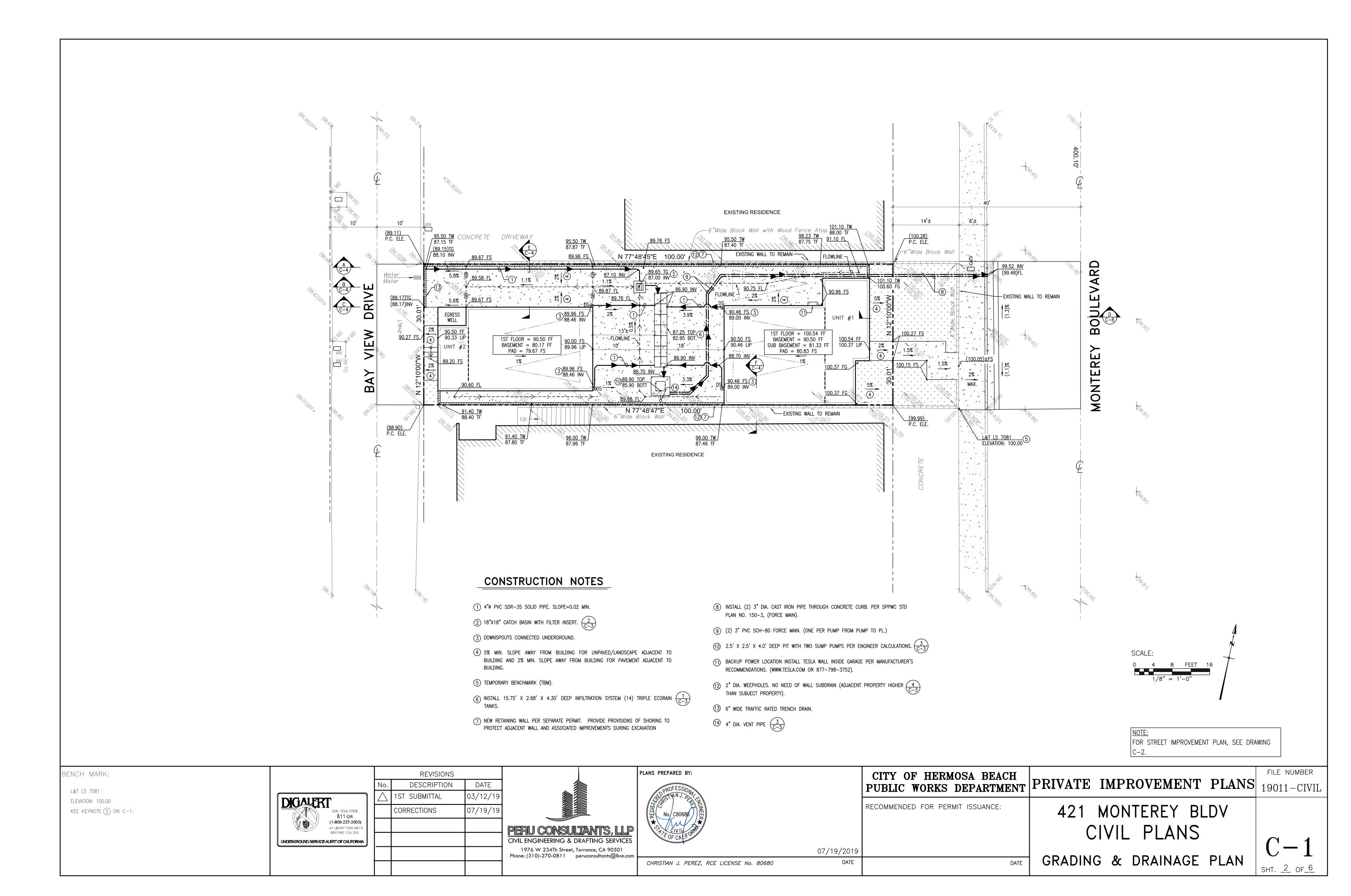
REVISIONS **DESCRIPTION** DATE 03/12/1 1ST SUBMITTAL 07/19/19 CORRECTIONS

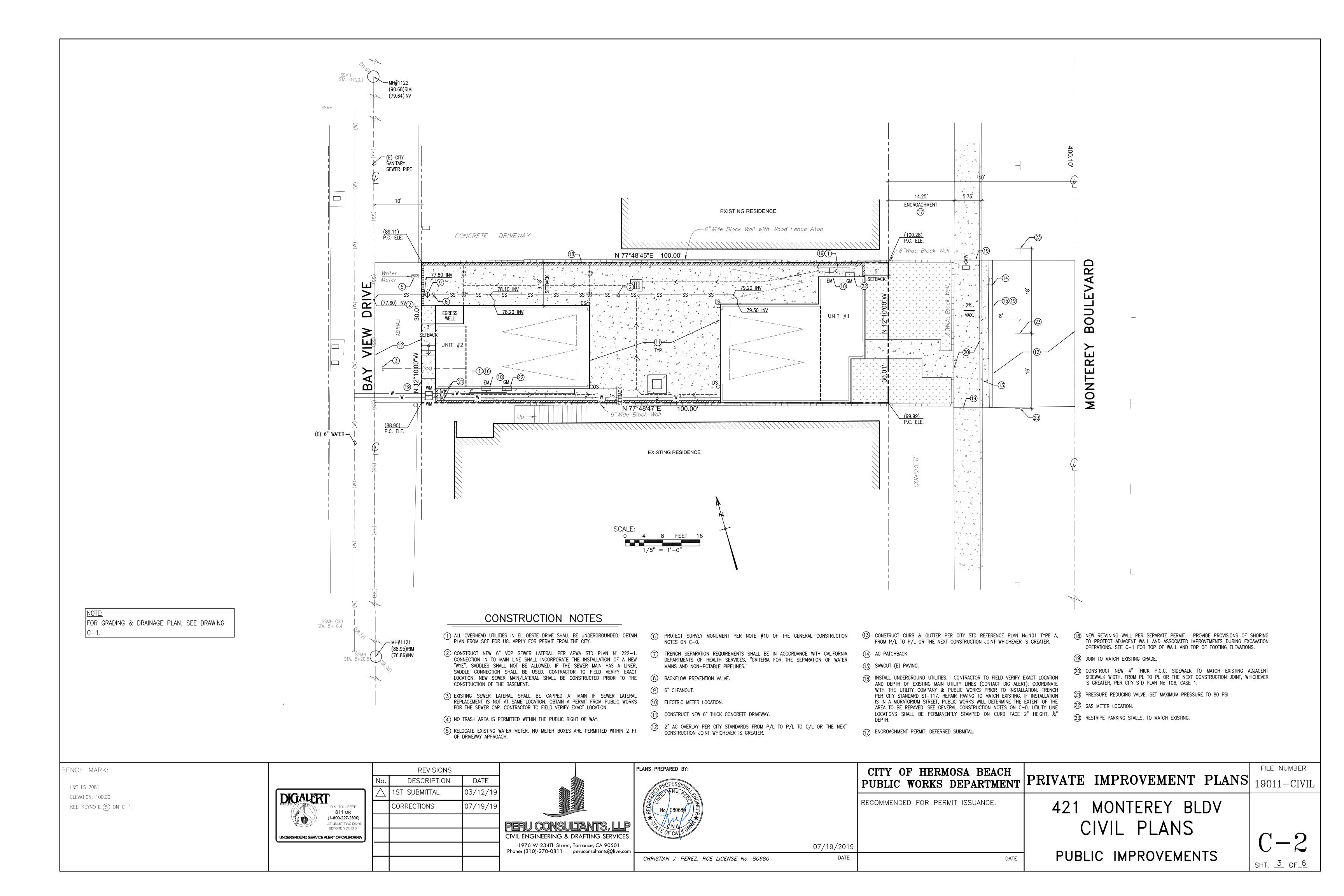
PERU CONSULTANTS, LL CIVIL ENGINEERING & DRAFTING SERVICES 1976 W 234Th Street, Torrance, CA 90501 Phone: (310)-270-0811 peruconsultants@live.com

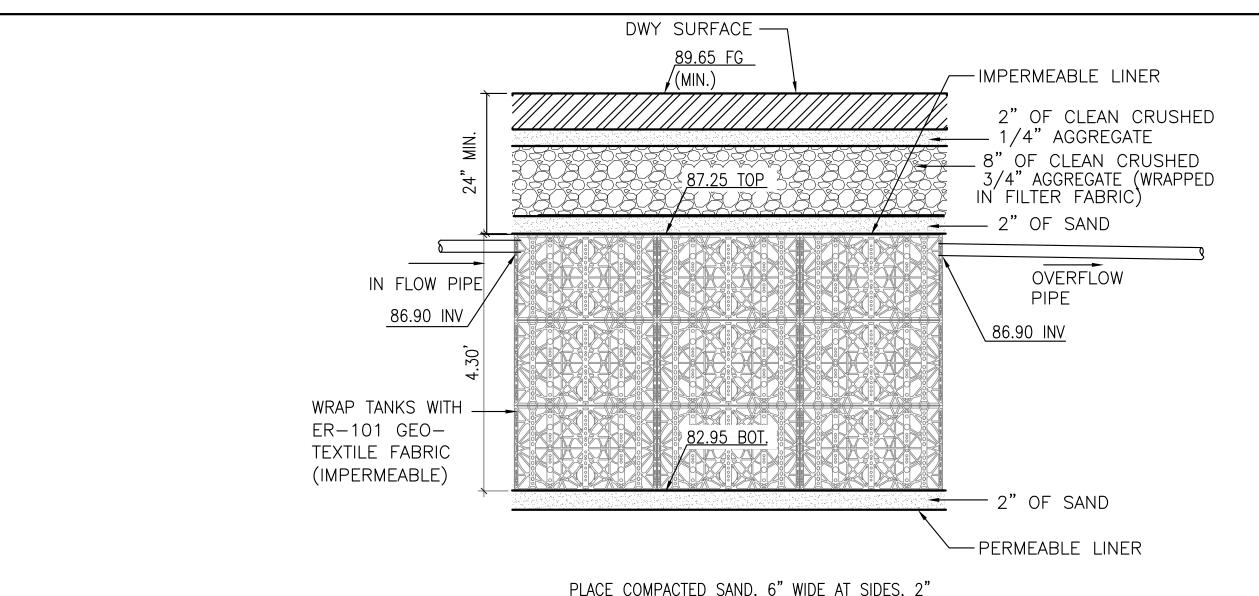
O CUBIC YARDS ±

PLANS PREPARED BY:

07/19/2019 DATE DATE CHRISTIAN J. PEREZ, RCE LICENSE No. 80680







SEE PLAN FOR DIMENSIONS.

THICK AT TOP AND BOTTOM OF TANKS

INSTALLATION REQUIREMENTS:

- 1. EXCAVATE TRENCH LARGER THAN SPECIFIED TANK SIZE.
- 2. COMPACT BASE TO 35 PSI.
- 3. ADD SAND TO BASE, COMPACT AND LEVEL WITH A STRAIGHT EDGE.
- 4. LAY GEOTEXTILE MATERIAL IN BOTTOM AND ON SIDES OF TRENCH, ENOUGH TO FULLY WRAP TANK, WITH 12" SEAM OVERLAPS.
- 5. INSTALL TANKS UPRIGHT FOR MAXIMUM STRENGTH.
- 6. COVER ECORAIN TANKS WITH GEOTEXTILE MATERIAL-WRAP TIGHT, CUT AWAY EXCESS FOLDS, OVERLAP AND/OR SEAL JOINTS WITH TAPE.
- 7. BACKFILL SIDES WITH SANDY FILL IN MAXIMUM 12" LAYER-COMPACTING EACH LAYER AT LEAST 95%.
- 8. BACKFILL OVER TOP WITH 2" CLEAN SAND AND 10" MINIMUM TOP SOIL (40% SAND, 40% ORGANIC MATTER) AS SHOWN.

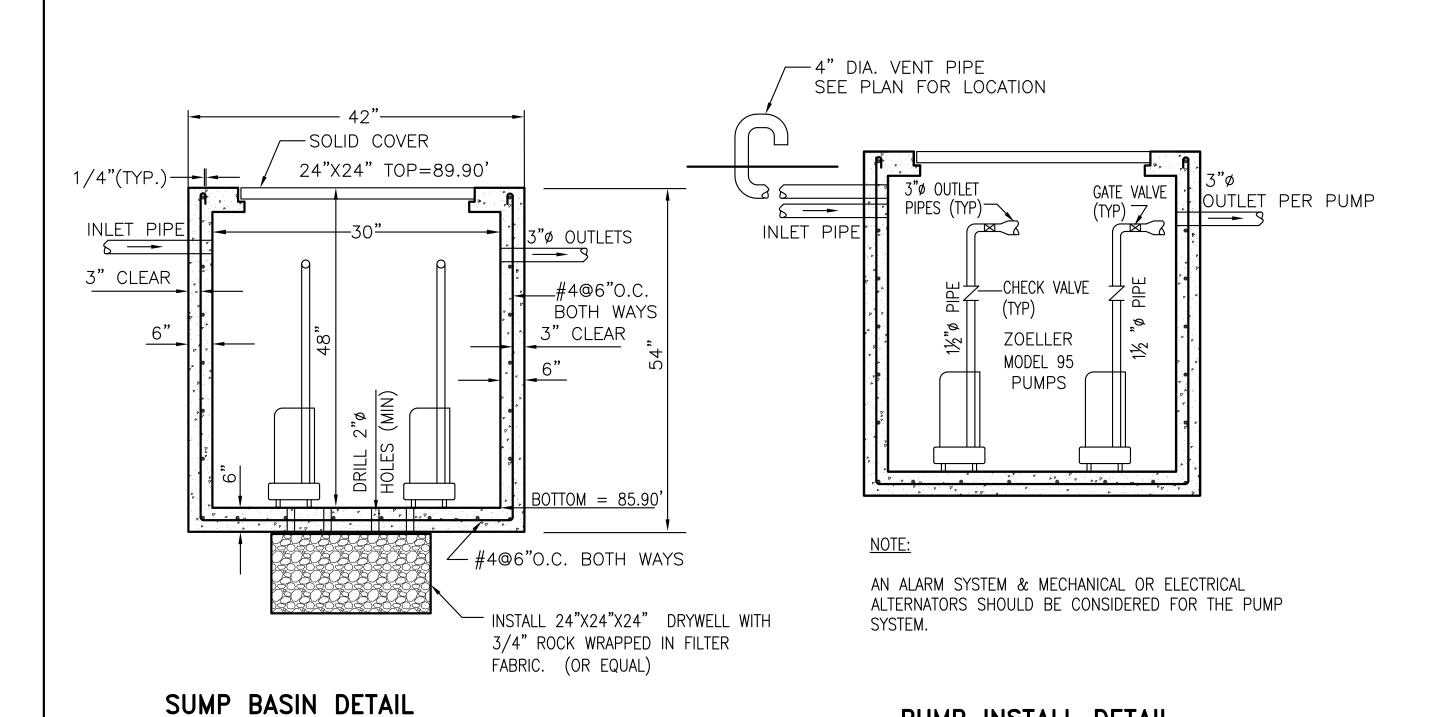
NOTE:

CONTACT STORMWATER SOLUTIONS REGARDING INSTALLATION.

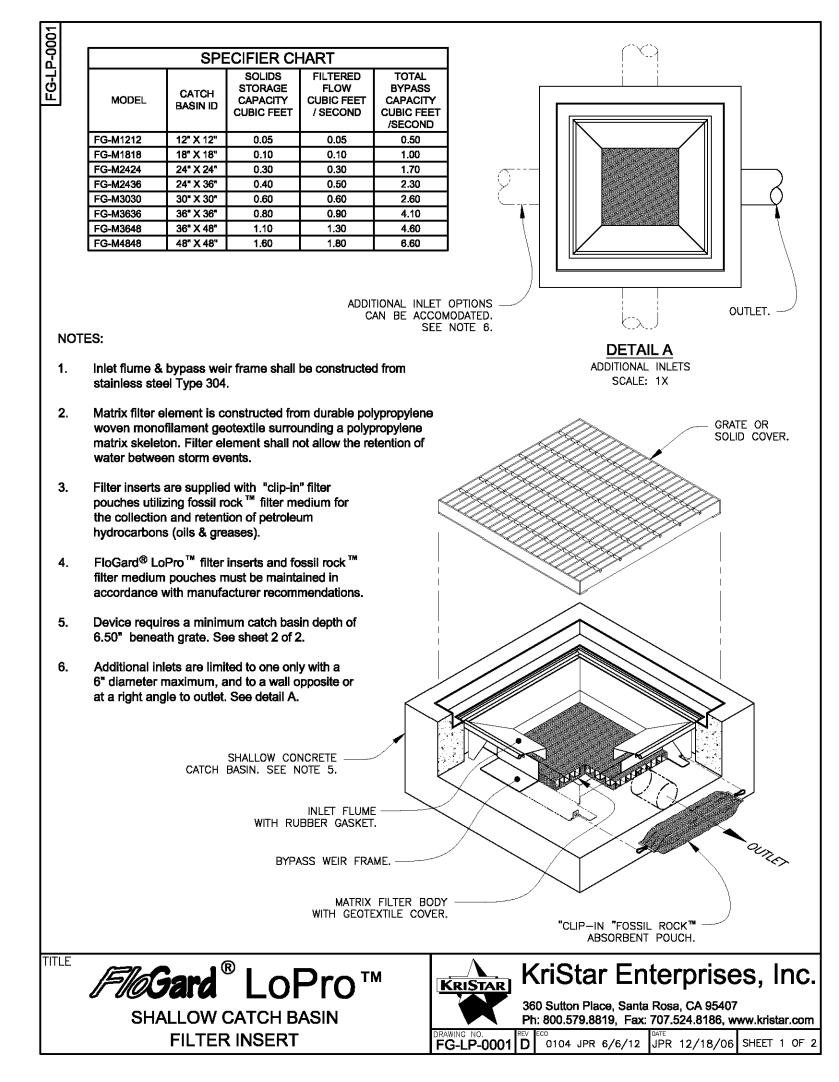
ECORAIN TANKS

NOT TO SCALE





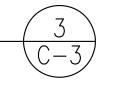
TOP OF WALL (TW) -- NEIGHBOR'S GRADE 2" DIA. WEEP HOLES — @ 5' O.C. MIN. **EXPANSION JOINT** TOP OF FOOTING (TF)



NOTE: 1. USE FG-M1212. 2. INFLOW PIPE TO CATCH BASIN FILTER IS ABOVE FILTER MEDIA TO ENSURE FLOW IS FILTERED PRIOR TO DISCHARGE INTO

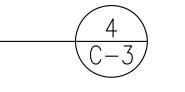
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WEEPHOLE DETAIL

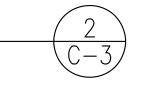
NOT TO SCALE



SHALLOW CATCH BASIN FILTER INSERT

NOT TO SCALE

DATE



FILE NUMBER

ENCH MARK:	
L&T LS 7081	
ELEVATION: 100.00	DIGALERT
KEE KEYNOTE (5) ON C-1.	DIAL TOLL FREE 811 OR (1-800-227-260 AT LEAST TWO DI BEFORE YOU DI
	UNDERGROUND SERVICE ALERT OF CALIFOR

			REVISIONS					
		No.	DESCRIPTION	DATE				
GALER	r	\triangle	1ST SUBMITTAL	03/12/19				
	DIAL TOLL FREE 811 OR		CORRECTIONS	07/19/19				
	(1-800-227-2600) AT LEAST TWO DAYS							
RGROUND SERVICE	BEFORE YOU DIG				CIVIL EN			
					1 <i>976</i> Phone: (31			

PUMP INSTALL DETAIL



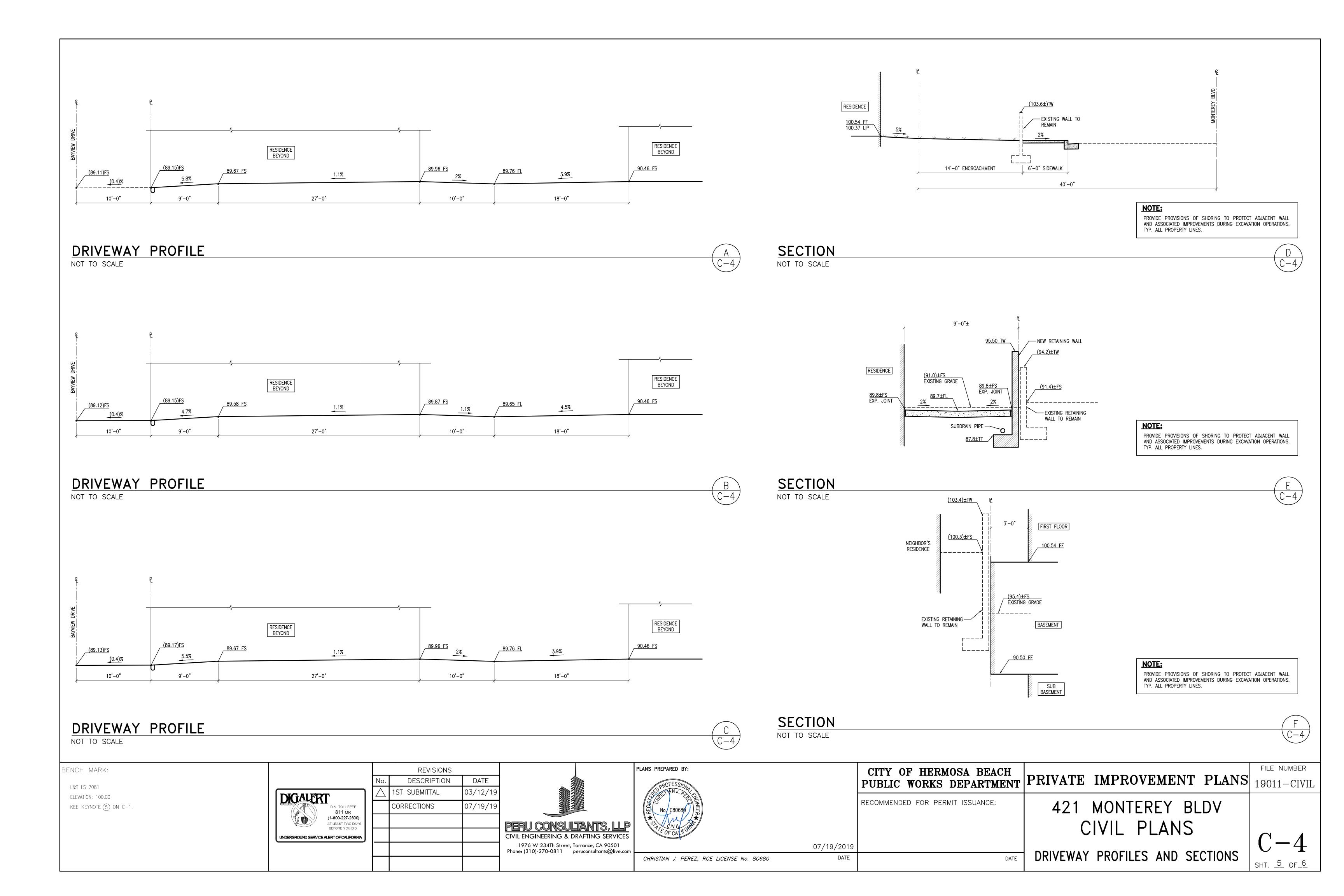
PLANS PREPARED BY:	
No. C80680 REFRANCE OF CALFOR CALFORNAL CONTRACTOR CALFORNAL CONTRACTOR CALFORNAL CALF	07/10/0010
	07/19/2019
CHRISTIAN J. PEREZ, RCE LICENSE No. 80680	DATE

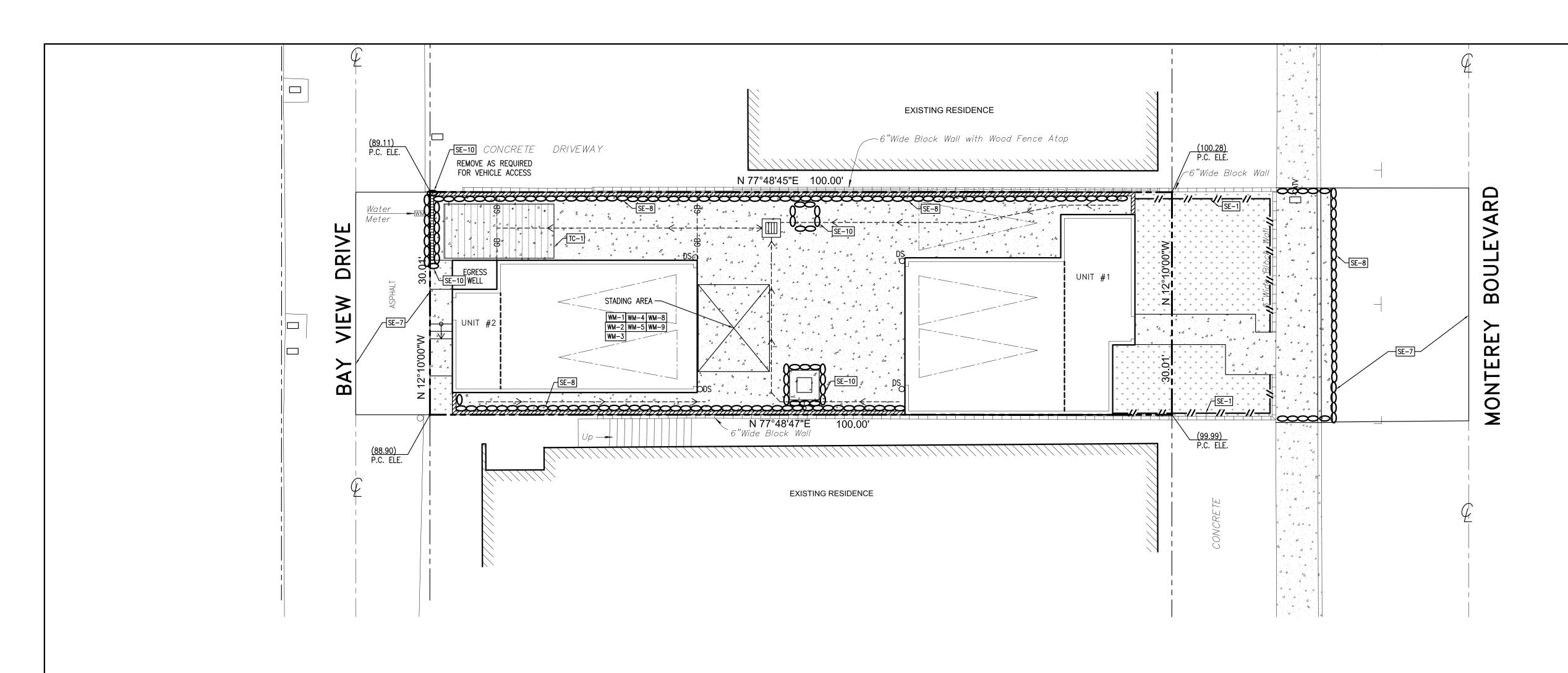
CITY OF HERMOSA BEACH PUBLIC WORKS DEPARTMENT	[ין
RECOMMENDED FOR PERMIT ISSUANCE:	

PRIVATE IMPROVEMENT PLANS	19011-CIVIL
421 MONTEREY BLDV	
CIVIL PLANS	C-3

DETAILS

SHT. <u>4</u> OF <u>6</u>





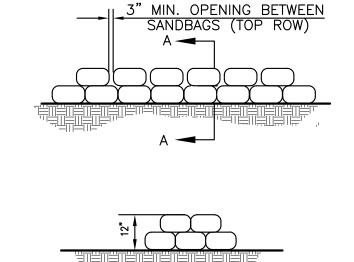
OCEAN, LAKE AND RIVER POLLUTION PREVENTION

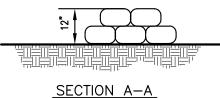
IT IS UP TO US. RAIN WATER OR URBAN RUN OFF MIXES WITH URBAN POLLUTANTS CREATES STORMWATER POLLUTION. THE POLLUTANTS INCLUDE: OIL AND OTHER AUTOMOTIVE FLUIDS, PAINT AND CONSTRUCTION DEBRIS, YARD AND PET WASTES, PESTICIDES AND LITTER. THE FOLLOWING BEST MANAGEMENT PRACTICES (BMP'S) WILL INSURE A CLEANER OCEAN AND CITY.

- 1. GENERAL BUSINESS PRACTICES
- A. KEEP MATERIALS OUT OF THE RAIN. STORE THEM UNDER COVER, WITH TEMPORARY ROOFS OR PLASTIC SHEETS, PROTECTED FROM
- RAINFALL, RUNOFF AND THE WIND. B. SCHEDULE EXCAVATION AND GRADING WORK FOR DRY WEATHER.
- C. DEVELOP AND IMPLEMENT EROSION AND SEDIMENT CONTROL PLANS FOR EMBANKMENTS.
- 2. EQUIPMENT MAINTENANCE
- A. MAINTAIN ALL VEHICLES AND HEAVY EQUIPMENT. INSPECT FREQUENTLY FOR LEAKS.
- B. CONDUCT ALL VEHICLE/EQUIPMENT MAINTENANCE AND REFUELING AT ONE LOCATION AWAY FROM STORM DRAINS. C. PERFORM MAJOR EQUIPMENT/VEHICLE REPAIRS AND WASHING WHERE IT IS PERMITTED.
- D. DO NOT USE DIESEL OIL TO LUBRICATE OR CLEAN EQUIPMENT OR PARTS.
- 3. ASPHALT AND CONCRETE REMOVAL
- A. AFTER BREAKING UP PAVING, BE SURE TO REMOVE ALL CHUNKS AND PIECES. RECYCLE THEM AT A CRUSHING COMPANY. USE THE REFERRAL NUMBERS LISTED BELOW.
- B. DISPOSE OF SMALL AMOUNTS OF DRY CONCRETE IN THE TRASH.
- C. MAKE SURE BROKEN PAVEMENT DOES NOT COME IN CONTACT WITH RAINFALL OR RUNOFF.
- D. SHOVEL OR VACUUM SAW-CUT SLURRY AND REMOVE FROM THE SITE. FOR DISPOSAL INFORMATION CONTACT THE L.A. COUNTY DEPARTMENT OF PUBLIC WORKS AT 800-552-5218.
- E. COVER OR BARRICADE STORM DRAIN OPENINGS DURING SAW-CUTTING.
- 4. ASPHALT AND CONCRETE DISPOSAL OPTIONS
- A. USE A CRUSHING COMPANY LIKE THOSE LISTED BELOW TO RECYCLE CEMENT, ASPHALT AND PORCELAIN RATHER THAN TAKING THEM
- BLUE DIAMOND, SOUTH GATE, 800-300-6120
- COPP CRUSHING, ANAHEIM, TEMECULA, CHINO AND SANTA FE SPRINGS, 310-802-2141 - RJ NOBLE, SANTA ANA, 714-637-1550
- 5. DURING CONSTRUCTION
- A. COVER CATCH BASINS AND MAINTENANCE HOLES WHEN APPLYING SEAL COAT, SLURRY SEAL, FOG SEAL, ETC.
- B. USE CHECK DAMS, DITCHES OR BERMS TO DIVERT RUNOFF AROUND EXCAVATIONS. C. NEVER WASH MATERIALS FROM EXPOSED AGGREGATE CONCRETE, ASPHALT, OR SIMILAR TREATMENTS INTO A STREET,
- D. GUTTER OR STORM DRAIN. COLLECT AND RECYCLE, OR LEGALLY DISPOSE OF. E. COLLECT AND RECYCLE EXCESS ABRASIVE GRAVEL OR SAND.
- F. AVOID OVER-APPLICATION BY WATER TRUCKS FOR DUST CONTROL.

6. SPILLS

- A. NEVER HOSE DOWN "DIRTY" PAVEMENT OR SURFACES. CLEAN UP ALL SPILLS AND LEAKS USING "DRY" METHODS (WITH ABSORBENT MATERIALS AND/OR RAGS), OR DIG UP AND REMOVE CONTAMINATED SOIL. FOR DISPOSAL INFORMATION, CALL (800)
- B. CATCH DRIPS FROM PAVER WITH DRIP PANS OR ABSORBENT MATERIAL (CLOTH, RAGS, ETC.) PLACED UNDER MACHINE WHEN NOT IN





SE-8 SANDBAG BARRIER

NOT TO SCALE

MATERIAL STORAGE:

- 1. DIRT AND OTHER CONSTRUCTION RELATED MATERIALS PLACED IN THE STREET OR ON OTHER IMPERVIOUS SURFACES MUST BE CONTAINED WITH SANDBAGS OR OTHER MEASURES TO PREVENT TRANSPORT TO THE STORMDRAIN SYSTEM.
- 2. ANY CONSTRUCTION MATERIAL STORED OR STOCKPILED ON-SITE SHALL BE PROTECTED FROM BEING TRANSPORTED BY THE FORCE OF WIND OR WATER.

4 8 FEET 16 — PERMEABLE GEOTEXTILE FILTER STOCKPILED MATERIAL SANDBAGS 2 HIGH SANDBAGS PLACE TIGHTLY TOGETHER ALL AROUND MATERIAL

WM-3 STOCKPILE MANAGEMENT NOT TO SCALE

SE-10 INLET PROTECTION NOT TO SCALE

BMP SELECTION AND LEGEND:

BMP'S SPECIFIED ON THIS PLAN REFERENCE THE NOVEMBER 2009 EDITION OF CASQA "CALIFORNIA STORMWATER HANDBOOK". IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN BMP DETAILS AVAILABLE AT WWW.CAQA.ORG.

THE FOLLOWING BMP'S ARE NOT SHOWN IN SPECIFIC LOCATIONS ON THIS PLAN AND ARE APPLICABLE TO THE PROJECT. THE CONTRACTOR SHALL INCORPORATE THESE BMP'S INTO THE PROJECT SCOPE:

PROJECT SCHEDULE

PRESERVATION OF EXISTING VEGETATION

WATER CONSERVATION

PAVING AND GRINDING

DISCHARGE REPORTING

POTABLE WATER/IRRIGATION

VEHICLE CLEANING

VEHICLE FUELING

WIND EROSION CONTROL

THE FOLLOWING BMP'S ARE SPECIFIED ON THIS PLAN:

VEHICLE MAINTENANCE

SILT FENCE

SANDBAG BARRIER

INLET PROTECTION

STABILIZED CONSTRUCTION ENTRANCE/ EXIT

STREET SWEEPING AND VACUUMING

THE FOLLOWING BMP'S SHALL BE USED IN THE CONTRACTOR STAGING AREA:

MATERIAL STORAGE

MATERIAL USAGE

STORAGE MANAGEMENT

SPILL PREVENTION KIT

SOLID WASTE (TRASH)

CONCRETE WASTE (WASHOUT)

SEPTIC/SANITARY FACILITIES

DEWATERING NOTES:

- 1. UTILIZE APPROPRIATE DEWATERING SYSTEMS AND TECHNIQUES TO MAINTAIN THE EXCAVATED AREA SUFFICIENTLY DRY FROM GROUNDWATER AND/OR SURFACE RUNOFF SO AS NOT TO ADVERSELY AFFECT CONSTRUCTION PROCEDURÉS OR CAUSE EXCESSIVE DISTURBANCE OF UNDERLYING NATURAL GROUND.
- 2. PROVIDE AND STORE AUXILIARY DEWATERING EQUIPMENT ON THE SITE IN THE EVENT OF BREAKDOWN. PROVIDE NON-WOVEN FILTER FABRIC WHERE REQUIRED FOR UNDERDRAIN SYSTEMS. THE NON-WOVEN FILTER FABRIC SHALL BE SPECIFICALLY DESIGNED FOR SUBSURFACE DRAINAGE APPLICATIONS.
- 3. WATER FROM THE TRENCHES AND EXCAVATIONS SHALL BE DISPOSED OF IN SUCH A MANNER AS TO AVOID PUBLIC NUISANCE, INJURY TO PUBLIC HEALTH OR THE ENVIRONMENT, DAMAGE OR PUBLIC OR PRIVATE PROPERTY, OR DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR DAMAGE TO THE WORK COMPLETED OR IN PROGRESS. DO NOT DISCHARGE WATER INTO ANY SANITARY SEWER SYSTEM. SILTATION BARRIERS SHALL BE UTILIZED AS NECESSARY.
- 4. WATER FROM TRENCHES AND EXCAVATIONS SHALL NOT BE DISCHARGED DIRECTLY TO STORM DRAIN SYSTEMS. PROPER TREATMENT TO A SEDIMENTATION AREA IS TO TAKE PLACE PRIOR TO DISCHARGE TO ANY DRAINAGE SYSTEMS.
- 5. THE CONTRACTOR SHALL REPAIR ANY DAMAGE RESULTING FROM THE FAILURE OF THE DEWATERING OPERATIONS OR FROM FAILURE TO MAINTAIN ALL THE AREAS OF WORK IN SUITABLE DRY CONDITION.
- 6. PRECAUTIONS SHALL BE TAKEN TO PROTECT NEW WORK FROM FLOODING DURING STORMS OR FROM OTHER CAUSES. GRADING IN THE AREAS SURROUNDING ALL EXCAVATIONS SHALL BE PROPERLY SLOPED TO PREVENT WATER FROM RUNNING INTO THE EXCAVATED AREA OR TO ADJACENT PROPERTIES. WHERE REQUIRED, TEMPORARY DITCHES SHALL BE PROVIDED FOR DRAINAGE. UPON COMPLETION OF THE WORK AND WHEN DIRECTED, ALL AREAS SHALL BE RESTORED IN A SATISFACTORY MANNER AND AS
- 7. ALL PIPELINES OR STRUCTURES NOT STABLE AGAINST UPLIFT DURING CONSTRUCTION OR PRIOR TO COMPLETION SHALL BE THOROUGHLY BRACED OR OTHERWISE PROTECTED.
- 8. DO NOT EXCAVATE UNTIL THE DEWATERING SYSTEM IS OPERATIONAL AND THE EXCAVATION MAY PROCEED WITHOUT DISTURBANCE TO THE FINAL SUBGRADE.
- 9. UNLESS OTHERWISE SPECIFIED, CONTINUE DEWATERING UNINTERRUPTED UNTIL THE STRUCTURES, PIPES, AND APPURTENANCES TO BE BUILT HAVE BEEN PROPERLY INSTALLED. WHERE SUBGRADE MATERIALS ARE UNABLE TO MEET THE SUBGRADE DENSITY REQUIREMENTS DUE TO IMPROPER DEWATERING TECHNIQUES, REMOVE AND REPLACE THE MATERIALS AS DIRECTED BY THE INSPECTOR.

BENCH MARK: L&T LS 7081	No.	REVISIONS DESCRIPTION 1ST SUBMITTAL	DATE 03/12/19		PLANS PREPARED BY:	CITY OF HERMOSA BEACH PUBLIC WORKS DEPARTMENT	PRIVATE IMPROVEMENT PLANS	FILE NUMBER 19011-CIVIL
ELEVATION: 100.00 KEE KEYNOTE 5 ON C-1. DIGALERT DIAL TOLL FREE 811 OR (1-800-227-2600) AT LEAST TWO DAYS BEFORE YOU DIG UNDERGROUND SERVICE ALERT OF CALIFORNIA			07/19/19	PERU CONSULTANTS, LLP CIVIL ENGINEERING & DRAFTING SERVICES	No. C80680	RECOMMENDED FOR PERMIT ISSUANCE:	421 MONTEREY BLDV CIVIL PLANS	
				1976 W 234Th Street, Torrance, CA 90501 Phone: (310)-270-0811 peruconsultants@live.com	CHRISTIAN J. PEREZ, RCE LICENSE No. 80680 DATE	DATE	EROSION CONTROL PLAN	C-5 SHT. 6 OF 6