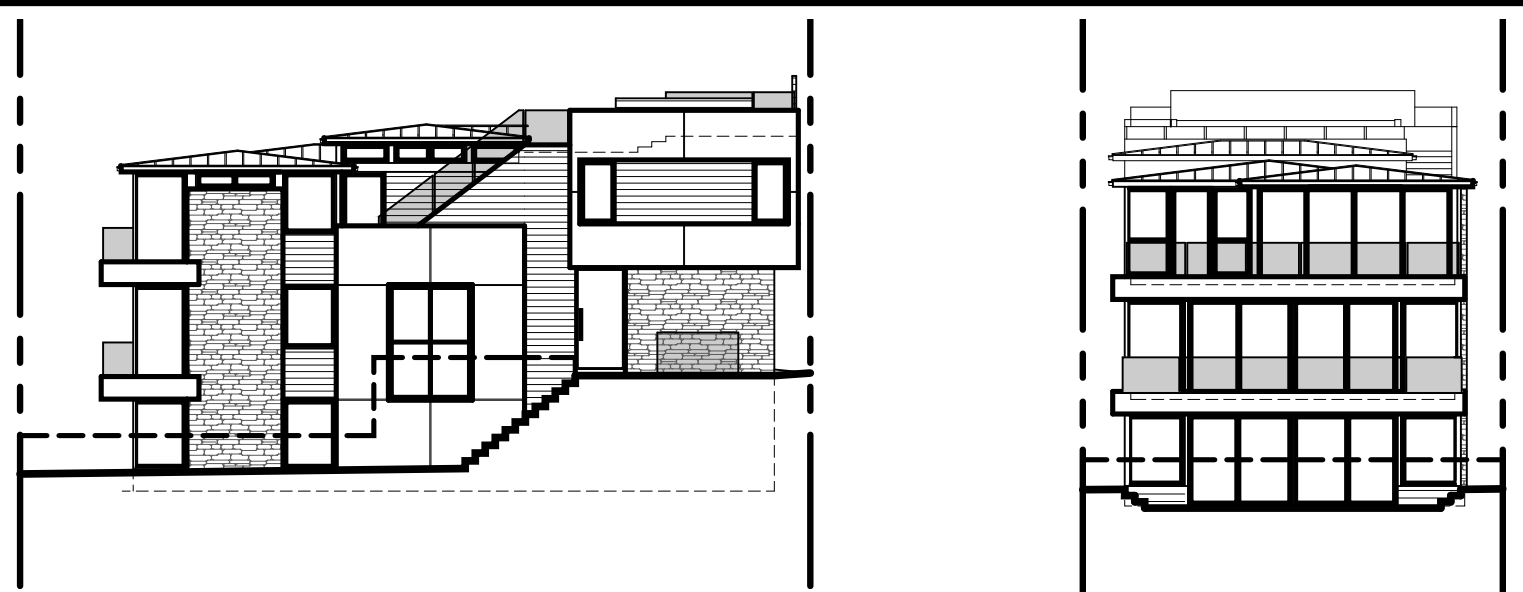


A NEW TWO STORY PLUS BASEMENT SINGLE FAMILY RESIDENCE:

A NEW RESIDENCE

3411 THE STRAND
HERMOSA BEACH, CA 90254



NOTES GENERAL NOTES

- BUILDING COMPLIES WITH 2013 CBC, 2013 CMC, 2013 CPC, 2013 CEC, AND CITY OF HERMOSA BEACH.
- ASDMD NOTIFICATION IS REQUIRED 10 DAYS BEFORE BEGINNING ANY DEMOLITION WORK. REQUIRED FORM IS AVAILABLE AT THE COMMUNITY DEVELOPMENT DEPARTMENT. PROVIDE PROOF OF NOTIFICATION (MAIL WITH RETURN RECEIPT) 10 DAYS BEFORE BUILDING PERMIT IS ISSUED, OR COMPLETE ASBESTOS NOTIFICATION WAIVER.
- ALL BUILDING FEATURES PROJECTING INTO REQUIRED SETBACKS ARE INDICATED ON SITE/LOT PLAN.
- SOILS REPORT SHALL BE PROVIDED TO THE BUILDING DEPARTMENT FOR ALL CUTS, FILLS, AND EARTHWORK AS REQUIRED BY CBC SECTION 1804.
- STUMPS AND ROOTS SHALL BE REMOVED TO A DEPTH OF 12" IN THE AREA OCCUPIED BY THE BUILDING.
- INSTALLATION OF INTERIOR AND EXTERIOR WALL AND CEILING COVERINGS SHALL CONFORM TO CHAPTER 25 UBC.
- ALL WATER CLOSETS TO FLUSH WITH 1.6 GALLON MAX. AND ALL NEW PLUMBING FIXTURES SHALL BE CERTIFIED LOW FLOW FIXTURES.
- ALL HOSE BIBS MUST BE PROTECTED BY BACK FLOW PREVENTION AND HAVE AN ANTI-SIPHON DEVICE.
- PROVIDE APPROVED BACKWATER VALVE FOR ALL PLUMBING FIXTURES LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. PROVIDE CAST IRON WASTE PIPE RISERS.
- ALL WINDOW COVERINGS REQUIRED BY CFR. FORM SHALL BE POSTED PRIOR TO FINAL INSPECTION.
- WRITTEN APPROVAL FROM THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) (714)396-2000 PER RULE 1403 FOR THE PROPER DISPOSAL OF ASBESTOS.
- ONLY LOS ANGELES COUNTY HEALTH DEPARTMENT APPROVED DEVICES MAY BE UTILIZED FOR LANDSCAPE IRRIGATION BACK FLOW PREVENTION DEVICES.
- ALL SITE DRAINAGE SHALL BE TERMINATED AT PUBLIC WAY VIA NON-EROSIVE DEVICE PER HDMC.
- PROVIDE DRIP PAN OR SIMILAR DEVICE FOR LAUNDRY ROOM, WATER HEATER, AND DISHWASHER.
- PROVIDE SURVEY STAKES PRIOR TO FOUNDATION INSPECTION TO VERIFY LOT LINES.
- THE ARCHITECT IS NOT RESPONSIBLE FOR SITE GRADING OR DRAINAGE.
- IAPMO APPROVAL REQUIRED FOR ONE PIECE LAVATORY.
- POST INSULATION COMPLIANCE CARD IN CONSPICUOUS LOCATION IN DWELLING PRIOR TO FINAL INSPECTION.
- IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO VERIFY THAT THE BUILDING IS WITHIN THE HEIGHT LIMIT PRIOR TO FRAMING THE ROOF RAFTERS. CONTACT THE CIVIL SURVEY CONSULTANTS.
- CONTROL VALVE FOR SHOWERS AND TUBS SHOWERS SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. UPC SECT. 410.7.
- VERIFY CLEARANCES WITH OVERHEAD UTILITY LINES FROM ALL PERMANENT AND TEMPORARY STRUCTURE INCLUDING SCAFFOLDING AND OTHER WORKING AREAS DURING CONSTRUCTION. CLEARANCE TO BE 8 FT. HORIZONTAL AND 12 FT. VERTICAL. VERIFY WITH SOUTHERN CALIFORNIA EDISON CO. BEFORE COMMENCING CONSTRUCTION.
- PROVIDE PROTECTION TO PEDESTRIANS PER UBC SECTION 3803 DURING CONSTRUCTION.
- BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET PER CBC SEC. 501.
- THE STRUCTURE SHALL COMPLY WITH THE SECURITY REQUIREMENTS OF "APPENDIX CHAPTER 10 SECURITY" OF HDMC.
- COOKING EQUIPMENT MUST BE LISTED FOR RESIDENTIAL USE.
- BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET PER CITY CODE SECTION 502.
- ALL DOORS PROVIDING DIRECT ACCESS TO THE POOL SHALL BE EQUIPPED WITH A SELF CLOSING, SELF LATCHING DEVICE WITH A RELEASE MECHANISM PLACED NO LOWER THAN 54" AFF. ALL THESE DOORS SHALL BE EQUIPPED WITH EXIT ALARMS. CBC SECTION 3104.4.1.5.
- THE INSTALLATION OF A CONDUIT FROM THE ROOF TO THE SERVICE PANEL SHALL BE REQUIRED TO ASSIST AND ENCOURAGE THE INSTALLATION OF ROOF MOUNTED ENERGY COLLECTION GENERATION DEVICES FOR NEW RESIDENTIAL CONSTRUCTION OR ADDITIONS OR REMODELS WHERE: (1) THE EXPANSION EXCEEDS 50 PERCENT OF THE EXISTING GROSS FLOOR AREA OR (2) THE COST OF REMODELING, EXPANSION OR IMPROVEMENT EXCEEDS 50 PERCENT OF THE VALUE OF THE EXISTING STRUCTURE AS DETERMINED BY THE BUILDING OFFICIAL. SAID ELECTRIC SERVICE PANEL SHALL BE OF ADEQUATE SIZE TO PROVIDE CAPACITY FOR THE FUTURE ADDITION OF PHOTOVOLTAIC AND SOLAR THERMAL, OR OTHER EQUIVALENT ALTERNATIVE ENERGY PRODUCING DEVICE(S). SOLAR PANEL INSTALLATIONS AND OTHER ROOF ATTACHMENTS SHALL CONFORM TO THE PROVISIONS OF SECTION 15.04.084.
- WHERE A DWELLING UNIT OCCUPIES TWO STORES, INTERIOR ACCESS SHALL BE PROVIDED BETWEEN STORES BY AN OPEN UNENCLOSED STAIRWAY.
- CONDUIT FROM ROOF TO ELECTRIC SERVICE PANEL WILL BE REQUIRED.

EXCAVATION NOTES

- PROVIDE CONTINUOUS INSPECTION DURING EXCAVATION OF SHORING AND INSTALLATION OF SHORING MEMBERS.
- AN EXCAVATION/CONSTRUCTION PERMIT SHALL BE OBTAINED PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN PUBLIC RIGHT-OF-WAY. THIS INCLUDES, BUT IS NOT LIMITED TO, STANDARD SIDEWALKS, CURBS, GUTTERS, DRIVEWAY APPROACHES, OR UNDERGROUNDING OF UTILITIES.
- CONTRACTOR TO PROVIDE EVIDENCE OF PERMIT FROM CALIFORNIA STATE DEPARTMENT OF INDUSTRIAL SAFETY FOR EXCAVATION 5'-0" OR DEEPER. CALL 213.736.3041.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT "DIG ALERT" PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY. (800) 227-2800
- PROVIDE TEMPORARY SHORING OF ADJACENT PROPERTY. QUALIFIED PERSONS REGISTERED WITH THE STATE SHALL DESIGN SHORING.
- A PERMIT IS REQUIRED FROM THE STATE DIVISION OF INDUSTRIAL SAFETY FOR TRENCHES OR EXCAVATION 5' (1.52 METERS) OR DEEPER OR BUILDING/STRUCTURE OVER 3 STORIES HIGH, OR BUILDING OVER 36' (11 METERS) HIGH.

PROJECT SUMMARY

PROJECT LOCATION:	3411 THE STRAND, HERMOSA BEACH, CA. 90254
LEGAL DESCRIPTION:	LOT 1, THE DALE TRACT
ASSESSOR PARCEL NO.:	APN: 4181-034-001
ZONING:	R-1
SCOPE OF WORK:	NEW TWO STORY PLUS BASEMENT RESIDENTIAL BUILDING WITH ATTACHED GARAGE, DEMOLITION OF EXISTING BUILDING

GENERAL BUILDING INFORMATION (NOTE: FOR ADDITION AND REMODEL PROJECTS, PLEASE PROVIDE INFORMATION FOR EXISTING AREA AND ADDED AREA.)

GARAGE (INTERIOR DIMENSIONS)	17'-2"x20'-2"
BASEMENT LIVING	1469 S.F.
DECKS/BALCONIES	300 S.F.
1ST LEVEL LIVING AREA	989 S.F.
DECKS/BALCONIES	63 S.F.
2ND LEVEL LIVING AREA	1392 S.F.
DECKS/BALCONIES	90 S.F.
ROOF DECKS	293 S.F.
TOTAL LIVING AREA	3850 S.F.
TOTAL DECKS/BALCONY	746 S.F.
NO. OF BEDROOMS	5
NO. OF BATHROOMS	5 FULL 2 HALF

ZONING INFORMATION		REQUIRED	PROVIDED
AREA			
LOT AREA			2275 S.F.
LOT COVERAGE	MAX 1592.5 S.F. (70% OF LOT)		1556 S.F. (68.39% OF LOT)
YARDS			
FRONT	6'-0" (ALL FLOORS)		7'-3" (ALL FLOORS)
SIDE	9'-0"		9'-6"
REAR	3'(1st FLOORS) & 1'(2nd FLOORS ABOVE)		3'(1st FLOORS) & 1'(2nd FLOORS ABOVE)
PARKING AND DRIVEWAYS			
NUMBER OF SPACES	2		2
GUEST SPACES	1		1
PARKING SETBACK			
PARKING STALL DIMENSION	8'-6"x20'-0"		17'-0"x20'-0"
TURNING AREA	22'		22'-2 1/2'
DRIVEWAY MINIMUM WIDTH	9'-0"		15'-0"
DRIVEWAY MAXIMUM SLOPE	12.5%		8%
OPEN SPACE			
ON GRADE	200		300
DECKS/BALCONIES	100		100
TOTAL	300		400

BASEMENT QUALIFICATION CALCULATION

1ST LEVEL F.F. ELEVATION	
LINEAL FEET (LF) OF PERIMETER	
LF OF PERIMETER <6' FROM GRADE TO F.F. ABOVE	
% OF PERIMETER <6' TO FF ABOVE	

SYMBOL LEGEND

8'-0" FLAT CLG.	CEILING HEIGHT
LIVING ROOM	ROOM NAME
100.00 S.F.E.	SUB-FLOOR ELEVATION
12"	DIFFERENTIAL IN FLOOR ELEVATION, FINISH SURFACE, OR CHANGE IN WALL PLAN
100.00' S.F.E.	ELEVATION
100.00' LT.WT.	SUB FLOOR ELEVATION
A	ELEVATION
B	LIGHT WEIGHT CONCRETE FLOOR ELEVATION
C	SHEET NUMBER
4.12	ELEVATION DESIGNATION
ROOF SLOPE	SLOPED SURFACE
	SURFACE DESCRIPTION (ARROW POINTS DOWN SLOPE)
	FLOW LINE (ARROW POINTS DOWN SLOPE)
	ROOF SLOPE DESCRIPTION
12	SLOPE RUN
4	SLOPE RISE
A	WINDOW LETTER DESIGNATION
1	DOOR NUMBER DESIGNATION
	SKYLIGHT LETTER DESIGNATION
NORTH	NORTH ARROW DESIGNATION
1	REVISION NUMBER
	EXTENTS OF REVISION
A	SECTION NUMBER
A-00	SHEET NUMBER
DN. 0 R. @ 0"	TOP/BOTTOM RISER
	# OF RISERS UP/DOWN

ABBREVIATION

A.H.	ACTUAL HEIGHT
A.W.	AWNING WINDOW
B.O.W.	BOTTOM OF WALL
C.H.	CRITICAL HEIGHT
CLG.	CEILING
CLR.	CLEAR
COL.	COLUMN
CONC.	CONCRETE
C.W.	CASEMENT WINDOW
DIM.	DIMENSION
DN.	DOWN
ELEV.	ELEVATION
F.A.	FROM ABOVE
FLR.	FLOOR
FX.	FIXED
HORZ.	HORIZONTAL
HT.	HEIGHT
LAND.	LANDING
LT.WT.	LIGHT WEIGHT CONCRETE
MAX.	MAXIMUM
MIN.	MINIMUM
OP.	OPERABLE
PLINE.	PROPERTY LINE
REQ.	REQUIRED
SECT.	SECTION
S.F.E.	SUB FLOOR ELEVATION
SHT.	SHEET
SK.	SKewed
SL.	SLOPED
T.O.W.	TOP OF WALL

PROJECT DATA

PROPERTY OWNER

TSNH INVESTMENTS
942 HIGHVIEW AVENUE
MANHATTAN BEACH, CA 90266
PHONE 310-963-1711

LEGAL DESCRIPTION

LOT 1,
THE DALE TRACT
M.B. 21-141
APN 4181-034-001

OCCUPANCY AND ZONING

OCCUPANCY: R3/U
ZONING: R1 APN: 4181-034-001
CONSTRUCTION TYPE: TYPE V-B
NO. OF UNITS: 1
NO. OF STORIES: 2 + BASEMENT

AUTOMATIC FIRE SPRINKLERS REQ'D FOR ENTIRE BUILDING PER CRC SECT. R313.2

CITY, STATE, NATIONALLY APPLICABLE CODES

2016 CBC, 2016 CMC, 2016 CPC, 2016 CEC,
2016 CRC, 2016 GBS, 2016 CEC, AND THE
CITY OF HERMOSA BEACH

AREA CALCULATIONS

LOT SIZE = 2275 S.F.

BASEMENT LIVING	= 1469 S.F.
FIRST FLOOR LIVING	= 989 S.F.
SECOND FLOOR LIVING	= 1392 S.F.
TOTAL LIVING	= 3850 S.F.

GARAGE	= 375 S.F.
STORAGE	= 22 S.F.
BALCONIES/DECKS	= 746 S.F.

(SEE SHEET A.00 FOR MORE INFORMATION)

OPEN SPACE CALCULATIONS

BASEMENT FLOOR	= 300
FIRST FLOOR	= 0
SECOND FLOOR	= 0
ROOF	= 100
TOTAL OPEN SPACE PROVIDED	= 400

LOT COVERAGE CALCULATIONS

MAX. ALLOWABLE LOT COVERAGE
= 70% X LOT SIZE (2275 S.F.) = 1592.5 S.F.

ACTUAL LOT COVERAGE
= 1556 S.F. = 68.39%

CONSULTANTS CIVIL SURVEY CONSULTANT

DENN ENGINEERS 310.542.9433
3914 DEL AMO BLVD. SUITE 921 TORRANCE, CA. 90503

SHEET INDEX

G.01	PROJECT INFORMATION
C.01	CIVIL SURVEY
A.00	AREA CALC'S
A.01	SITE PLAN
A.02	BASEMENT FLOOR PLAN
A.03	FIRST FLOOR PLAN
A.04	SECOND FLOOR PLAN
A.05	ROOF PLAN
A.05.1	CRITICAL POINT PLAN
A.06	ELEVATIONS
A.07	ELEVATIONS
A.08	SECTION

PROJECT

A NEW RESIDENCE

3411 THE STRAND
HERMOSA BEACH
CALIFORNIA 90254

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PROJECT NUMBER

18025

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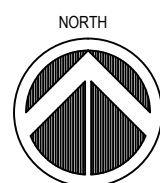
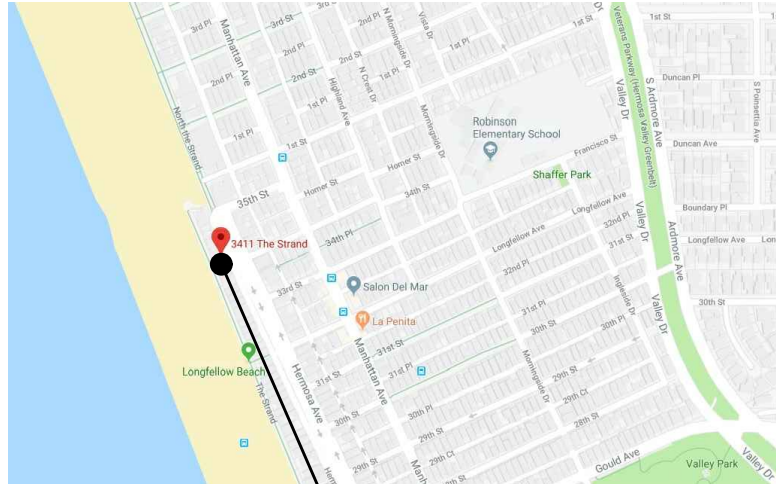
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PROJECT INFORMATION

SHEET NUMBER

G.01

VICINITY MAP



PROJECT SITE
HERMOSA BEACH, CA

SURVEY AND
TOPOGRAPHY

FOR
FRANK KHULUSI
942 HIGHVIEW AVENUE
MANHATTAN BEACH, CA 90266
PHONE 310-963-1711

JOB ADDRESS

3411 THE STRAND
HERMOSA BEACH, CA 90254

LEGAL DESCRIPTION

LOT 1,
THE DALE TRACT
M.B. 21-141
APN 4181-034-001

THIS MAP CORRECTLY REPRESENTS A SURVEY
MADE BY ME OR UNDER MY DIRECTION IN
CONFORMANCE WITH THE REQUIREMENTS OF
PROFESSIONAL LAND SURVEYORS' ACT

PROJECT

A NEW
RESIDENCE
3411 THE STRAND
HERMOSA BEACH
CALIFORNIA 90254

STAMP

GARY J. ROEHL R.C.E. 30826

DRAWN BY KW CHECK BY TS

DRAWN ON AUGUST 21, 2018

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PROJECT NUMBER
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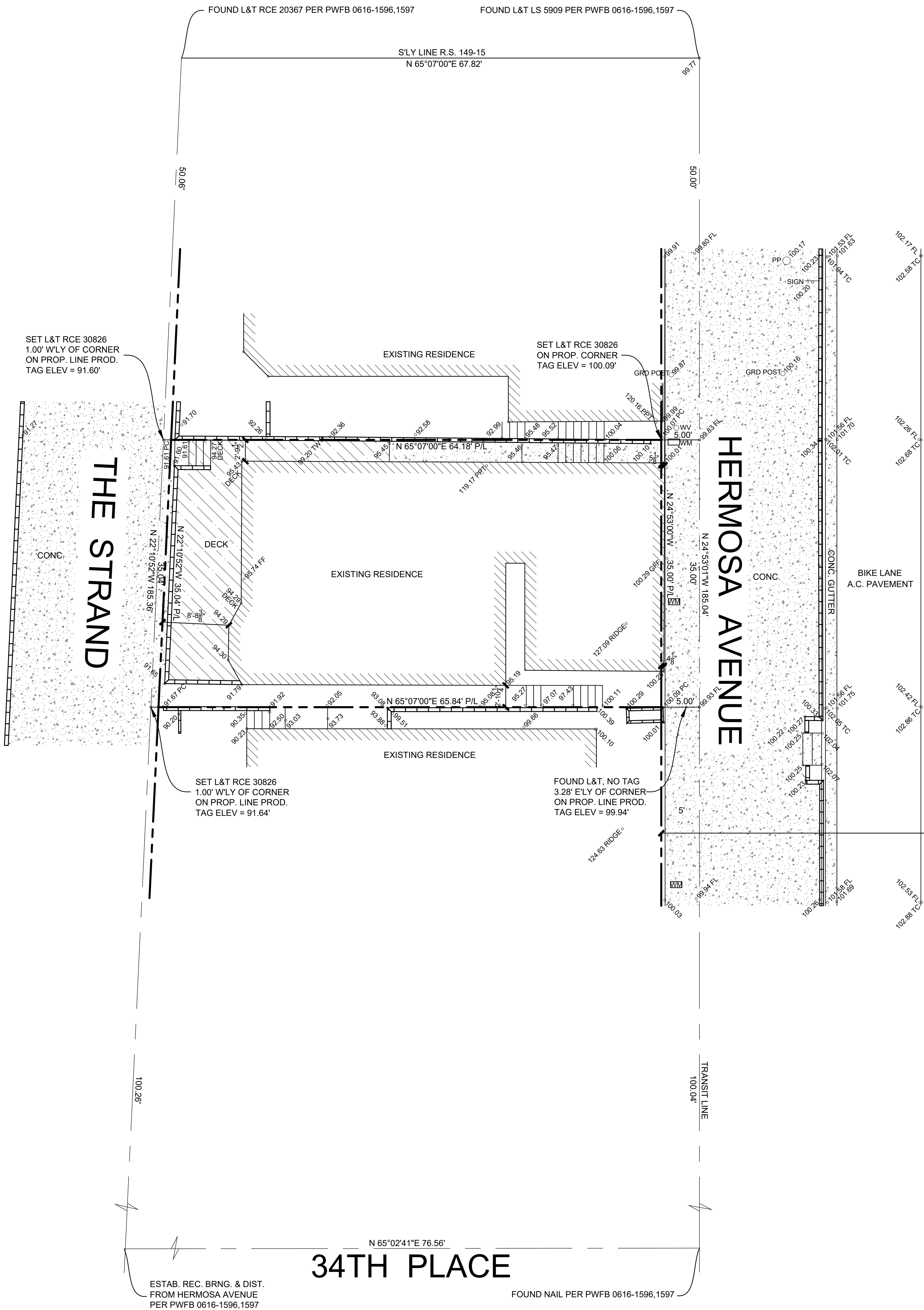
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CIVIL SURVEY

SHEET NUMBER

C.01

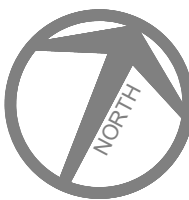


NOTE:
A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE
TIME OF THIS SURVEY. ANY READILY AVAILABLE ITEMS AFFECTING THIS PROPERTY
HAVE BEEN PLOTTED BASED ON PROVIDED DOCUMENTS.

USA NATIONAL TITLE COMPANY
ORDER NO. 071833027-GD
DATED JULY 16, 2018

ESTAB. REC. BRNG. & DIST.
FROM HERMOSA AVENUE
PER PWFB 0616-1596, 1597

FOUND NAIL PER PWFB 0616-1596, 1597



SCALE 1" = 8'

CIVIL SURVEY
SCALE: 1/8"=1'-0"

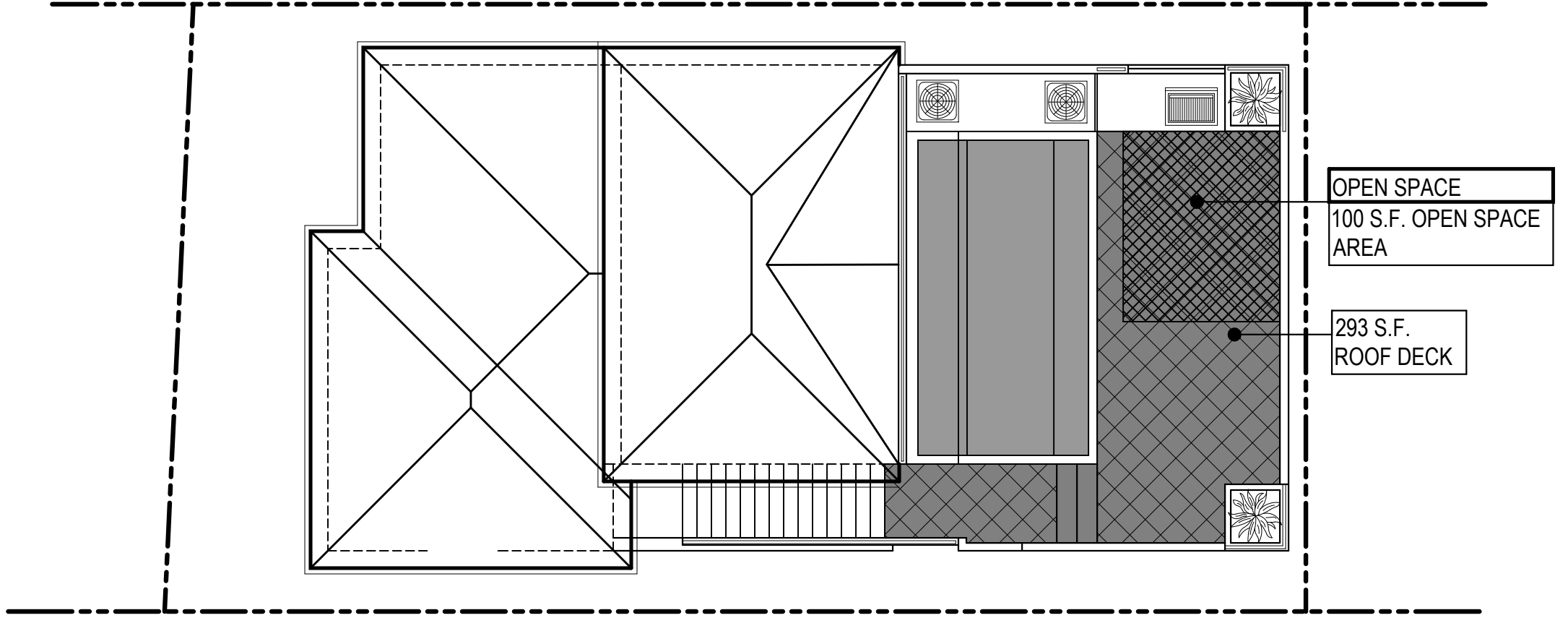
SHEET 1 OF 1

JOB NO. 18-341

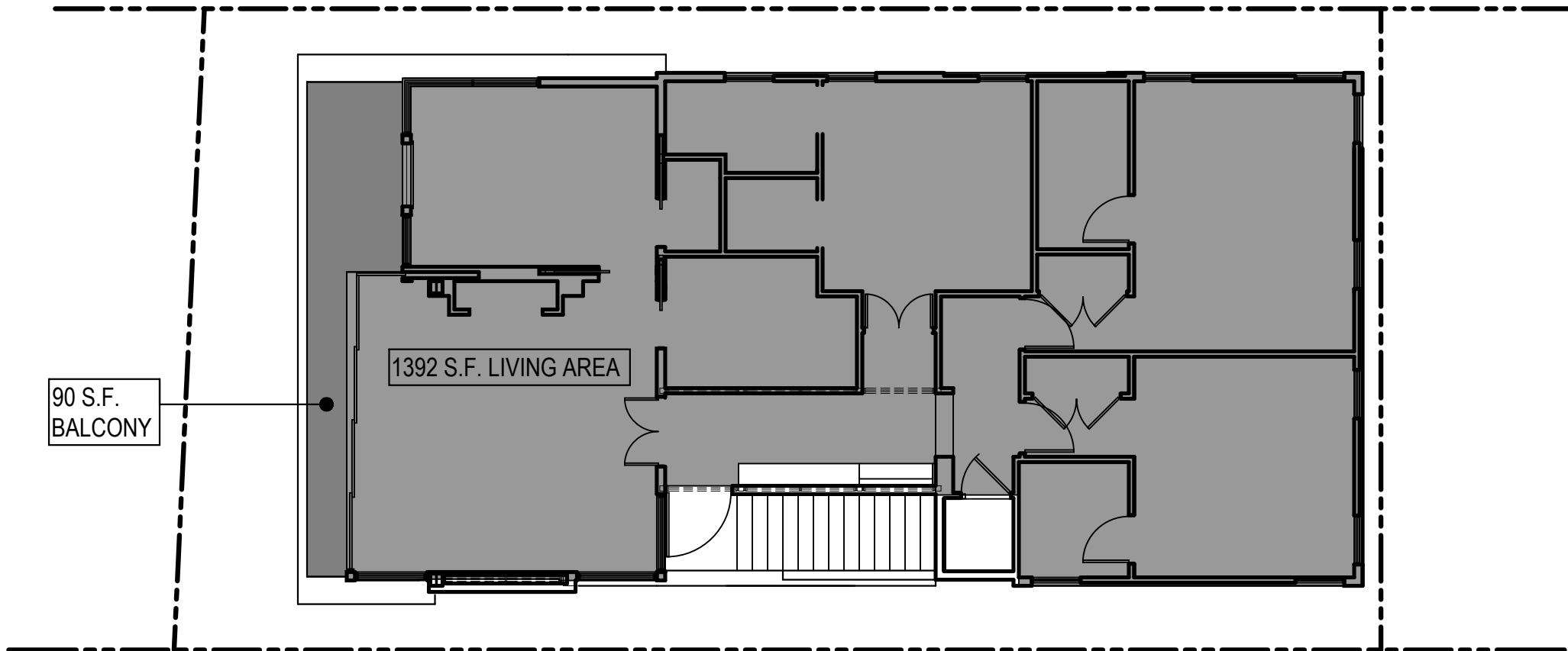
AREA CALC	
LOT SIZE	= 2275 S.F.
LIVING AREA CALCS:	
BASEMENT FLOOR	= 1469 S.F.
FIRST FLOOR	= 989 S.F.
SECOND FLOOR	= 1392 S.F.
TOTAL LIVING	= 3850 S.F.
GARAGE AREA = 375 S.F.	
BALCONY+DECK AREA = 300+63+90+293 = 746 S.F.	
STORAGE = 22 S.F.	

OPEN SPACE CALCULATION	
BASEMENT FLOOR	= 300 S.F.
FIRST FLOOR	= 0 S.F.
SECOND FLOOR	= 0 S.F.
ROOF	= 100 S.F.
TOTAL	= 400 S.F.
OPEN SPACE PROVIDED =300+100 = 400 S.F.	

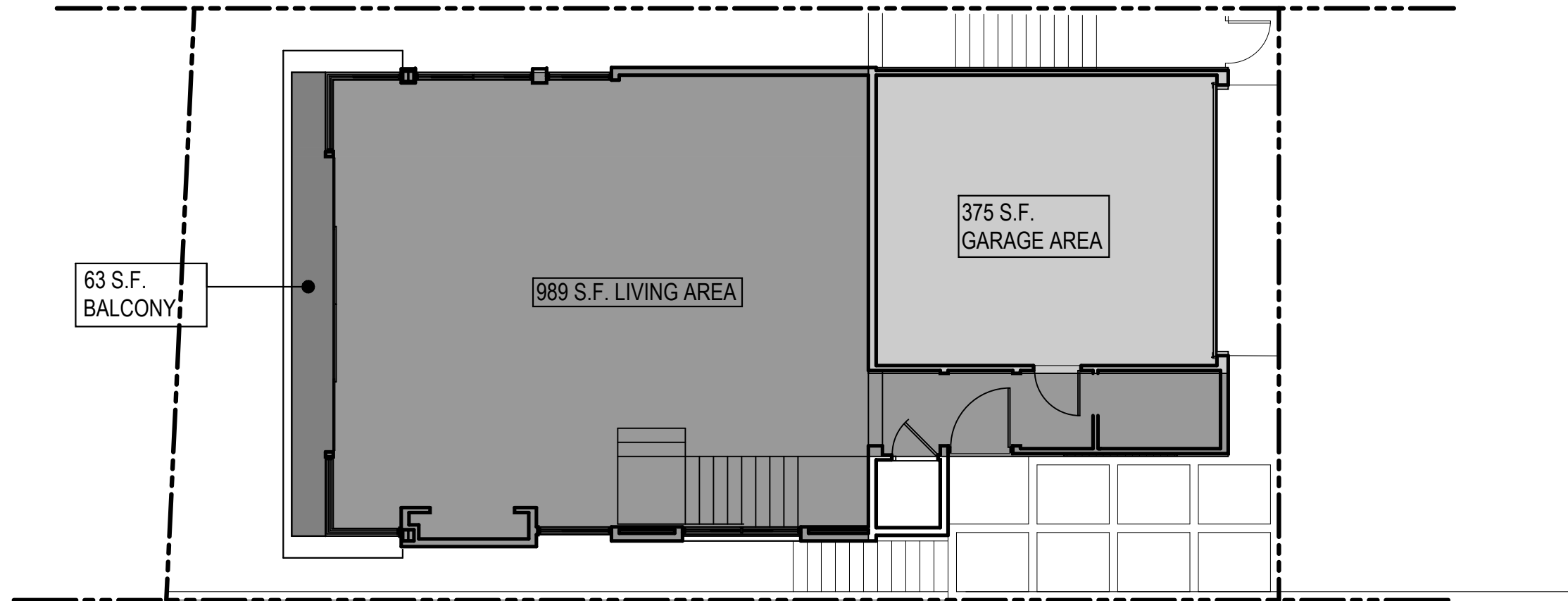
LEGEND	
<div></div>	GARAGE AREA
<div></div>	STORAGE AREA
<div></div>	OPEN SPACE
<div></div>	LIVING AREA
<div></div>	BALCONY/PATIO



ROOF DECK
SCALE: 1/8"=1'-0"

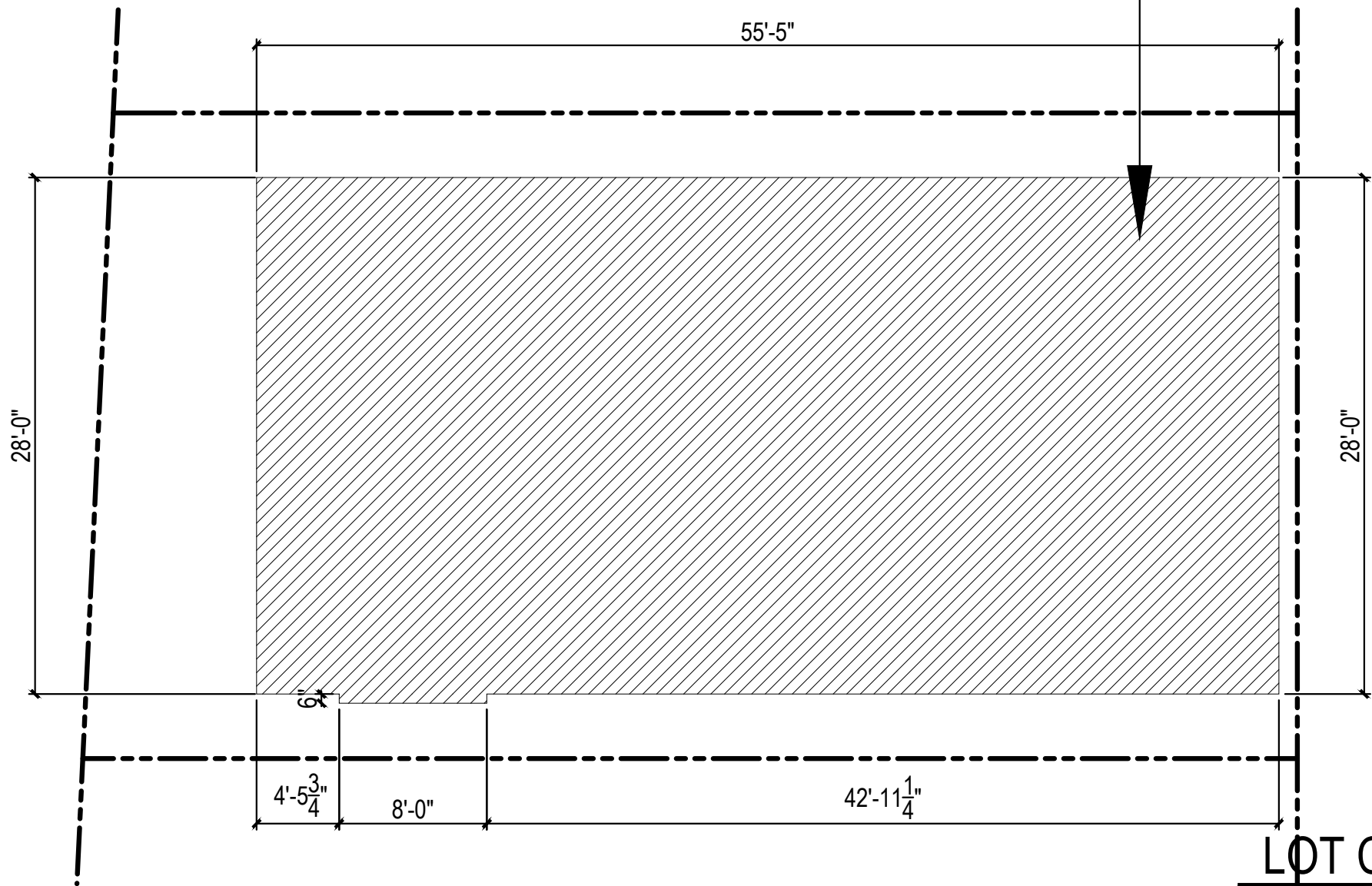


SECOND FLOOR
SCALE: 1/8"=1'-0"

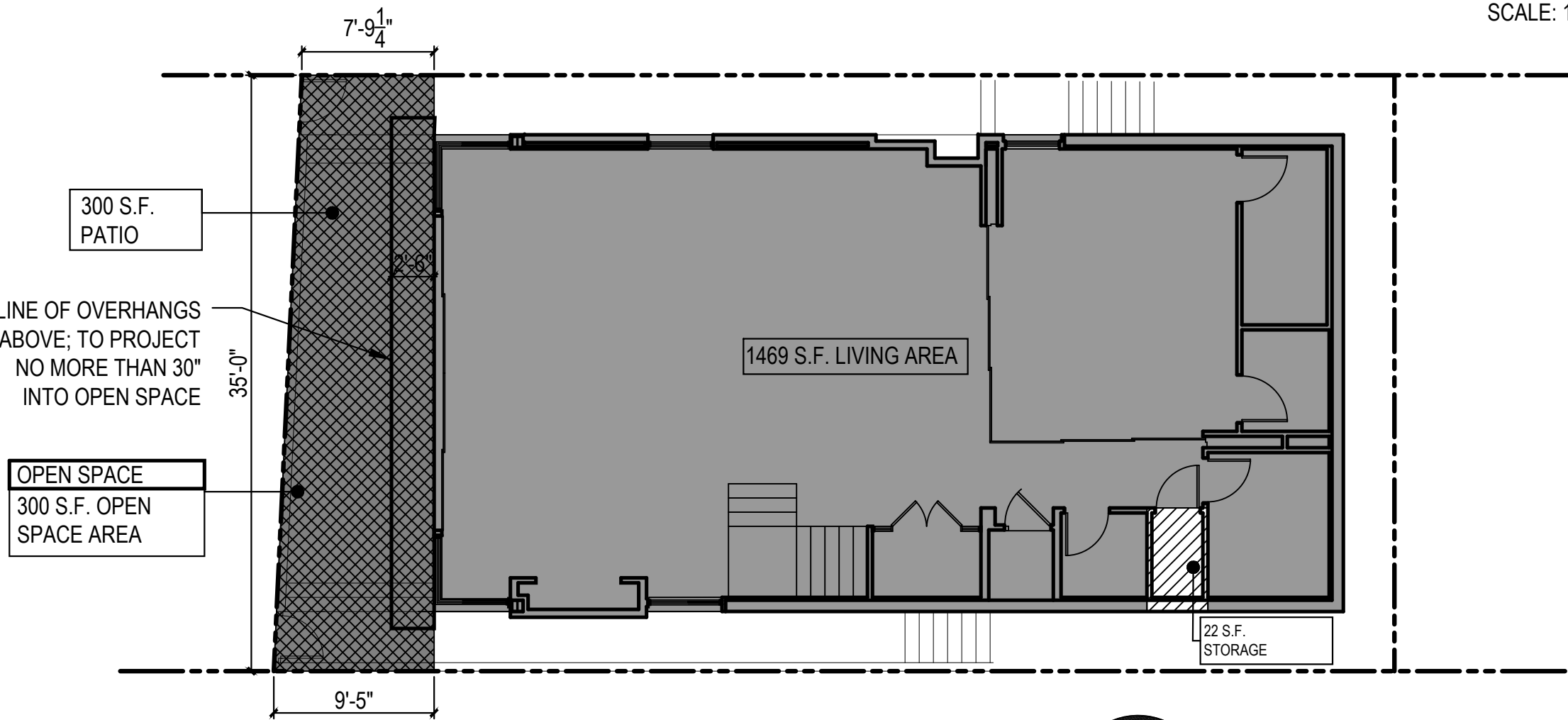


FIRST FLOOR
SCALE: 1/8"=1'-0"

LOT COVERAGE	
MAXIMUM ALLOWED LOT COVERAGE: LOT SIZE x 70%	
MAXIMUM ALLOWED LOT COVERAGE = 2275 S.F. x 70%	
= 1592.5 S.F.	
ACTUAL LOT COVERAGE = 1556 S.F. = 68.39%	



LOT COVERAGE
SCALE: 1/8"=1'-0"



BASEMENT FLOOR
SCALE: 1/8"=1'-0"

PROJECT

A NEW RESIDENCE

3411 THE STRAND
HERMOSA BEACH
CALIFORNIA 90254

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PROJECT NUMBER

18025

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AREA AND LOT CALCULATIONS

SHEET NUMBER

A.00



2617 NORTH SEPULVEDA BLVD.
MANHATTAN BEACH, CA 90266
TEL: 310-318-8089 WWW.TOMARO.COM

A NEW RESIDENCE

3411 THE STRAND
HERMOSA BEACH
CALIFORNIA 90254

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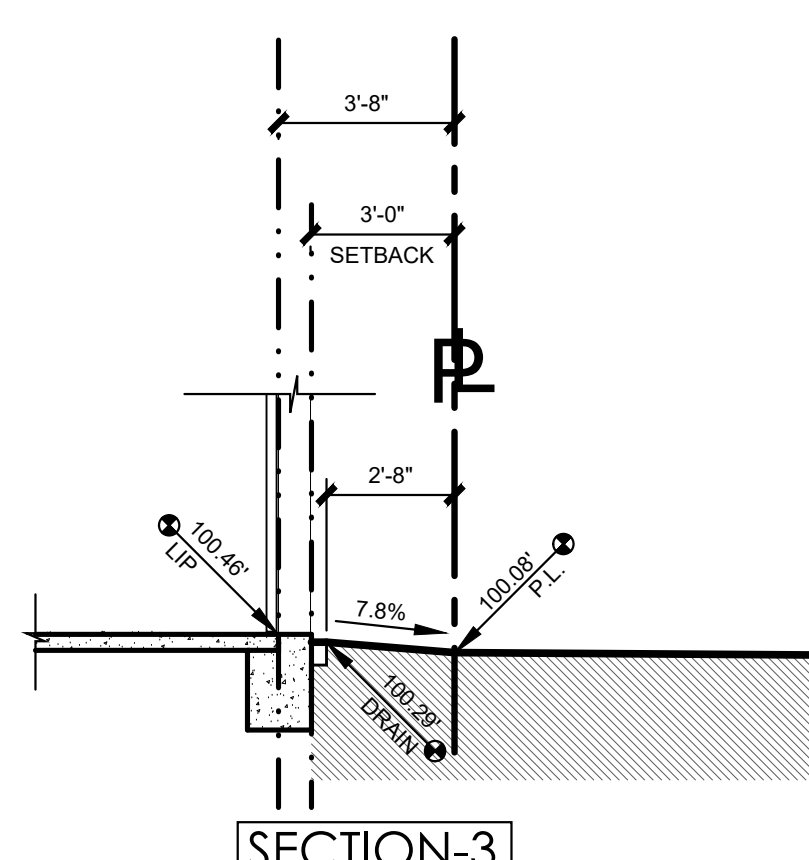
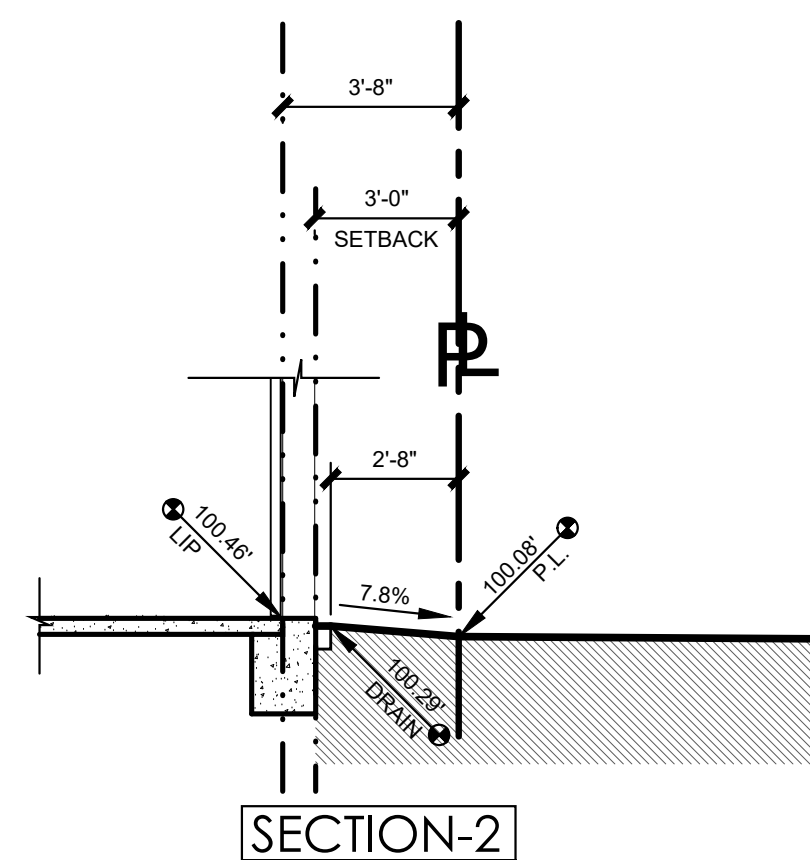
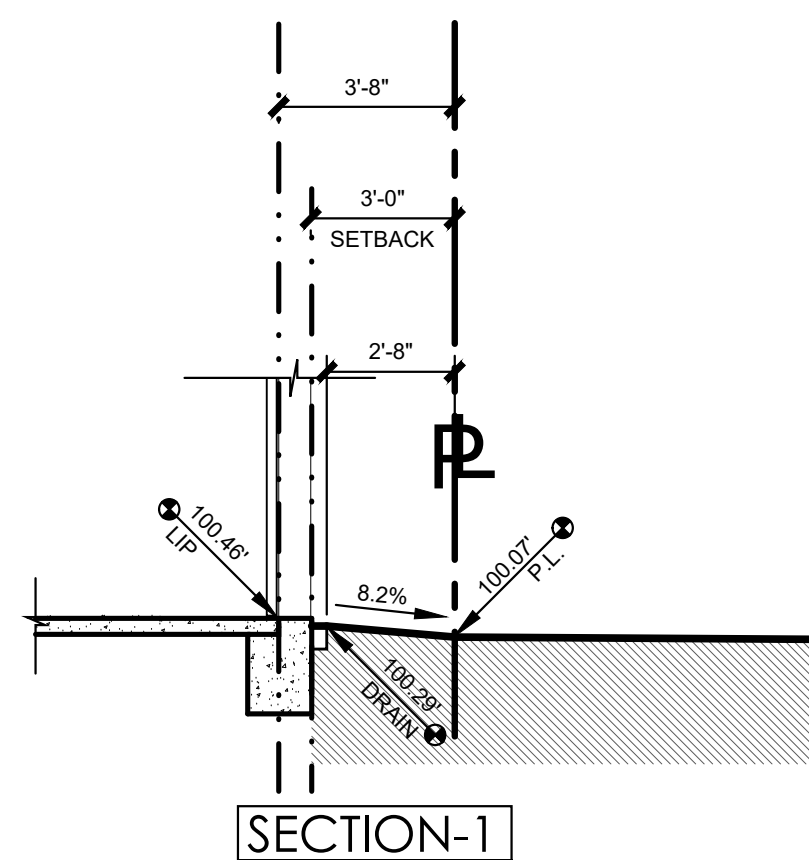
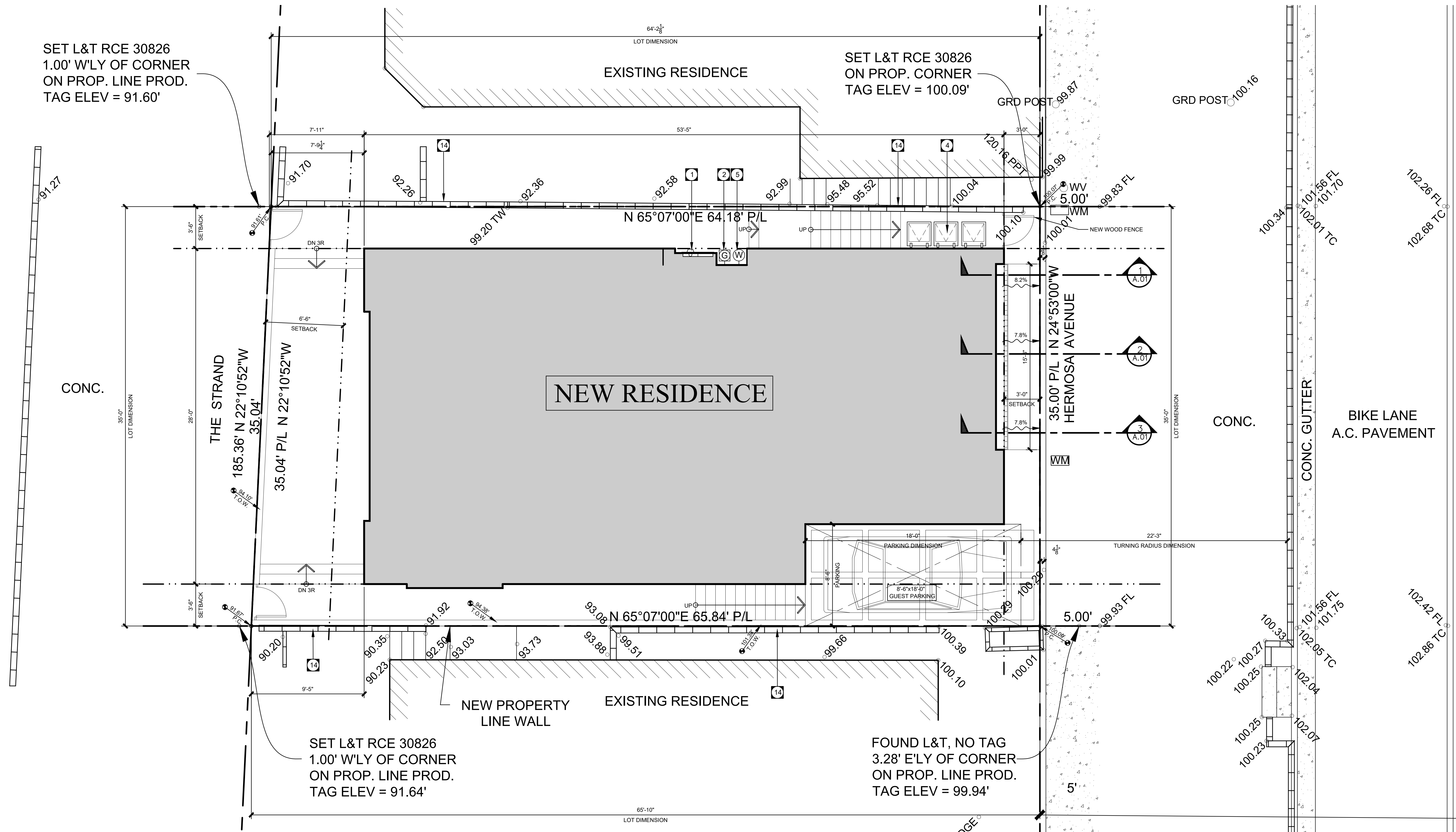
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SITE PLAN



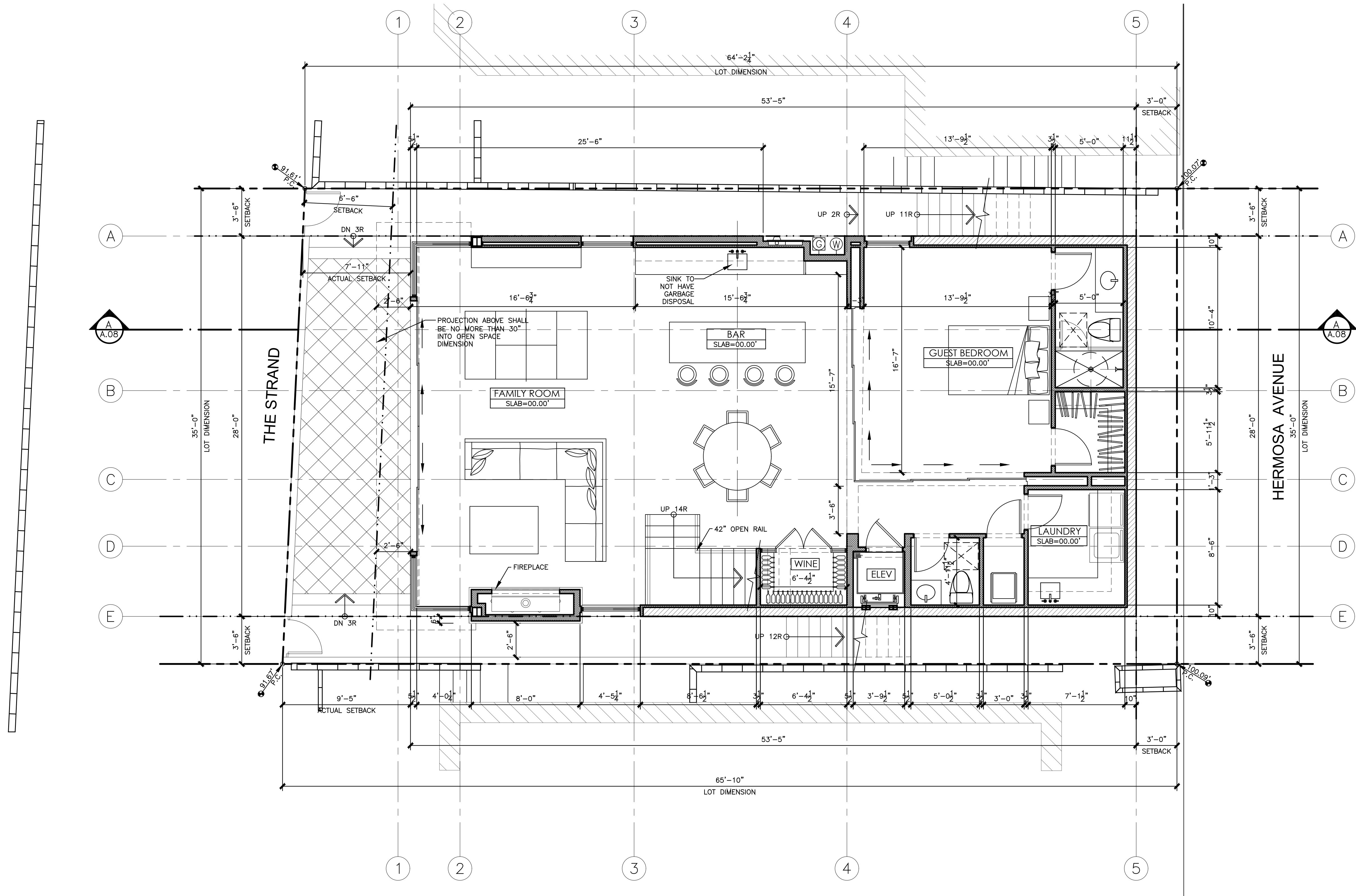
SITE PLAN
SCALE: 1/4"=1'-0"

A.01

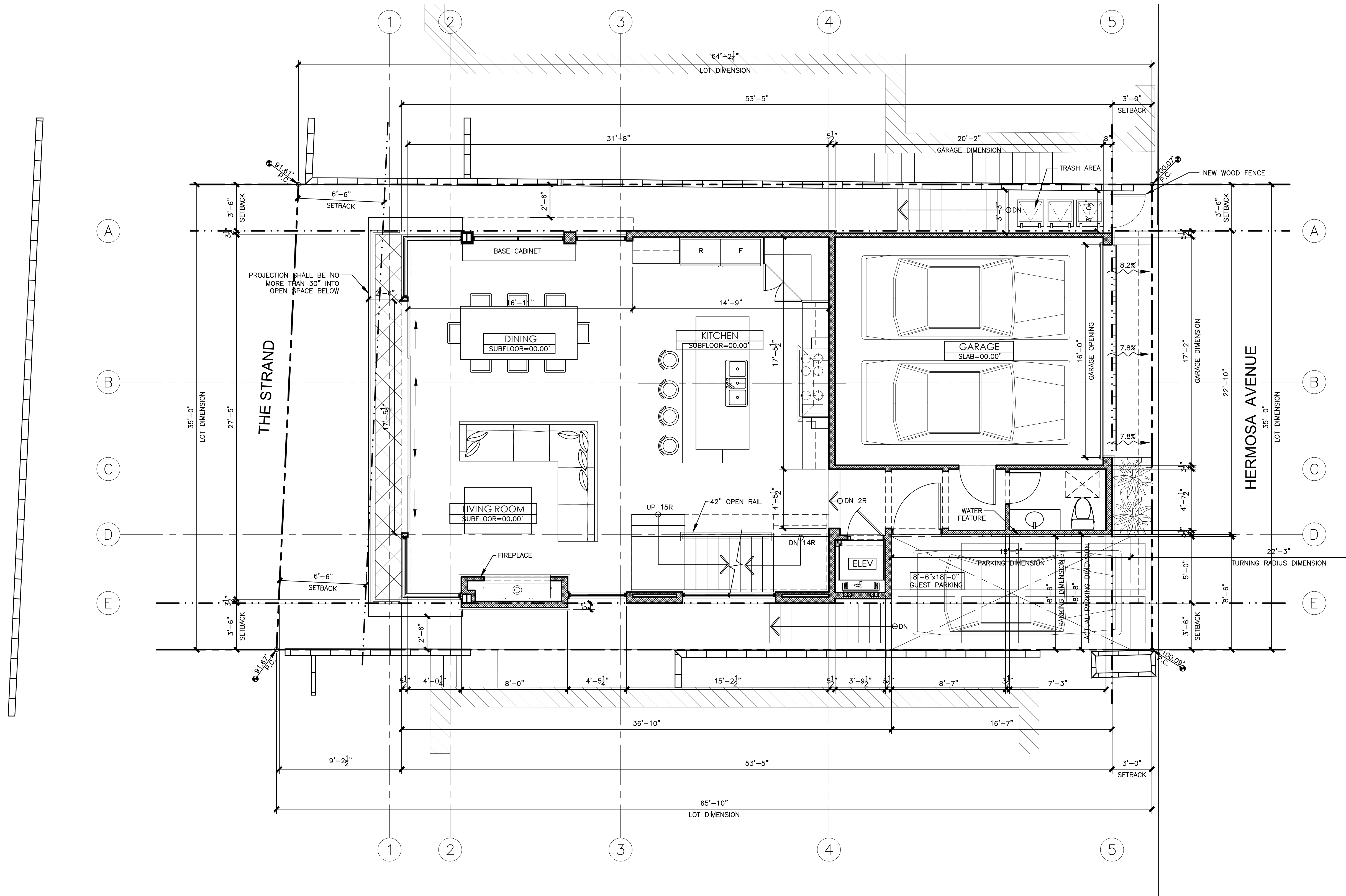


SITE PLAN KEY NOTES

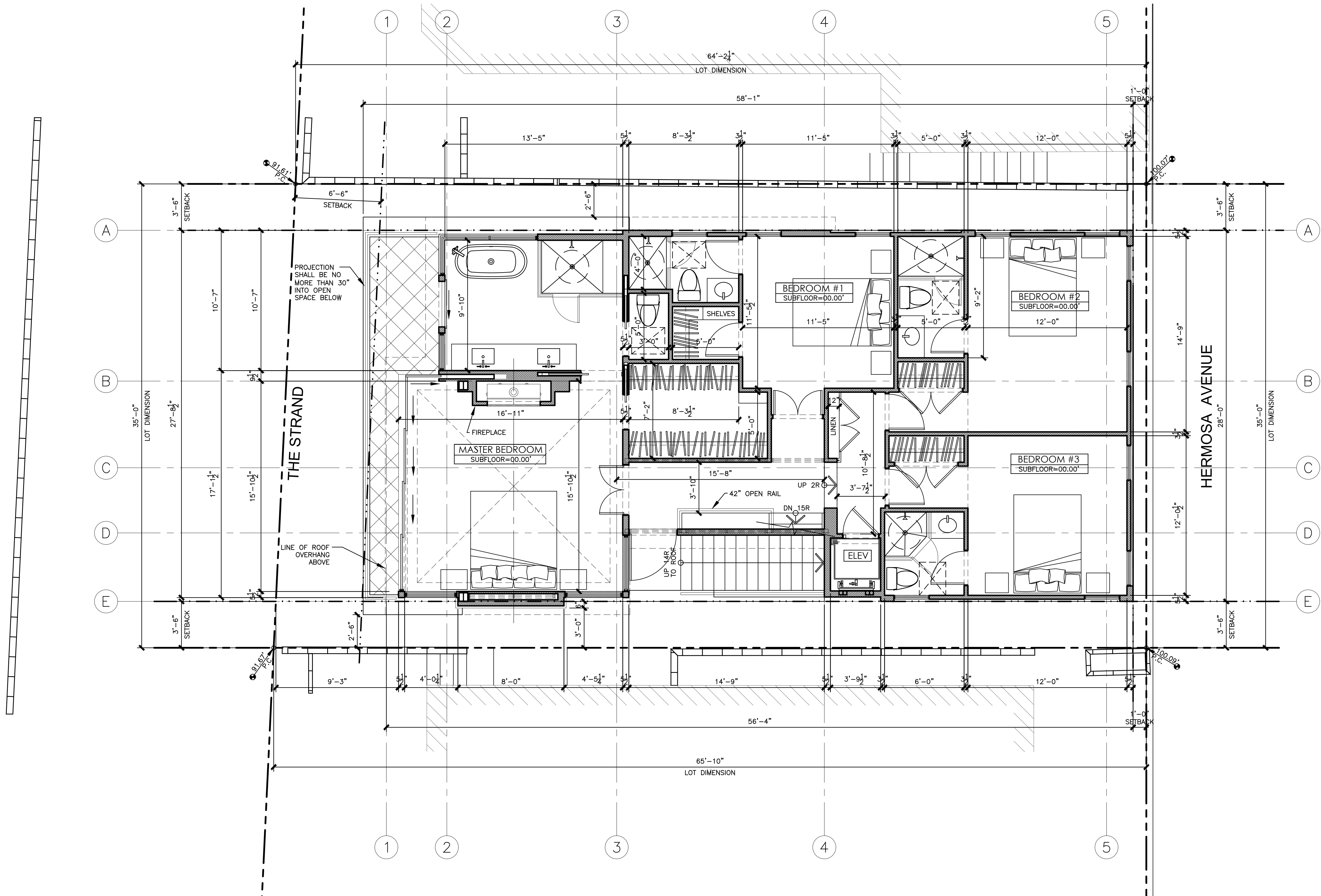
- | | | | | | |
|---|--|----|---|----|--|
| 1 | PROPOSED LOCATION ELECTRIC PANEL (SEE SHEET E-01) | 7 | WOOD GATE | 13 | NEW WOOD FENCE @ PROPERTY LINE - 6'-0" MAX HT. |
| 2 | PROPOSED LOCATION FOR GAS METER. LOCATION TO BE APPROVED BY GAS COMPANY PRIOR TO CONSTRUCTION. | 8 | NEW CONCRETE DRIVEWAY PER CITY STANDARDS. DRIVEWAY TO BE STAMPED CONCRETE. VERIFY W/LANDSCAPE ARCHITECT TO SELECT PATTERN AND COLOR | 14 | EXISTING CMU WALL AT PROPERTY LINE |
| 3 | FIRE SUPPRESSION SYSTEM (SEE SHEET E-01) | 9 | 3"ø AREA DRAINS WITH 4"ø P.V.C. SUBTERRANIAN DRAIN LINE TO HAVE POSITIVE FLOW. | | |
| 4 | TRASH AREA | 10 | 1/4"-.12"MIN. SLOPE TO DRAIN. | | |
| 5 | PROPOSED LOCATION OF WATER RISER VALVE | 11 | NEW CMU WALL AT PROPERTY LINE 42" MAX. HT. | | |
| 6 | AC CONDENSING UNIT | 12 | NEW CMU WALL WITH WOOD FENCE ON TOP AT PROPERTY LINE | | |



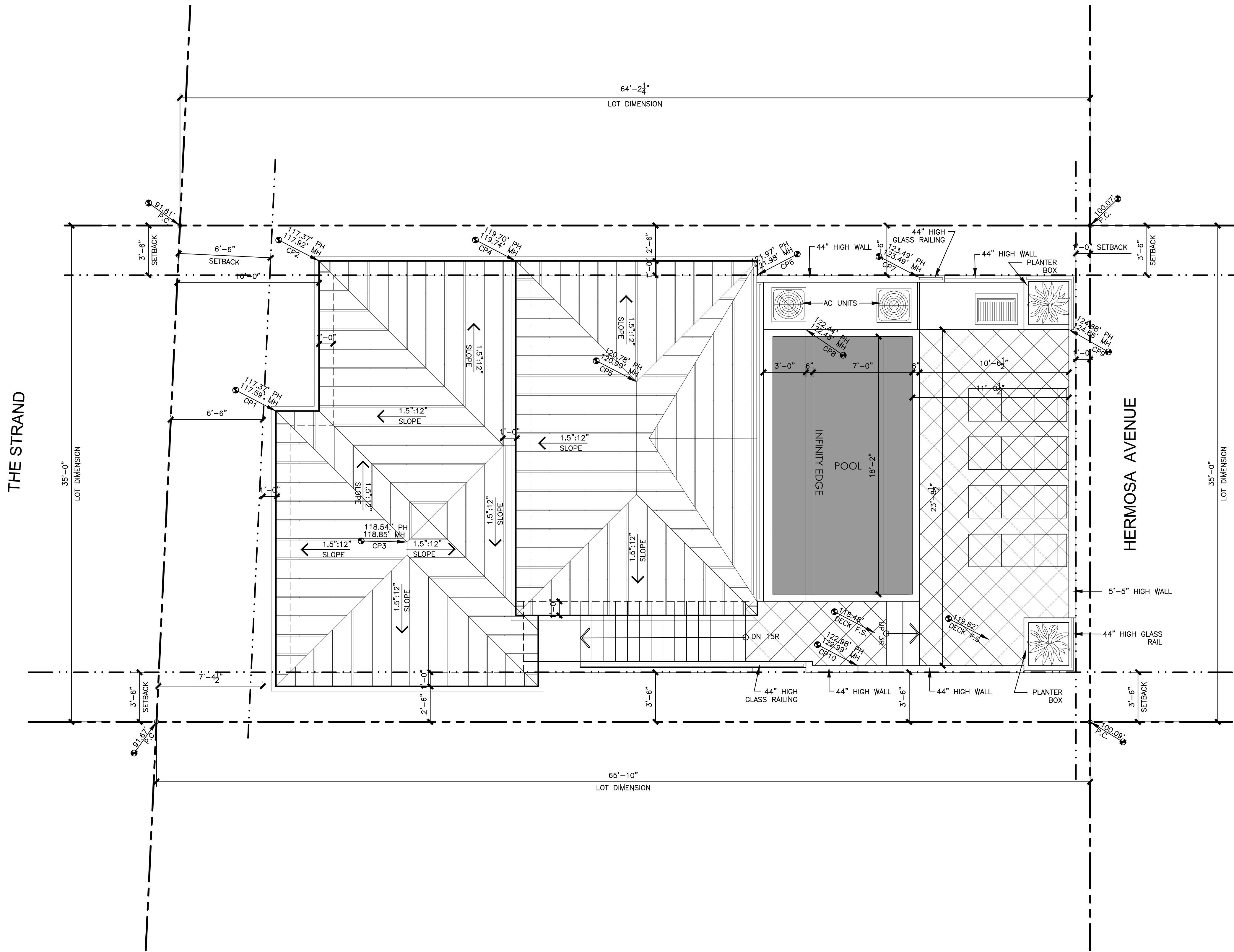
BASEMENT FLOOR PLAN
SCALE: 1/4"=1'-0"

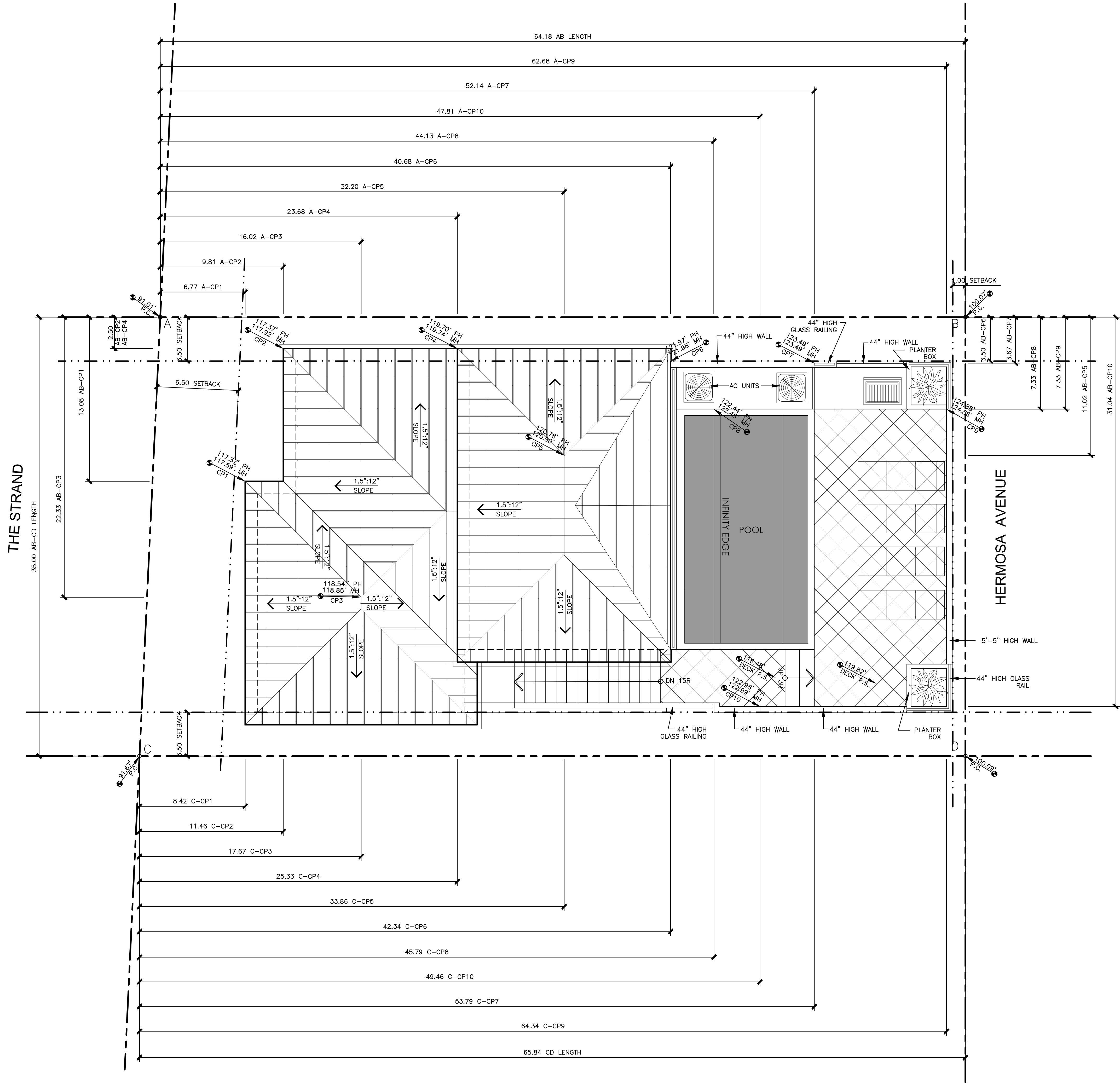


FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"





ABBREVIATION
MH = MAXIMUM HEIGHTS
PH = PROPOSED HEIGHTS
CP = CRITICAL POINTS
PC = PROPERTY CORNER
PLINE = PROPERTY LINE
BLDG = BUILDING

PROJECT
A NEW RESIDENCE
3411 THE STRAND
HERMOSA BEACH
CALIFORNIA 90254

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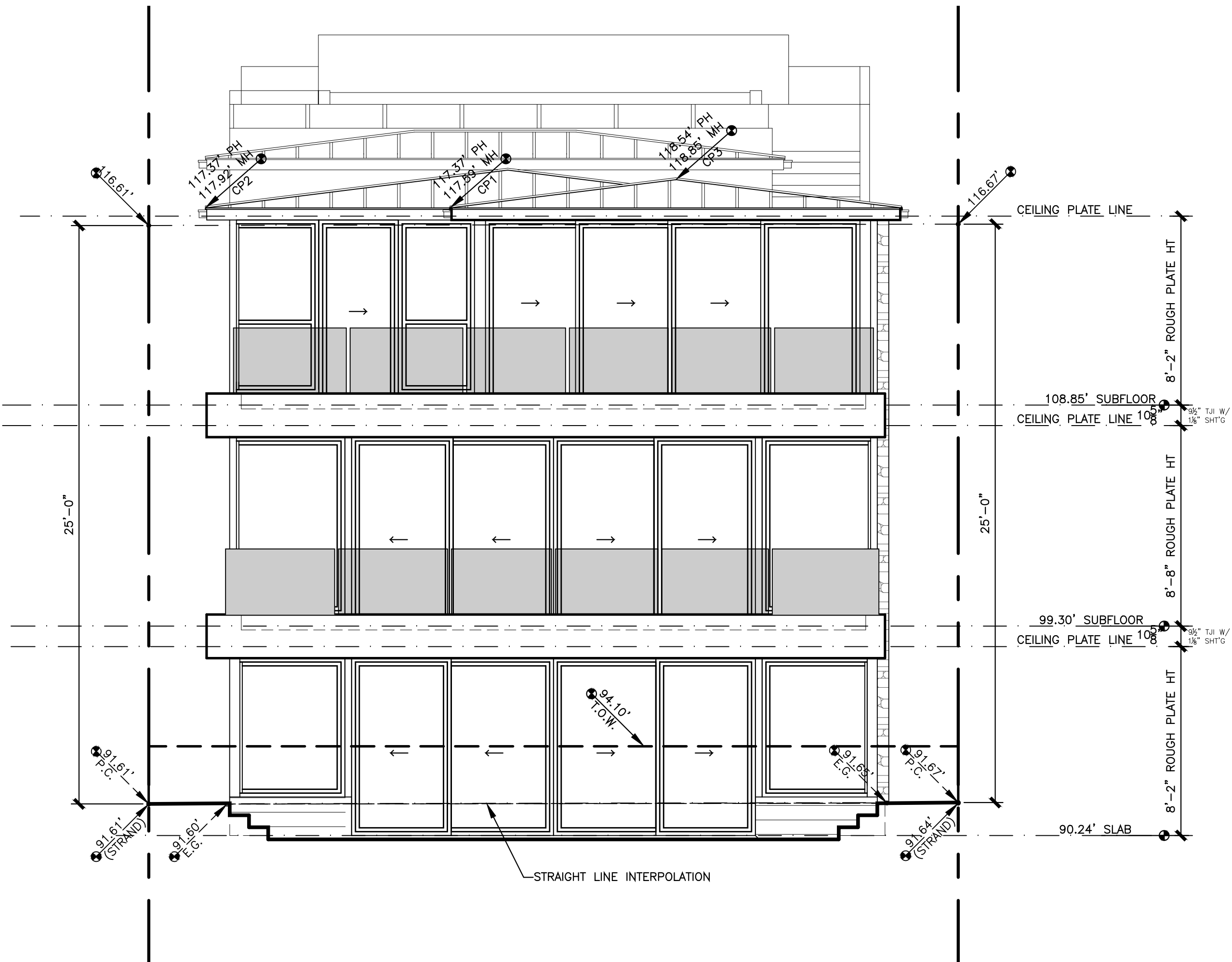
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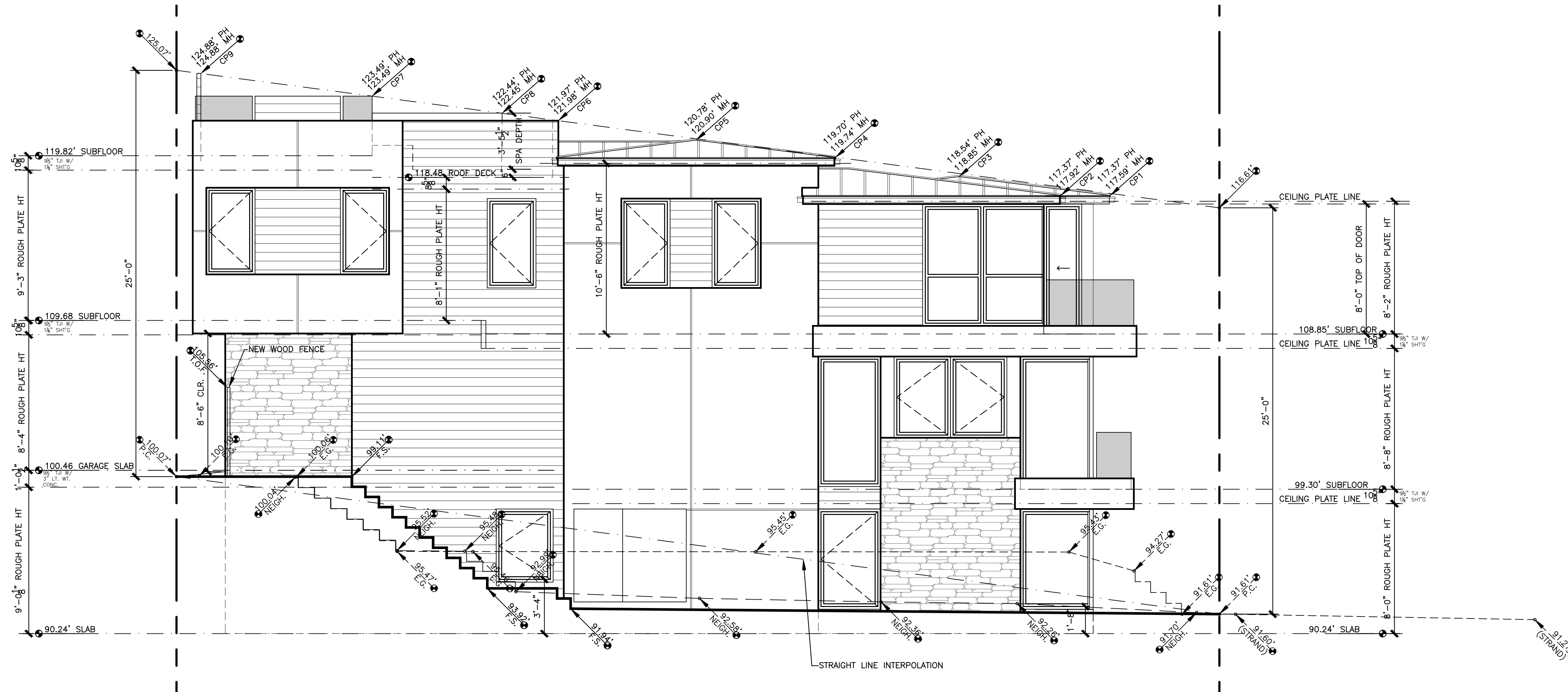
DRAWING
**CRITICAL
POINT PLAN**

SHEET NUMBER
A.05.1



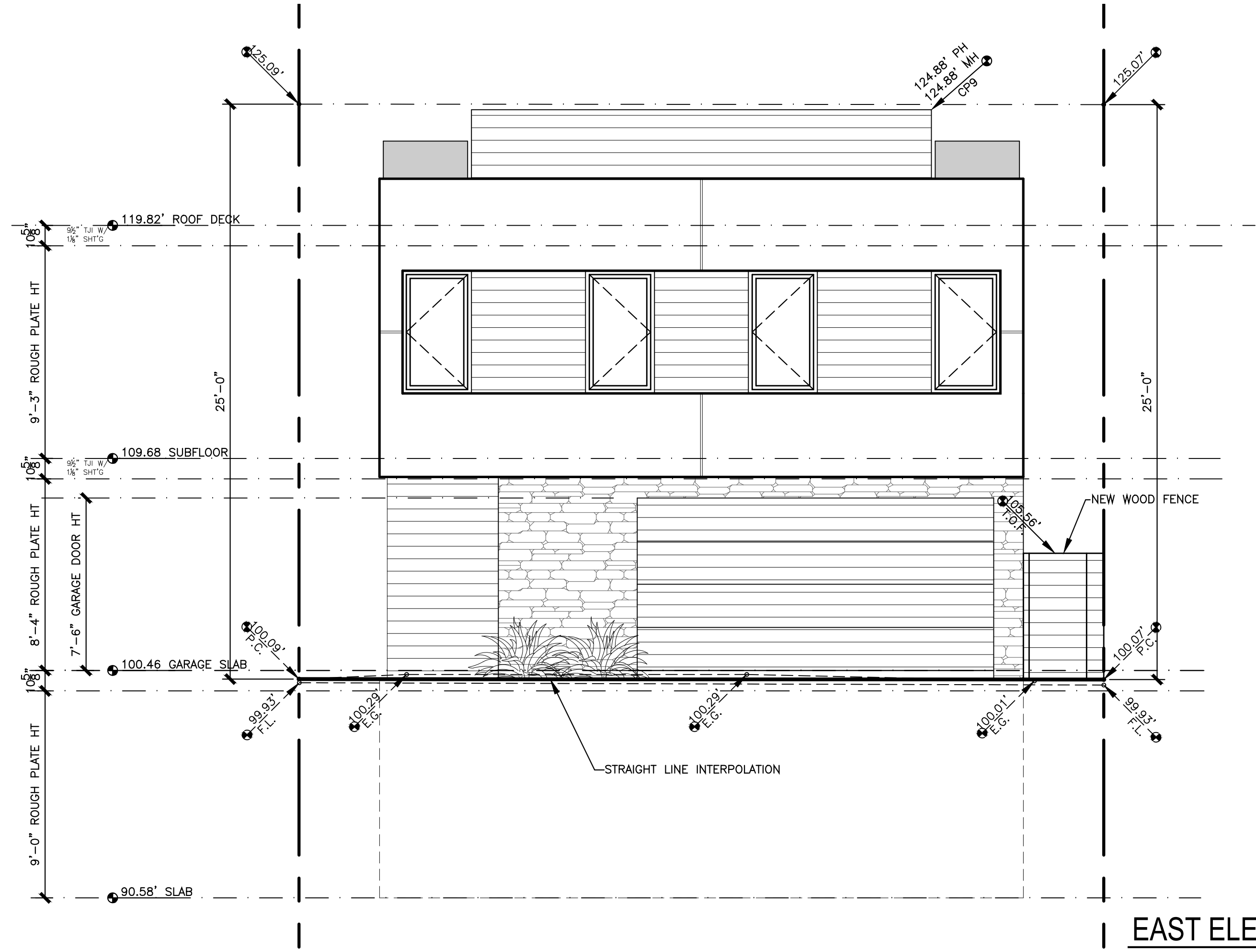
WEST ELEVATION

SCALE: 1/4"=1'-0"



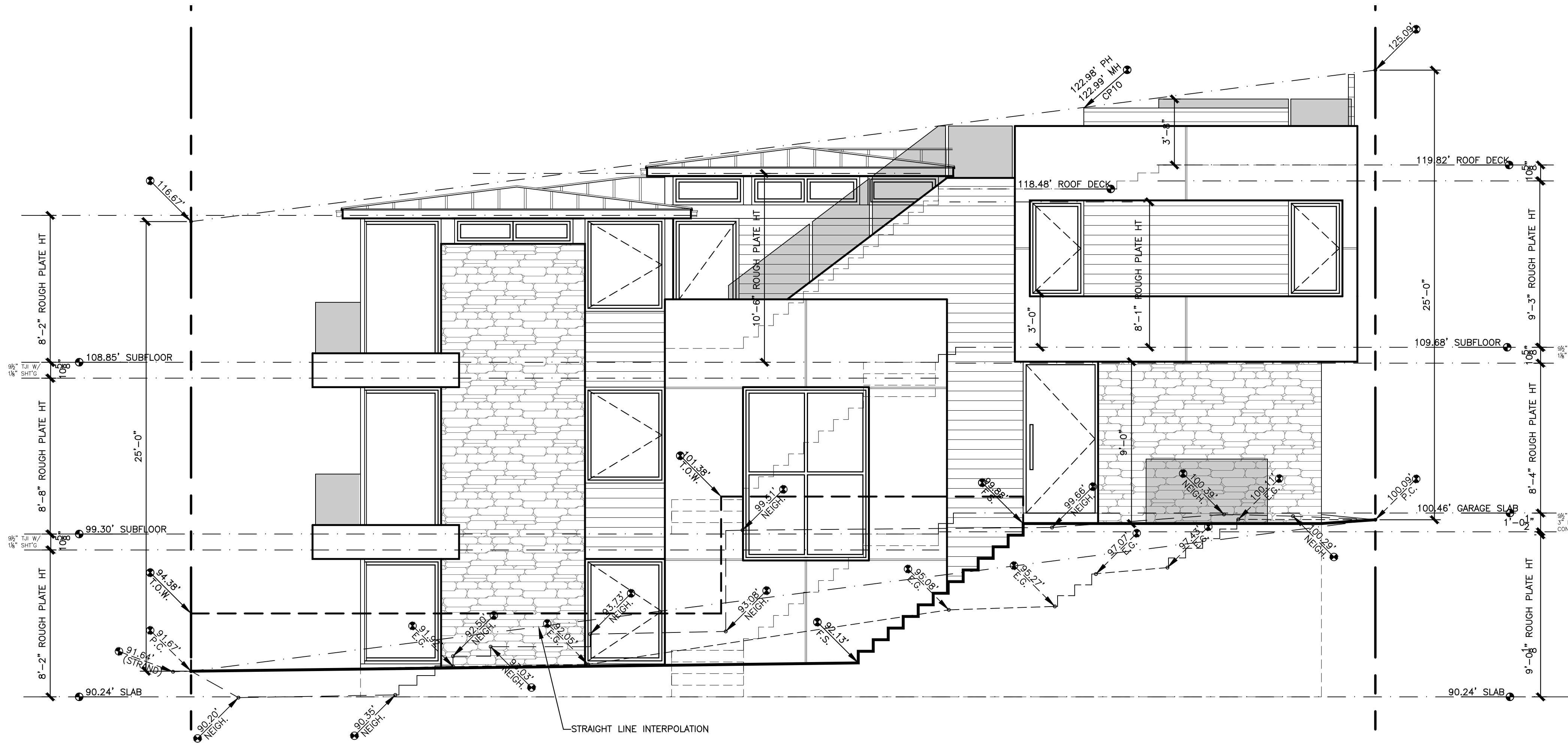
NORTH ELEVATION

SCALE: 1/4"=1'-0"



EAST ELEVATION

SCALE: 1/4"=1'-0"



SOUTH ELEVATION

SCALE: 1/4"=1'-0"

PROJECT
**A NEW
RESIDENCE**
3411 THE STRAND
HERMOSA BEACH
CALIFORNIA 90254

STAMP

PROJECT NUMBER
18025

PRINT DATE

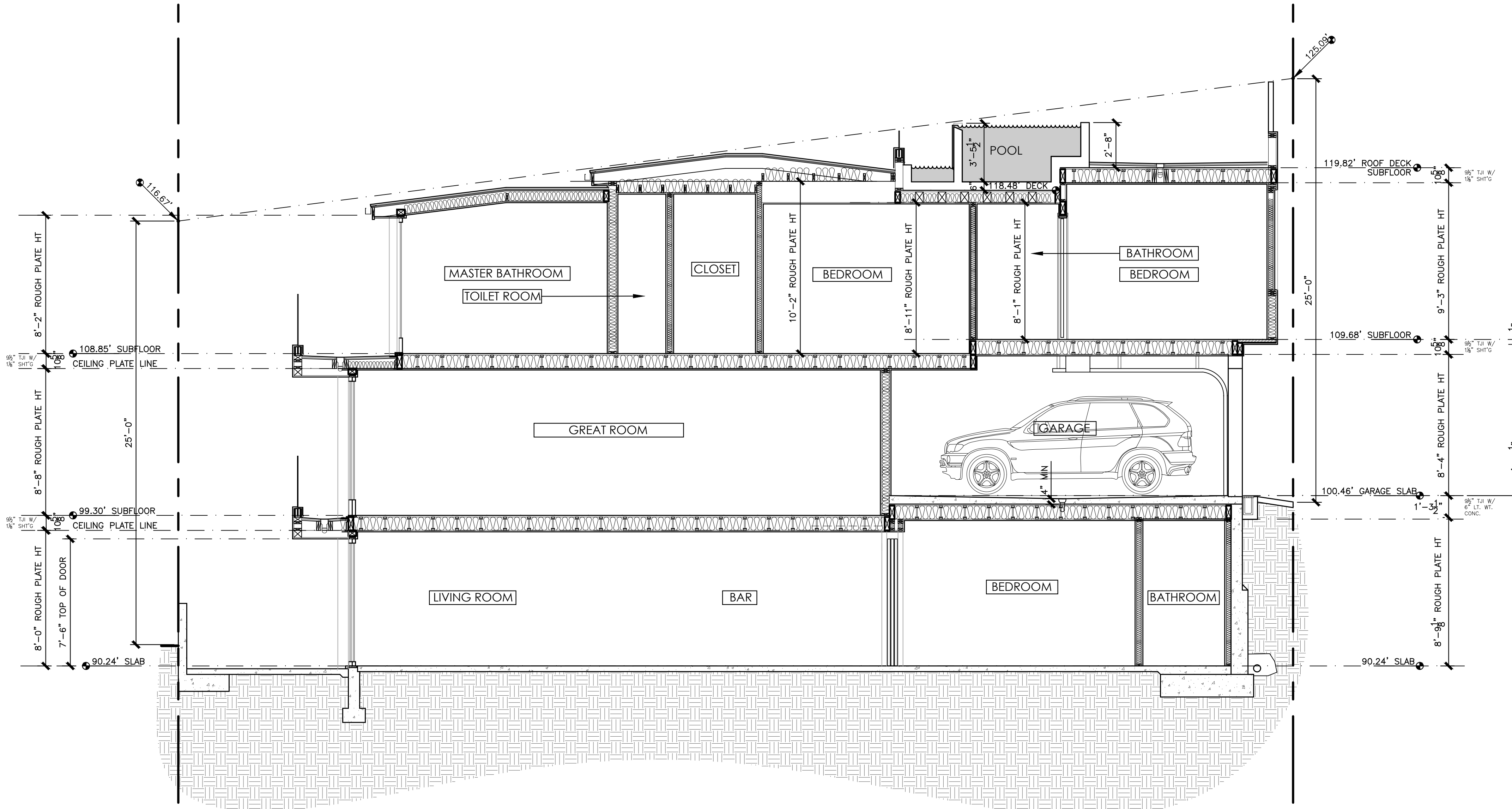
8/14/2019 2:34:55 PM

REVISIONS		
REVISION SCHEDULE		
NUMBER	DESCRIPTION	DATE

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DRAWING
SECTIONS

SHEET NUMBER
A.08



SECTION A
SCALE: 1/4"=1'-0"