

1515 MONTEREY BLVD. HERMOSA BEACH, CA 90254

PLAN REQUIREMENTS

- ALL UTILITIES SHALL BE UNDERGROUND, PLEASE CONTACT THE SO. CAL. EDISON COMPANY FOR THEIR REVIEW
- AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IS REQUIRED PER C.R.C. SECTION R313.2 & CITY CODE SECTION 15.06.060.
- A CLASS "A" ROOF IS REQUIRED PER CITY CODE SECTION 1505.6. THE ROOF SHALL ALSO MEET THE COOL ROOF REQUIREMENT.
- ALL SITE DRAINAGE SHALL BE TERMINATED AT PUBLIC WAY VIA NON-EROSIVE DEVICE PER HMC.
- PROTECT THE PEDESTRIAN PER C.R.C. SECTION R318.3 DURING CONSTRUCTION.
- BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET PER C.R.C. SECTION 319.1
- PROVIDE ROOF GUTTERS AND DOWNSPOUTS PER GREEN BUILDING CODE SECTION 4.410
- EAVE PROJECTION ENROACH INTO THE 5' SIDE YARD SHALL HAVE ONE HOUR FIRE ASSEMBLY OR HEAVY TIMBER PER C.R.C. TABLE R302.
- ALL EXTERIOR WALLS LOCATED WITHIN 5' OF PROPERTY LINE SHALL BE ONE HOUR FIRE RATED PER C.R.C. TABLE R302.1. OPENINGS IN THAT WALL ARE TO BE LIMITED TO 25% OF THE WALL AREA (WITH NO OPENINGS 3' OR LESS TO THE PROPERTY LINE.)

CAL-GREEN NOTES AND REQUIREMENTS

- INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS SHALL BE WEATHER-BASED.
- PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS.
- COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION.
- ADHESIVE, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH V.O.C. AND OTHER TOXIC COMPOUND LIMITS.
- PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH V.O.C. AND OTHER TOXIC COMPOUND LIMITS.
- AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED M.I.R. LIMITS FOR R.O.C. AND OTHER TOXIC COMPOUNDS. VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.
- CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH V.O.C. LIMITS.
- MINIMUM 50% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SECTION 4.504.4
- PARTICLE-BOARD, MEDIUM DENSITY FIBERBOARD (M.D.F.) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.
- INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS.
- CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE
- PROVIDE INSULATED LOUVERS/COVERS (MIN. R-4.2) WHICH CLOSE WHEN THE FAN IS OFF FOR THE WHOLE HOUSE EXHAUST FANS.
- DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED PER CAL-GREEN SECTION 4.507.2 HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.
- PLEASE PROVIDE A COPY OF THE OPERATION AND MAINTENANCE MANUAL TO THE BUILDING OCCUPANT OR OWNER ADDRESSING ITEMS 1 THROUGH 10 IN CAL-GREEN SECTION 4.401.1
- COOL ROOF: ROOFING MATERIALS SHALL HAVE A C.R.R.C. INITIAL OR 3-YEAR AGED THERMAL EMITTANCE EQUAL TO OR GREATER THAN THOSE SPECIFIED.
- PLEASE SUBMIT CONSTRUCTION WASTE MANAGEMENT PLAN PER CAL-GREEN SECTION 4.408.2 (OR IN ACCORDANCE WITH THE LOCAL ORDINANCE) DIVERT A MINIMUM OF 50% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE TO RECYCLE OR SALVAGE PER SECTION 4.408.1. PLEASE PROVIDE THE FOLLOWING INFORMATION ON THE PLAN:
 - MATERIALS WILL BE SORTED ON SITE.
 - MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGED FOR FUTURE REUSE OR RESALE.
 - DIVERSION FACILITY WHERE MATERIAL COLLECTED WILL BE TAKEN.
 - CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF WASTE GENERATED.
 - AMOUNT OF MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME.

ENERGY/ELECTRICAL/MECHANICAL/PLUMBING:

- PROVIDE CARBON MONOXIDE ALARM AT EACH LEVEL PER C.R.C. SECTION R315.3
 - ALL RECEPTACLES IN THE BEDROOM, THE DINING ROOM, HALLWAY, DEN, LIBRARIES, CLOSET, THE FAMILY ROOM, AND SIMILAR ROOMS SHALL BE ARC-FAULT CIRCUIT INTERRUPTER PER C.E.C. ARTICLE 210.12
 - ALL RECEPTACLES IN DWELLING UNITS SHALL BE TAMPER-RESISTANT RECEPTACLES PER C.E.C. ARTICLE 406.11
 - RECEPTACLES IN KITCHEN WALL COUNTER SHALL BE INSTALLED AT EACH WALL SPACE THAT IS 12" OR WIDER AND NOT MORE THAN 24" APART PER C.E.C. SECTION 210.52(c)
 - MAXIMUM 50% OF LIGHTING WATTAGE IN THE KITCHEN MAYBE NONE HIGH EFFICIENCY LIGHTING.
 - MAKEUP AIR OF EACH BATHROOM'S EXHAUST FAN AND THE KITCHEN HOOD SHALL BE PROVIDED FROM OUTSIDE DIRECTLY.
 - ALL LIGHTING IN BATHROOMS SHALL BE FLUORESCENT LIGHTING FIXTURES UNLESS THEY ARE CONTROLLED WITH VACANCY SENSOR.
 - ALL EXTERIOR LIGHTING FIXTURES SHALL BE HIGH EFFICIENCY UNLESS THOSE LIGHTING FIXTURES ARE CONTROLLED BY COMBINATION OF VACANCY SENSOR AND PHOTO SENSOR.
 - ALL LIGHTING IN THE BUILDING EXCEPT CLOSETS LESS THAN 70 SQUARE FEET IN AREA SHALL BE FLUORESCENT LIGHTING FIXTURE UNLESS LIGHTING ARE CONTROLLED WITH VACANCY SENSOR OR DIMMERS.
 - ELECTRICAL PANEL TO BE 200 AMPS.
 - LIGHTING FIXTURES IN THE CLOTH CLOSET SHALL BE SURFACE MOUNTED OR RECESSED INCANDESCENT FIXTURES WITH A COMPLETELY ENCLOSED LAMP PER C.E.C. ARTICLE 410.8 (B). THE LIGHTING FIXTURE SHALL HAVE A 6" CLEARANCE FROM THE STORAGE SPACE.
 - CONTROL VALVE FOR SHOWER OR TUB-SHOWER SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE PER U.P.C. 420.0
 - THE WATER HEATER SHALL BE STRAPPED AS PER C.P.C. SECTION 508.2 (ONE AT 1/2 FROM THE TOP AND ONE AT 1/2 FROM THE BOTTOM OF THE WATER HEATER.) AND MOUNTED ON AN 18" HIGH PLATFORM.
 - COOKING EQUIPMENT MUST BE LISTED FOR RESIDENTIAL USE.
 - PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE QUICK CLOSING OF THE QUICK-ACTING VALVES FROM THE WASHER AND DISHWASHER ETC. PER U.P.C. SECTION 609.10
 - A DEDICATED 20 AMP. CIRCUIT IS REQUIRED TO SERVE THE REQUIRED BATHROOM RECEPTACLES PER C.E.C. ARTICLE 210.11(c)3.
 - TWO 20-AMP SMALL APPLIANCE BRANCH CIRCUITS SERVING THE KITCHEN COUNTER RECEPTACLES SHALL HAVE NO OTHER OUTLETS PER C.E.C. ARTICLE 210.52(b)
 - GAS WATER HEATERS SHALL NOT BE PLACED AT CLOTH CLOSET, BEDROOMS & BATHROOMS.
 - PROVIDE WHOLE HOUSE INDOOR AIR QUALITY VENTILATION BY MEANS OF CONTINUOUS EXHAUST VENTILATION, SUPPLY VENTILATION OR A COMBINATION OF BOTH EXHAUST AND SUPPLY VENTILATION IN EACH INDIVIDUAL DWELLING UNIT. SPECIFY THE REQUIRED C.F.M. PER 2010 C.E.C. SECTION 150(c) AND ASHRAE 62.2. IDENTIFY THE MECHANICAL APPLIANCE PROVIDING THE CONTINUOUS VENTILATION.
- INSTALL IN LAUNDRY PANASONIC WHISPER-GREEN VENTILATION FAN FV-11VK3 110 C.F.M.
- PROVIDE EXHAUST FAN IN KITCHEN AREA FOR LOCAL VENTILATION INDOOR AIR QUALITY REQUIREMENTS PER 2010 CALIFORNIA ENERGY CODE SECTION 150(c) AND ASHRAE 62.2. SPECIFY MINIMUM AIRFLOW RATE OF 100 C.F.M.
 - PROVIDE A RECEPTACLE AT FRONT OF BUILDING AND REAR OF BUILDING.

ASHRAE TABLE 4.1 (1-P)
Ventilation Air Requirement CFM
per ASHRAE Standard 62.2-2012 User's Manual

Floor Area (ft ²)	Bedrooms
<1500	30 45 60 75 90
1501-3000	45 60 75 90 105
3001-4500	60 75 90 105 120
4501-6000	75 90 105 120 135
6001-7500	90 105 120 135 150
>7500 105	120 135 150 165

PLAN CHECK NOTES:

- THE POOL SHALL BE EQUIPPED WITH A POWERED SAFETY COVER IN COMPLIANCE WITH ASTM F 1346
- CONDUIT WILL BE PROVIDED FROM THE ELECTRIC SERVICE PANEL TO THE ROOF TO ACCOMMODATE FOR FUTURE SOLAR INSTALLATION PURSUANT TO HMC SECTION 15.32.140.
- WITHIN 2' FRONT YARD SETBACK AREA THE MAXIMUM FENCE AND WALL HEIGHT IS 42"

PROJECT DESCRIPTION

NEW THREE-STORY SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE.

DEVELOPMENT PROGRAM

PROJECT LOCATION: 1515 MONTEREY BLVD. HERMOSA BEACH, CA 90254.
OWNER'S NAME: STEVE LAZAR
ADDRESS: 1507 CURTIS AVE. MANHATTAN BEACH, CA 90266
LEGAL DESCRIPTION: PORTION OF LOT 24, TRACT NO. 1069 M.B. 17-136
TEL: 310-617-8167
ZONING: R-3

A.P.N.: 4183-013-030

GENERAL BUILDING INFORMATION

LOT AREA: 1144.74 SQ.FT. TOTAL BUILDING AREA: 1289 SQ.FT.

	UNIT 1	UNIT 2
1ST LEVEL LIVING AREA:	434	
GARAGE:	193	
2ND LEVEL LIVING AREA:	143	
DECKS/BALCONIES:	0	
3RD LEVEL LIVING AREA:	513	
DECKS/BALCONIES:	230	
TOTAL LIVING AREA:	1696	
TOTAL DECKS/BALCONIES:	230	
NO. OF BEDROOMS:	3	
NO. OF BATHROOMS:	3	

ZONING INFORMATION

AREA:	REQUIRED	PROVIDED
LOT AREA PER DWELLING UNIT	65% of 1144.74 SQ.FT. = 741 SQ.FT.	743 SQ.FT. 64.6%
YARDS		
FRONT	2'	2'
SIDE	3'	3'
REAR	5'	5'
PARKING AND DRIVENWAYS		
NO. OF SPACES:	2	2
NO. OF GUEST SPACES:	1	2
PARKING SETBACK:	1' BACK OF SIDEWALK	1' BACK OF SIDEWALK
PARKING STALL DIMENSION	8.5'W X 20'D	4' X 20'
TURNING AREA	23'	23'
DRIVEWAY WIDTH	4'	10'-0"
DRIVEWAY MAXIMUM SLOPE	12.5%	2% MAX.
FENCES/WALLS:		
HEIGHT FROM FINISHED SURFACE	6' SIDE & REAR, 42" FRONT	6' SIDE & REAR, 42" FRONT
LINEAL FEET	300'	100'
OPEN SPACE:		
TOTAL	300	230 VARIANCE REQUEST
PRIVATE (PER UNIT)	UNIT 1 300	230 VARIANCE REQUEST
	UNIT 2	
	UNIT 3	
	UNIT 4	

PROJECT CONTACT:

DESIGNER:
STEVE LAZAR
LAZAR DESIGN BUILD
1215 HIGHLAND AVE.
MANHATTAN BEACH, CA 90266
310-401-4687

OWNER:
STEVE LAZAR
310-901-4687

SURVEYOR:
DENN ENGINEERING
3914 DEL AMO BLVD. STE 421
TORRANCE, CA 90503
310-542-9433

STRUCTURAL ENGINEER:
PAUL CHRISTENSEN P.E.
(160) 207-1885

CIVIL ENGINEER:
LIONEL GARGIA, P.E.
(310) 244-8111

SYMBOL LEGEND

C.L. CENTER LINE
P.L. PROPERTY LINE
(E) EXISTING
(N) NEW
V.I.F. VERIFY IN FIELD
TYP. TYPICAL
UN. UNLESS OTHERWISE NOTED
MC. MEDICINE CABINET
CLR. CLEAR
WH. WATER HEATER
F.C. FINISHED CONCRETE
F.F. FINISHED FLOOR
F.G. FINISHED GRADE
T.M. TOP OF MALL
DS. DOWNSPOUT
INV. INVERTED ELEVATION
FL. FLOW
WM. WATER METER
R. RADIUS
TOS. TOP OF GRATE
G. GAS METER
E. ELECTRICAL SERVICE PANEL
AC. AIR CONDITIONING UNIT

PROJECT CODES

2016 CBC CALIFORNIA RESIDENTIAL CODE
2016 CBC CALIFORNIA BUILDING CODE
2016 CMG CALIFORNIA MECHANICAL CODE
2016 CPC CALIFORNIA PLUMBING CODE
2016 CEC CALIFORNIA ELECTRICAL CODE
2016 TITLE 24 ENERGY CODE
2016 CGBSC CALIFORNIA GREEN BUILDING STANDARDS CODE
CITY OF HERMOSA BEACH MUNICIPAL CODE

PROJECT SUMMARY

SETBACKS: FRONT -2'
REAR -5' MIN.
SIDE - 3' MIN.
ZONE: R-3

HEIGHT LIMIT: 30'

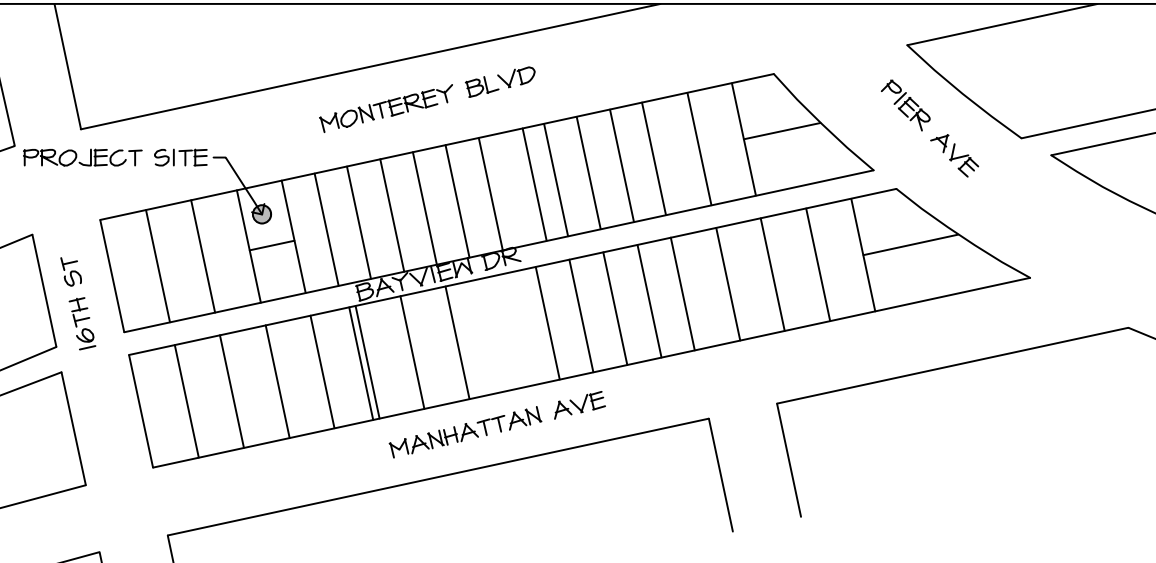
OCCUPANCIES: R-3 AT LIVING, U AT GARAGE

TYPE OF CONSTRUCTION: TYPE V-B NON-RATED
SPRINKLERED

PARKING: 2 ENCLOSED + 1 GUEST PER UNIT 8.5'X20'
USABLE OPEN SPACE: 300 SQ.FT., MIN. 7' DIMENSION
PROVIDED: 230 SQ.FT. AT 3RD FLOOR DECK

AREAS

LOT AREA: 29,10' x 39,50' = 1,144.5'
LOT COVERAGE: 1,144.5'(70) = 804.81' SQ.FT. MAX. ALLOWABLE
740 SQ.FT. PROVIDED = 64%



1307 Curtis Avenue
Manhattan Beach
California 90266
Tel. (310) 617-8167
info@dsouthswell.com
www.dsouthswell.com

DESIGN + BUILD BY
Southswell

PROJECT: NEW SINGLE FAMILY RESIDENCE

CLIENT: STEVE LAZAR

ADDRESS: 1515 MONTEREY BLVD., HERMOSA BEACH, CA 90254

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2019-03-19



DESIGN + BUILD BY
Southwell

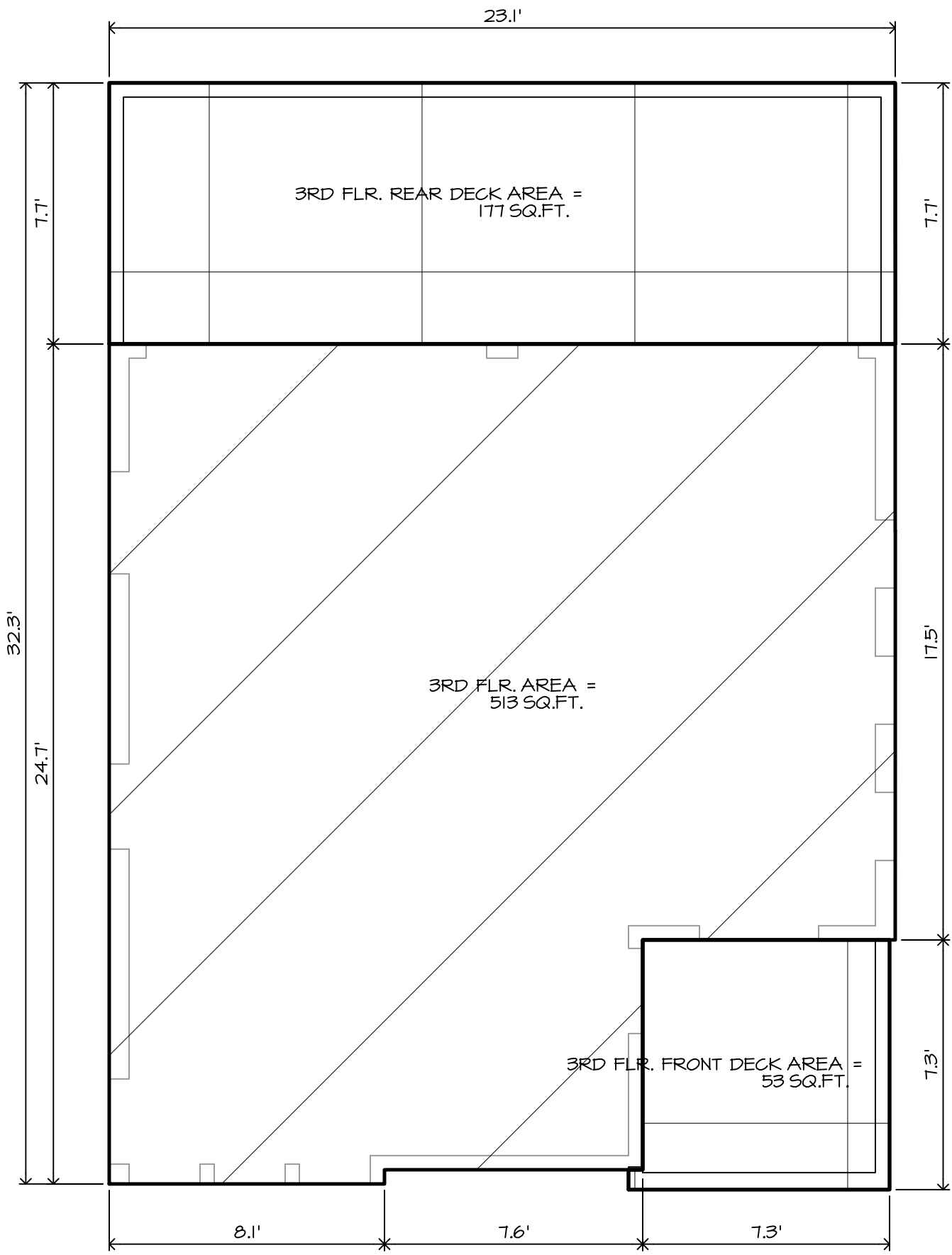
PROJECT: NEW SINGLE FAMILY RESIDENCE

CUSTOMER: STEVE LAZAR

ADDRESS: 1515 MONTEREY BLVD., HERMOSA BEACH, CA 90254

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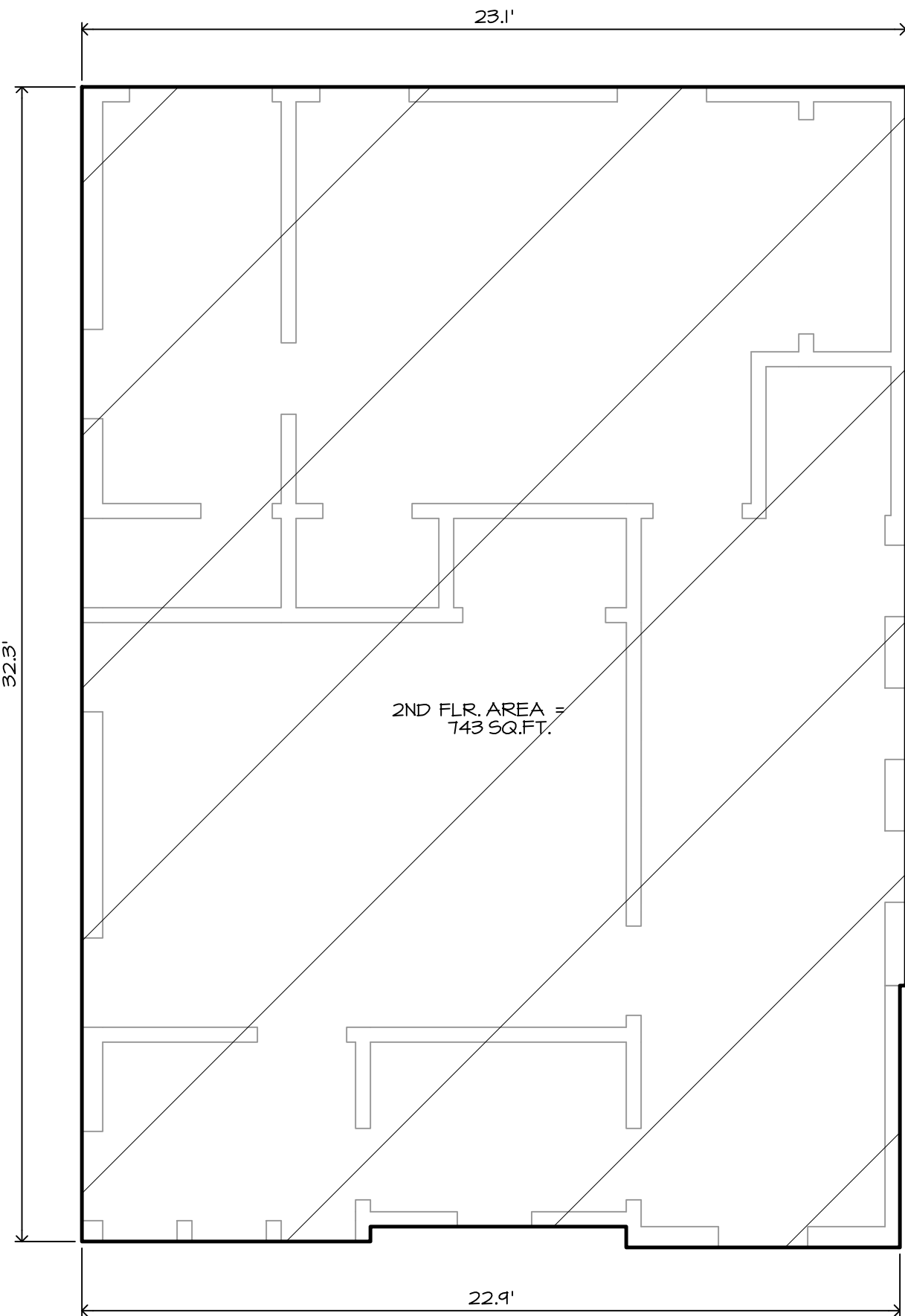
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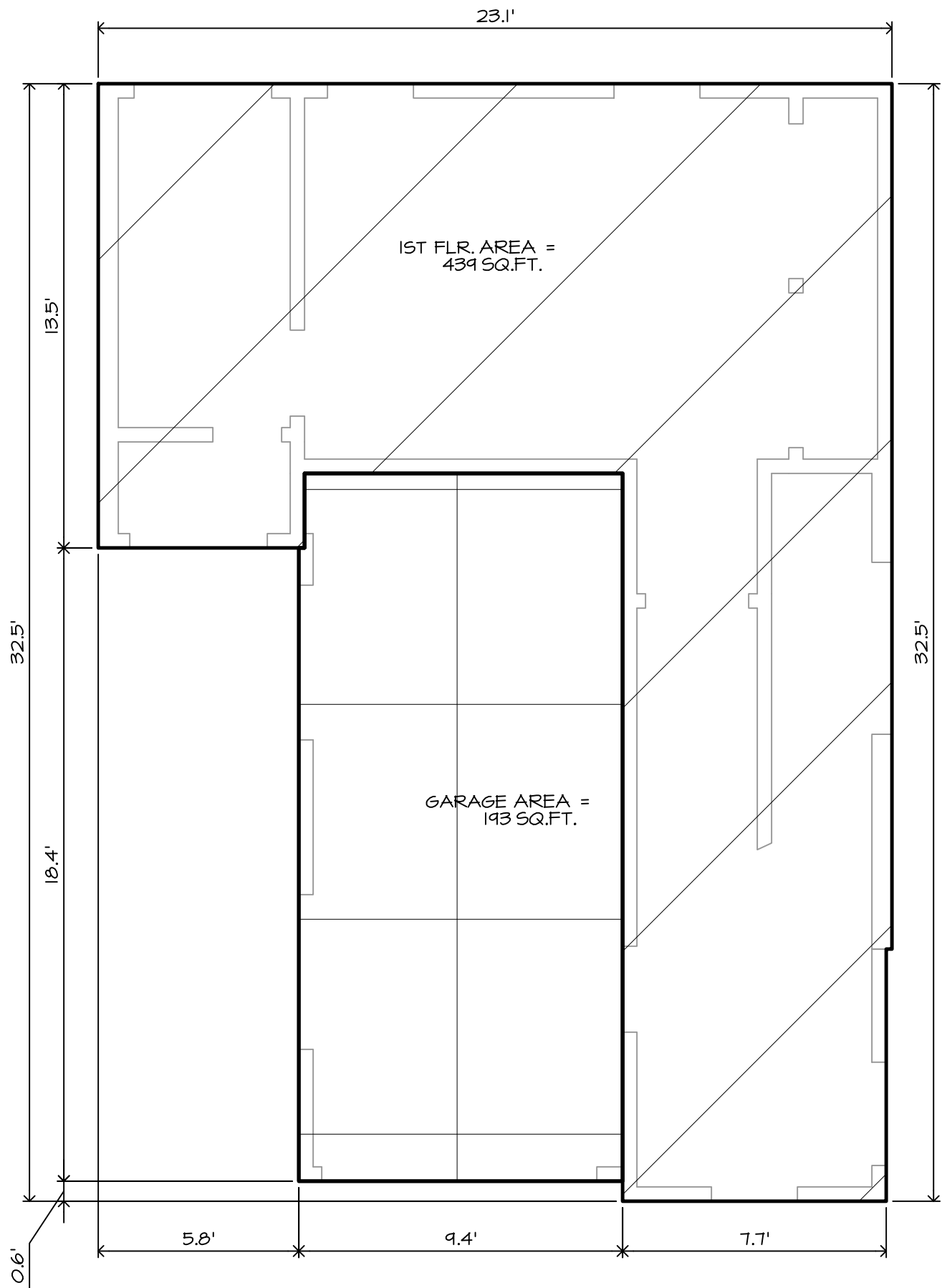
3RD FLR. AREA = 513 SQ.FT.
3RD FLR. REAR DECK AREA = 177 SQ.FT.

LIVING AREA		
	AREA	SQ.FT.
1ST FLR.		434
2ND FLR.		743
3RD FLR.		513
		1,696

BUILDING AREA		
	AREA	SQ.FT.
1ST FLR.		434
2ND FLR.		743
3RD FLR.		513
3RD FLR. FRONT DECK		53
3RD FLR. REAR DECK		177
GARAGE		143
		2,120

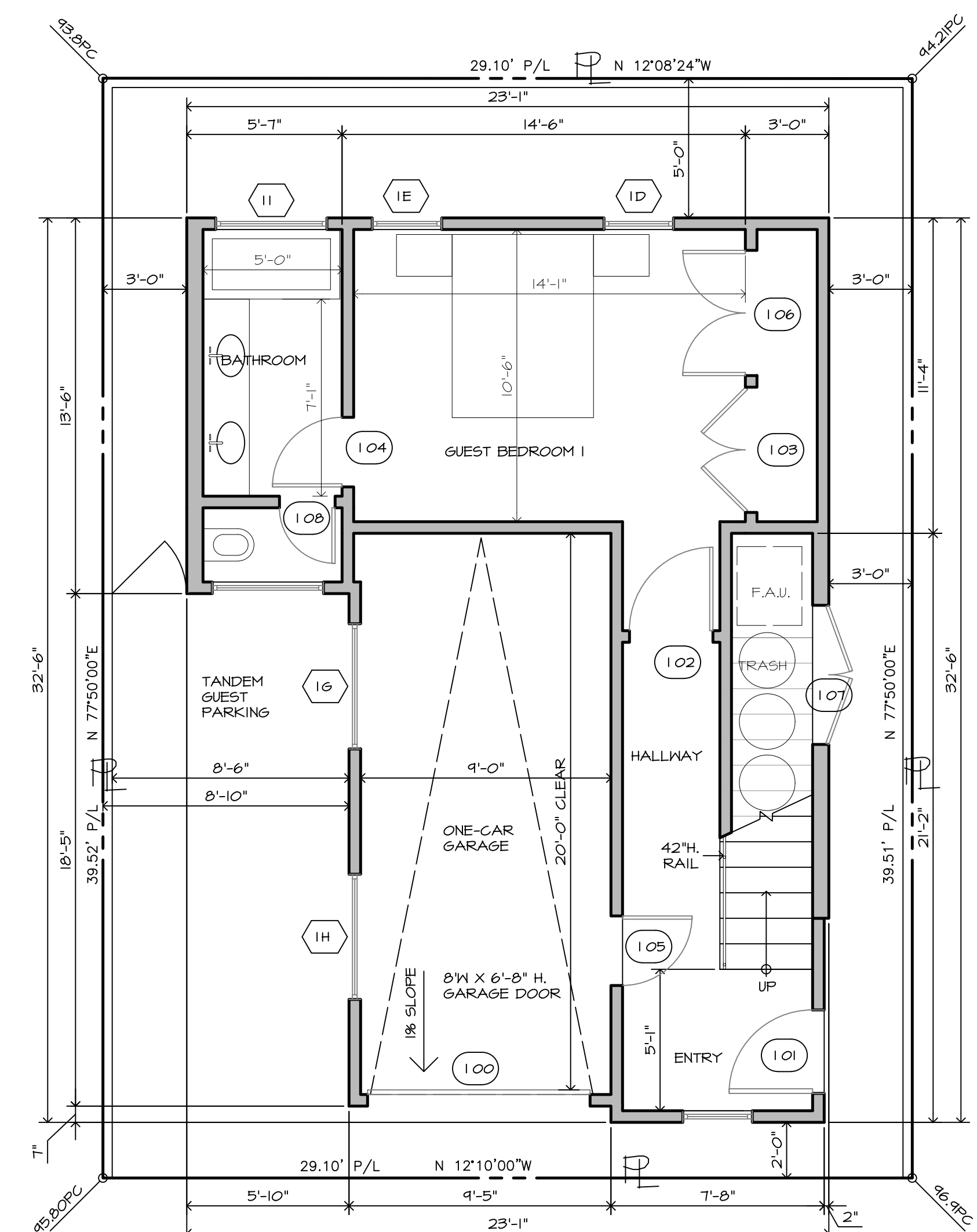
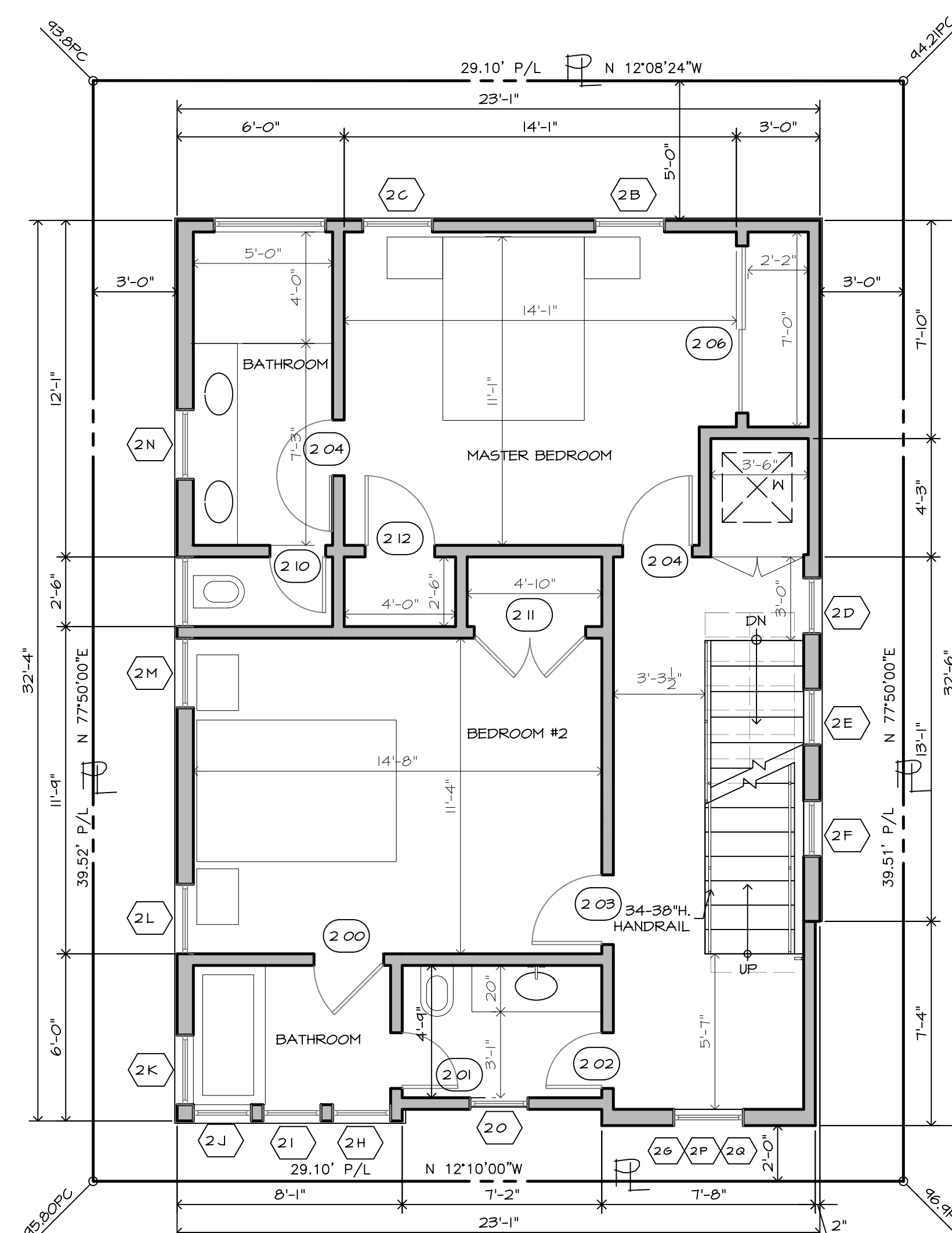
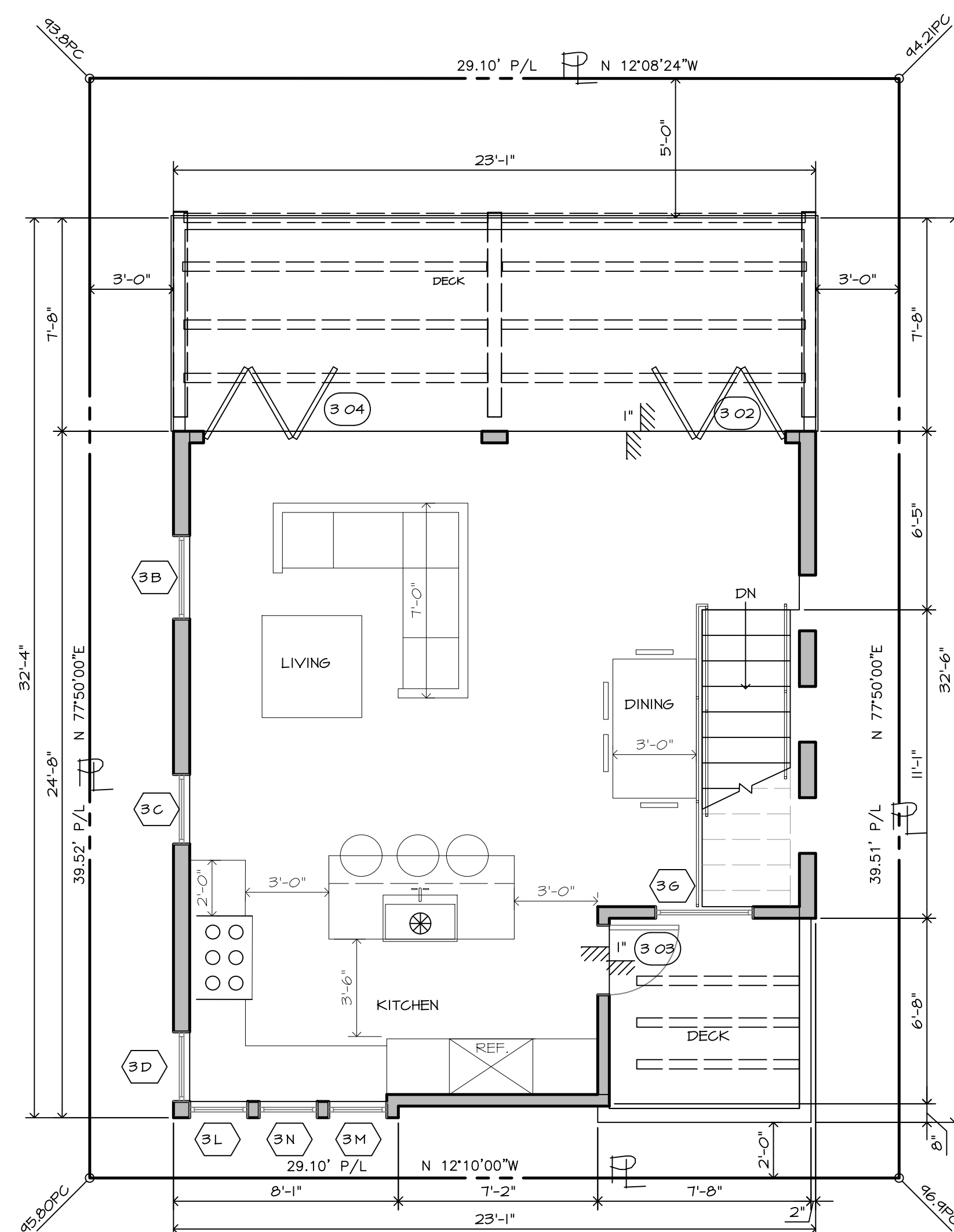


2ND FLR. AREA = 743 SQ.FT.



1ST FLR. AREA = 434 SQ.FT.
GARAGE AREA = 143 SQ.FT.

AREA ANALYSIS PLAN






AREA CALCULATION

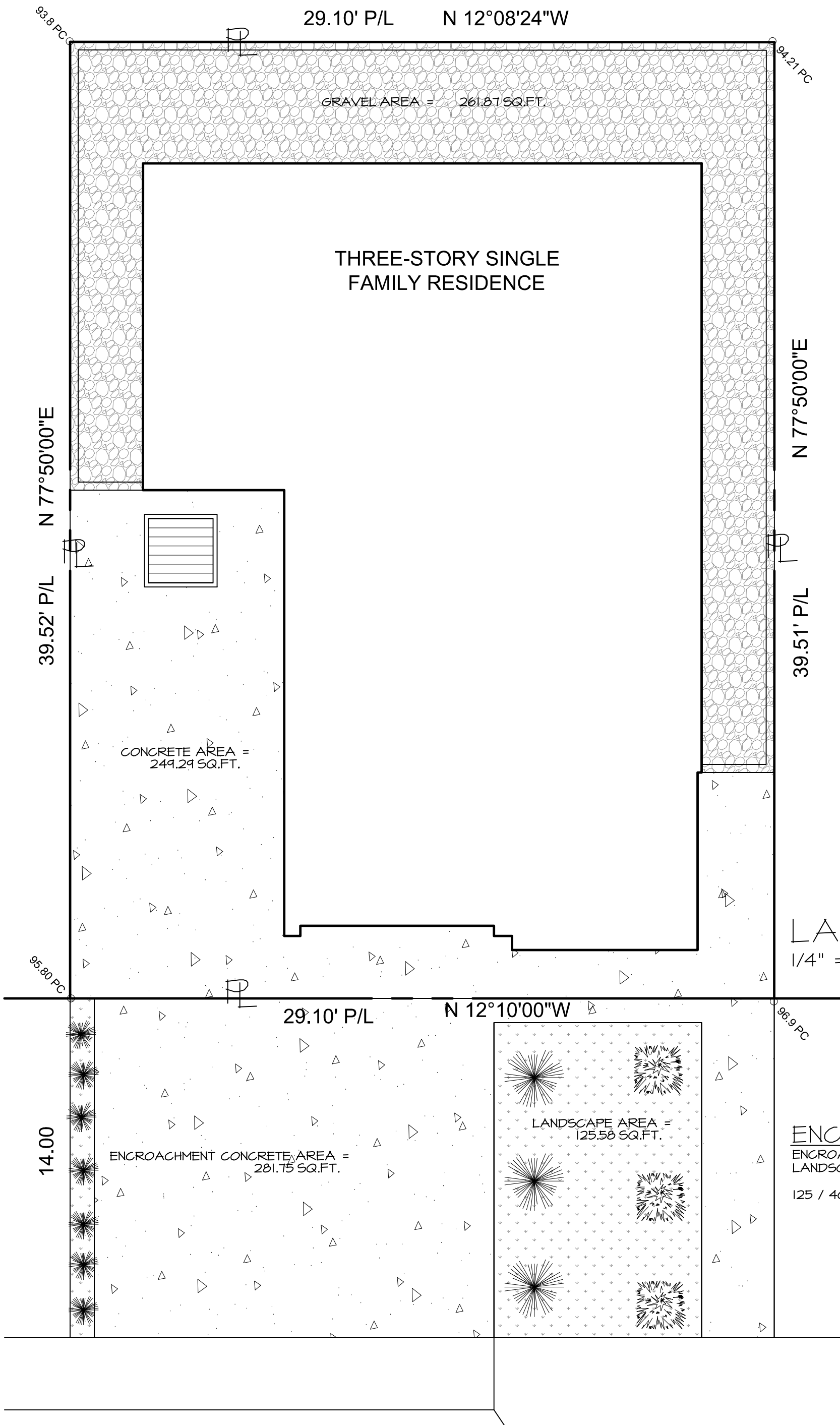
LOT AREA 1,150 SQ.FT.
BUILDING FOOTPRINT 629 SQ.FT.
HARDSCAPE AREA 244 SQ.FT.
LANDSCAPE AREA 262 SQ.FT.

IRRIGATION SYSTEMS AND SPECIFICATIONS:
AUTOMATIC SPRINKLER SYSTEM BY RAIN BIRD ESP-SMT SMART CONTROL SYSTEM.

PROPOSED LANDSCAPING FOR: PROJECT ADDRESS 117 BARNEY CT, HERMOSA BEACH
THE CHART BELOW IS BASED ON INFORMATION FROM NUGOLS WATER USE CLASSIFICATION OF LANDSCAPE SPECIES.

PERMEABLE SURFACES CALCULATION	
BUILDING FOOTPRINT	629 SQ.FT.
LOT AREA	1,150 SQ.FT.
$1,150 - 629 = 521$	
50% MIN PERMEABLE REQUIRED $= 521 / 2 = 261 \text{ SQ.FT.}$	
PROVIDED = 262 SQ.FT.	
NOTE: 50% OUTSIDE OF BUILDING FOOTPRINT MUST BE OF PERMEABLE NATURE. HERMOSA BEACH MUNICIPAL CODE 8.56, 8.60.060, 8.60.070	

PLANT LEGEND								
SYMBOL	VEGETATION TYPE	BOTANICAL NAME	COMMON NAME	REGIONAL EVALUATIONS WATER NEEDS	SIZE	DIAMETER (PLANTING MATURED)	HEIGHT (PLANTING MATURED)	QUANTITY
	Shrub/ Succulent	Calliandra Eriophylla	Fairy Duster	Very LOW	1 GAL	1'	1'	2
	Perennial	Muhlenbergia Rigens	Deer Grass	LOW	1 GAL	2'-4'	1'-2'	6
	Groundcover/ Succulent	Senecio Mandraliscae	Kleinia	LOW	1 GAL	3'	1'	17

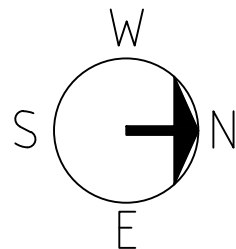
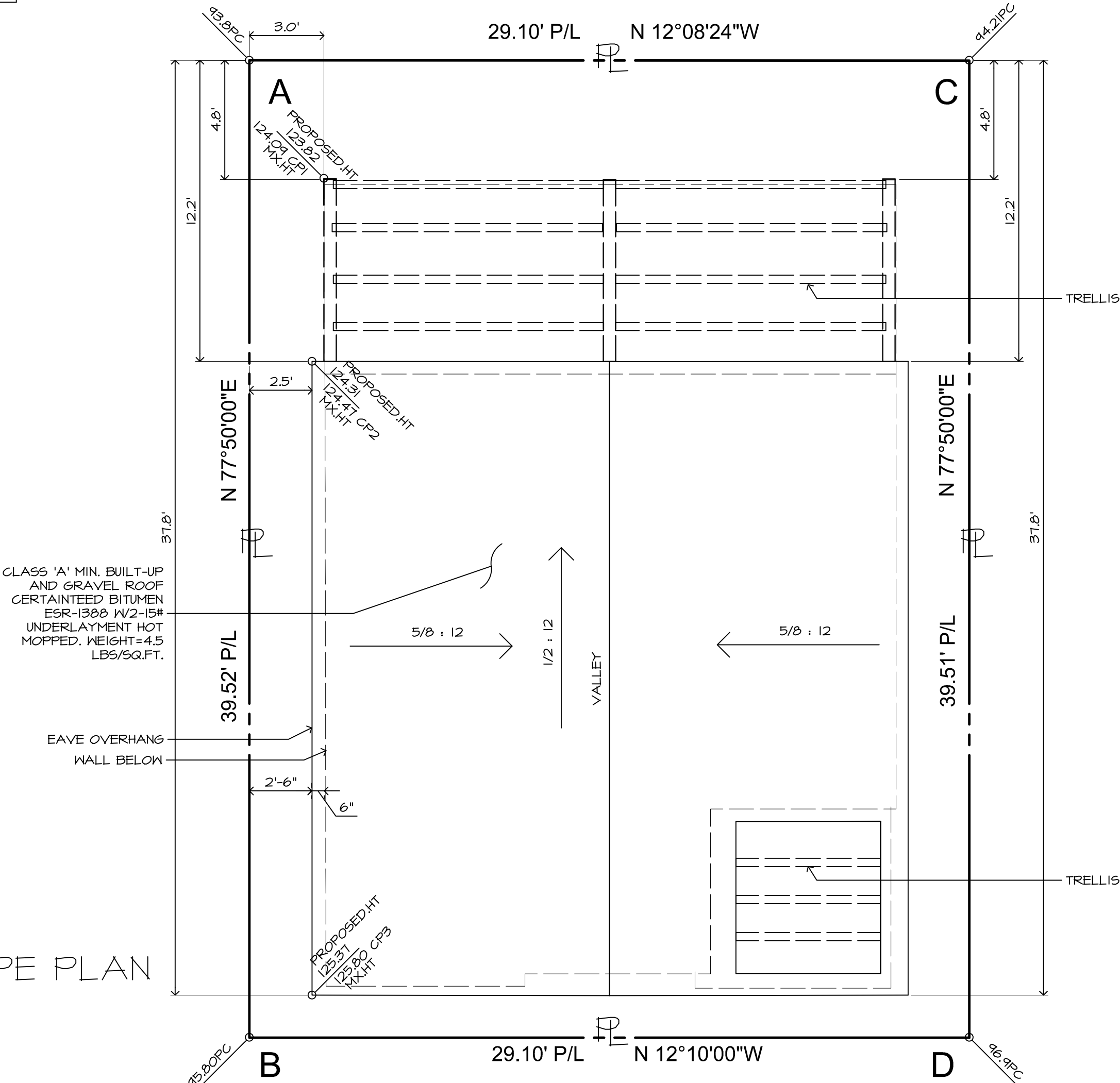


Elev. Pt. A	93.8	
Elev. Pt. B	95.8	
Length A-B	39.52	
Length A-AB'	4.8	
	Elev. AB':	94.042915
Elev. Pt. C	94.21	97.43
Elev. Pt. D	96.9	100.02
Length C-D	39.51	
Length C-CD'	4.8	
	Elev.CD':	94.5368033
Length AB'-CD'	29.1	
Length AB'-CP1	3	
	Elev. CP1:	94.0938313
Height Limit	30	
Max. Hgt. @ CP1:	124.0938313	

Elev. Pt. A	93.8	
Elev. Pt. B	95.8	
Length A-B	39.52	
Length A-AB'	12.2	
	Elev. AB':	94.41740891
Elev. Pt. C	94.21	
Elev. Pt. D	96.9	
Length C-D	39.51	
Length C-CD'	12.2	
	Elev.CD':	95.04062516
Length AB'-CD'	29.1	
Length AB'-CP1	2.5	
	Elev. CP1:	94.47094982
Height Limit	30	
Max. Hgt. @ CP2:	124.47095	

Elev. Pt. A	93.8	
Elev. Pt. B	95.8	
Length A-B	39.52	
Length A-AB'	37.8	
	Elev. AB':	95.7129555
Elev. Pt. C	94.21	
Elev. Pt. D	96.9	
Length C-D	39.51	
Length C-CD'	37.8	
	Elev.CD':	96.7835763
Length AB'-CD'	29.1	
Length AB'-CP1	2.5	
	Elev. CP1:	95.8049332
Height Limit	30	
Max. Hgt. @ CP3:	125.8049332	

Elev. Pt. A	93.8	
Elev. Pt. B	95.8	
Length A-B	39.52	
Length A-AB'	37.8	
	Elev. AB':	95.7129555
Elev. Pt. C	94.21	
Elev. Pt. D	96.9	
Length C-D	39.51	
Length C-CD'	37.8	
	Elev.CD':	96.7835763
Length AB'-CD'	29.1	
Length AB'-CP1	2.5	
	Elev. CP1:	95.8049332
Height Limit	30	
Max. Hgt. @ CP3:	125.8049332	



ROOF PLAN
1/4" = 1'-0"

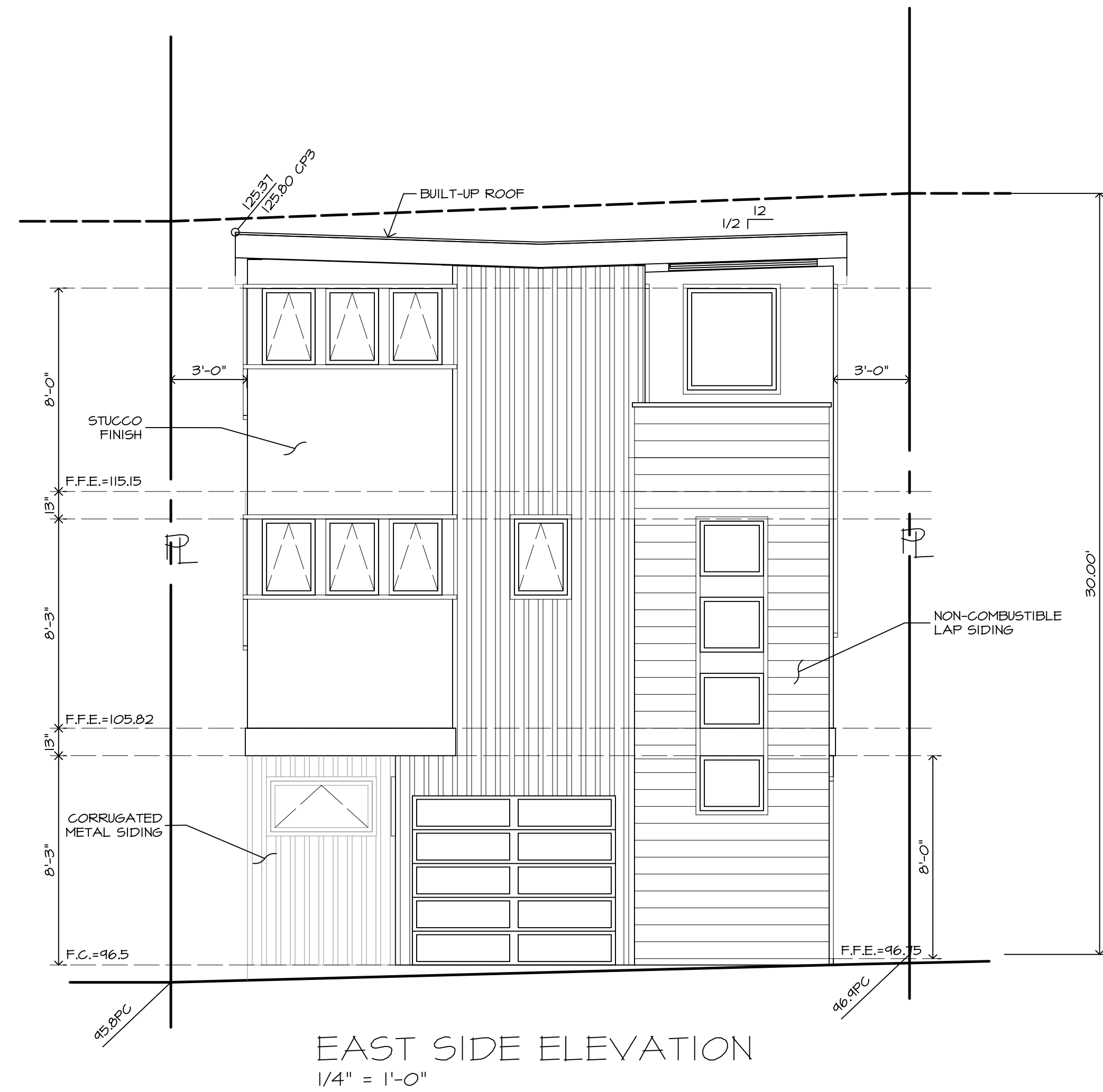
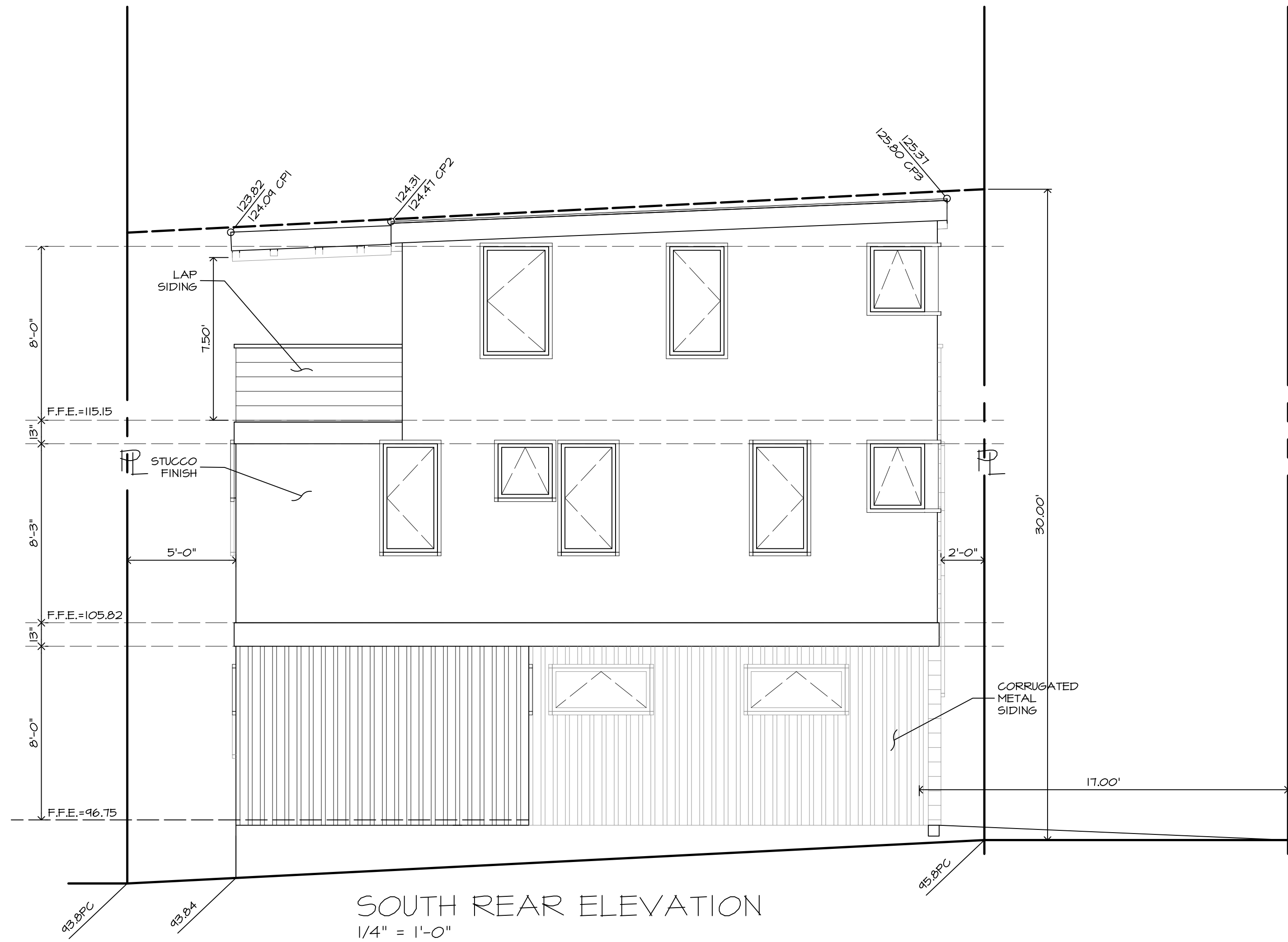
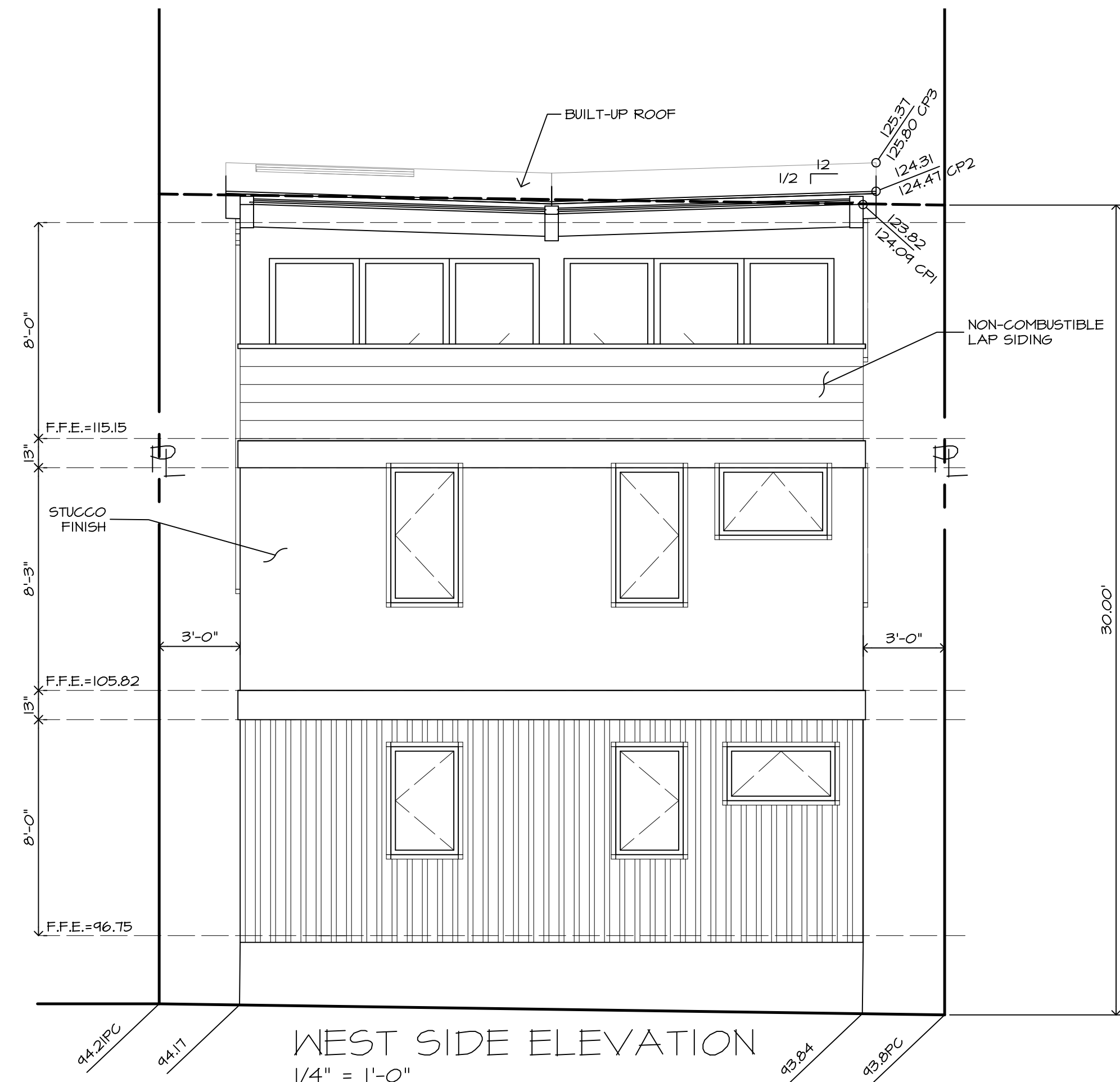
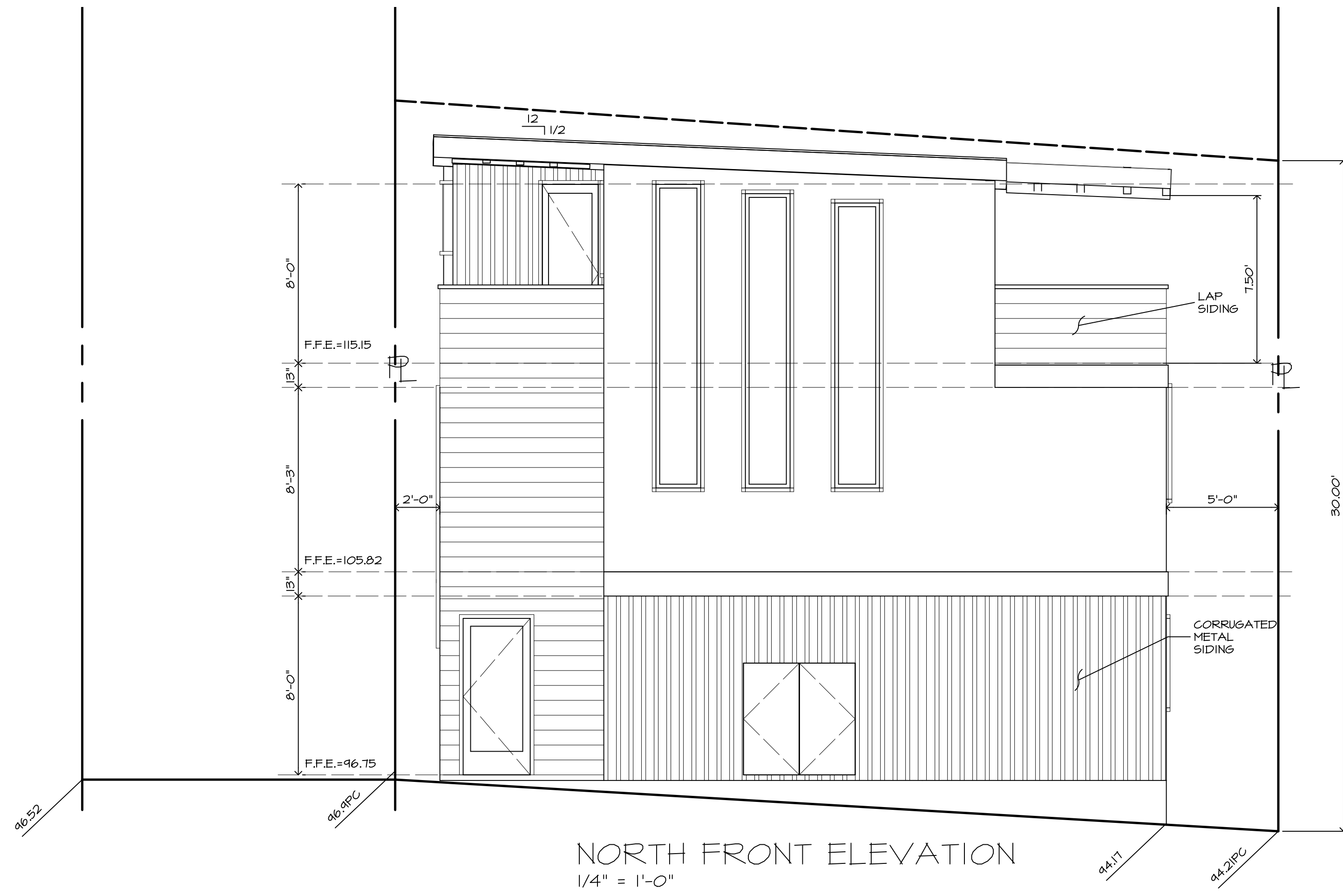
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CLIENT: STEVE LAZAR
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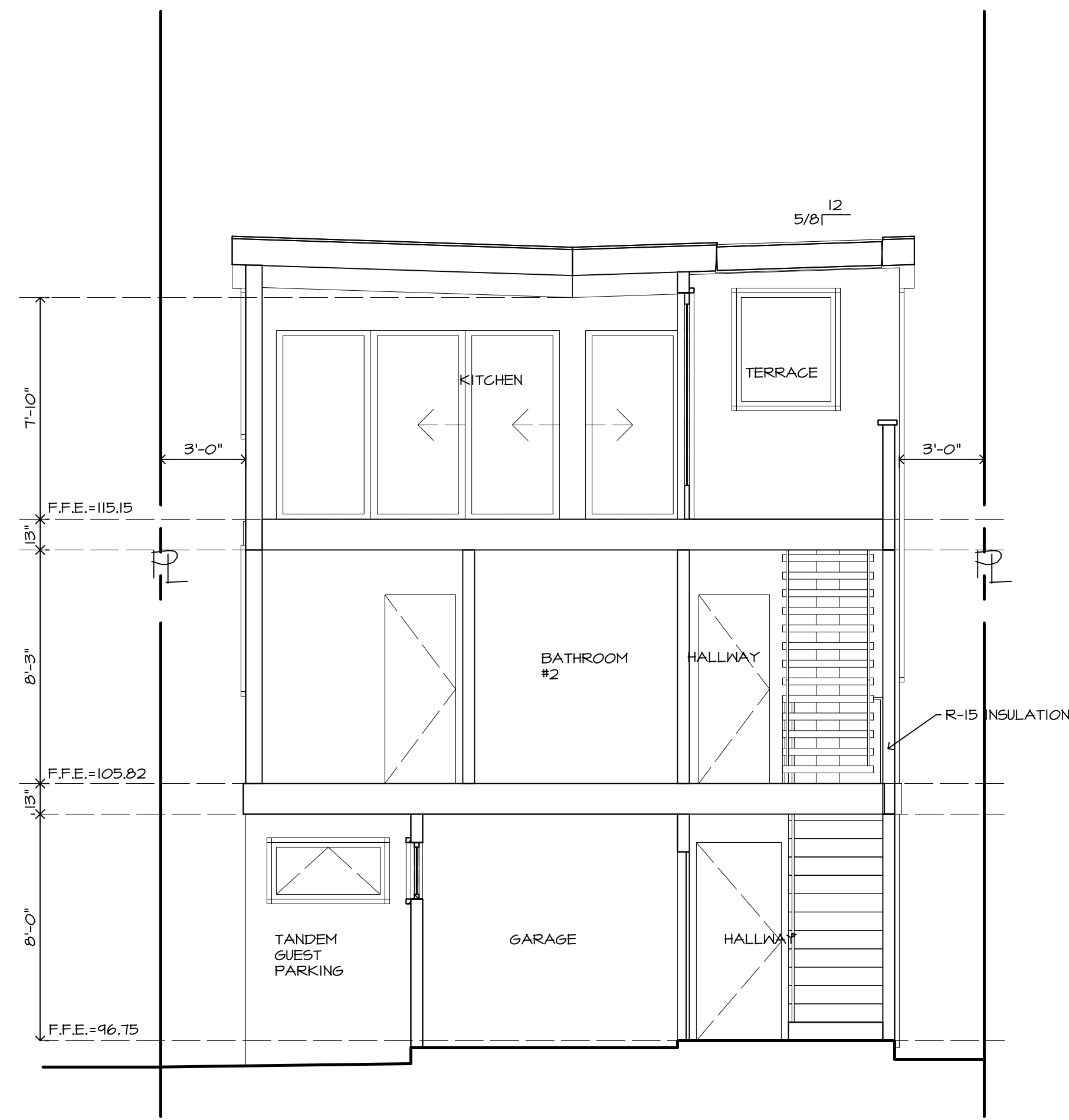
DESIGN + BUILD BY
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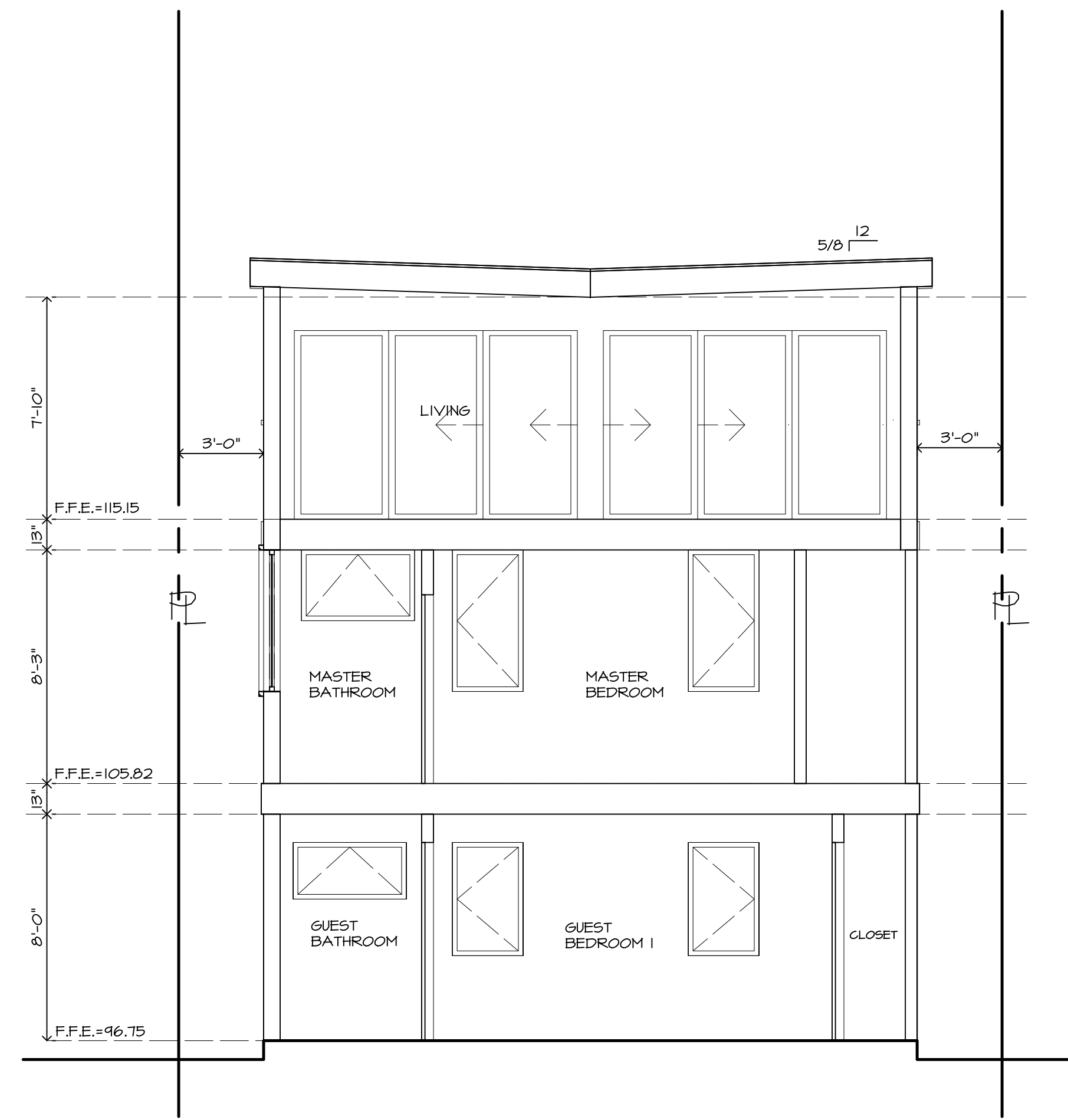
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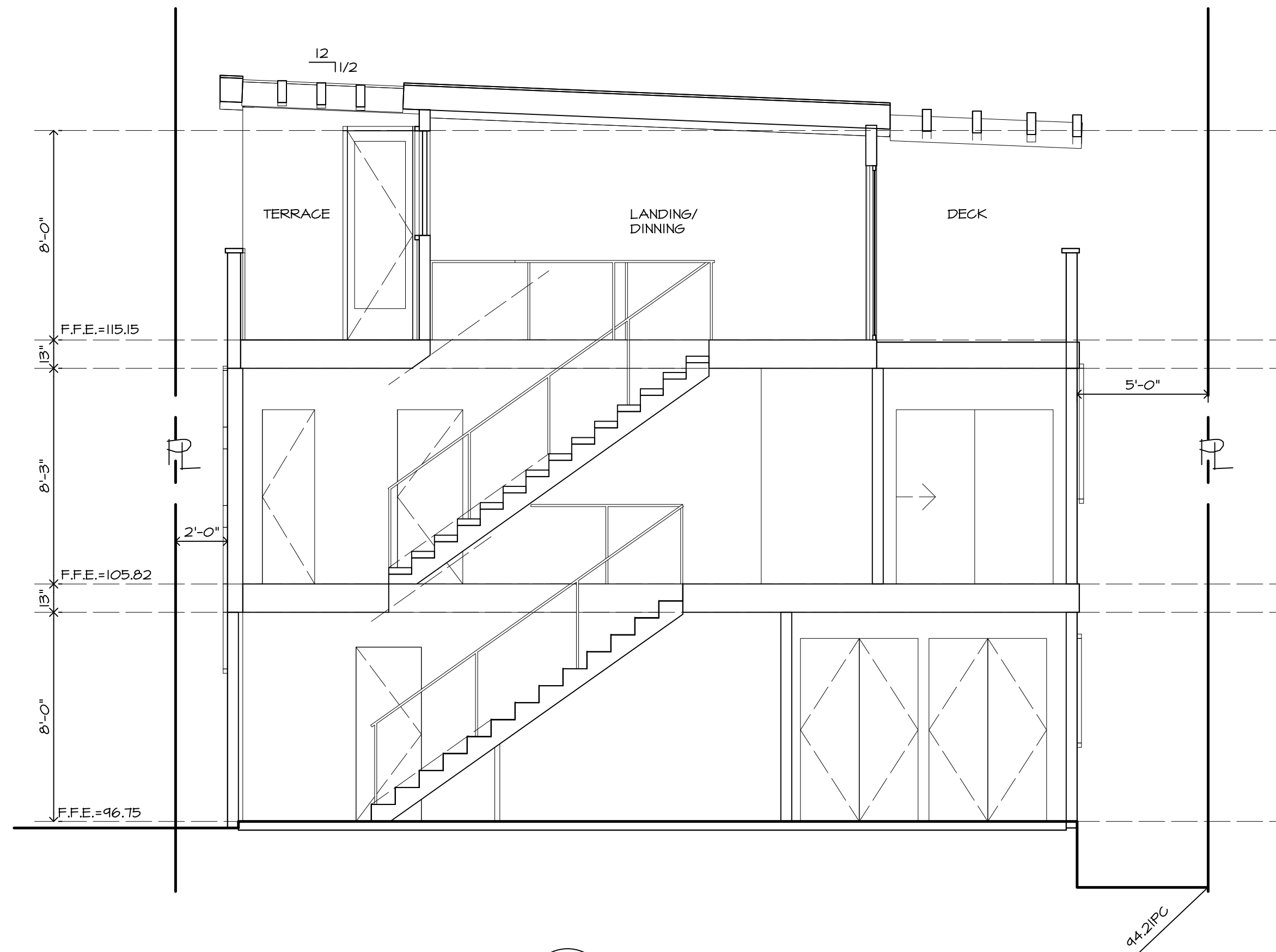




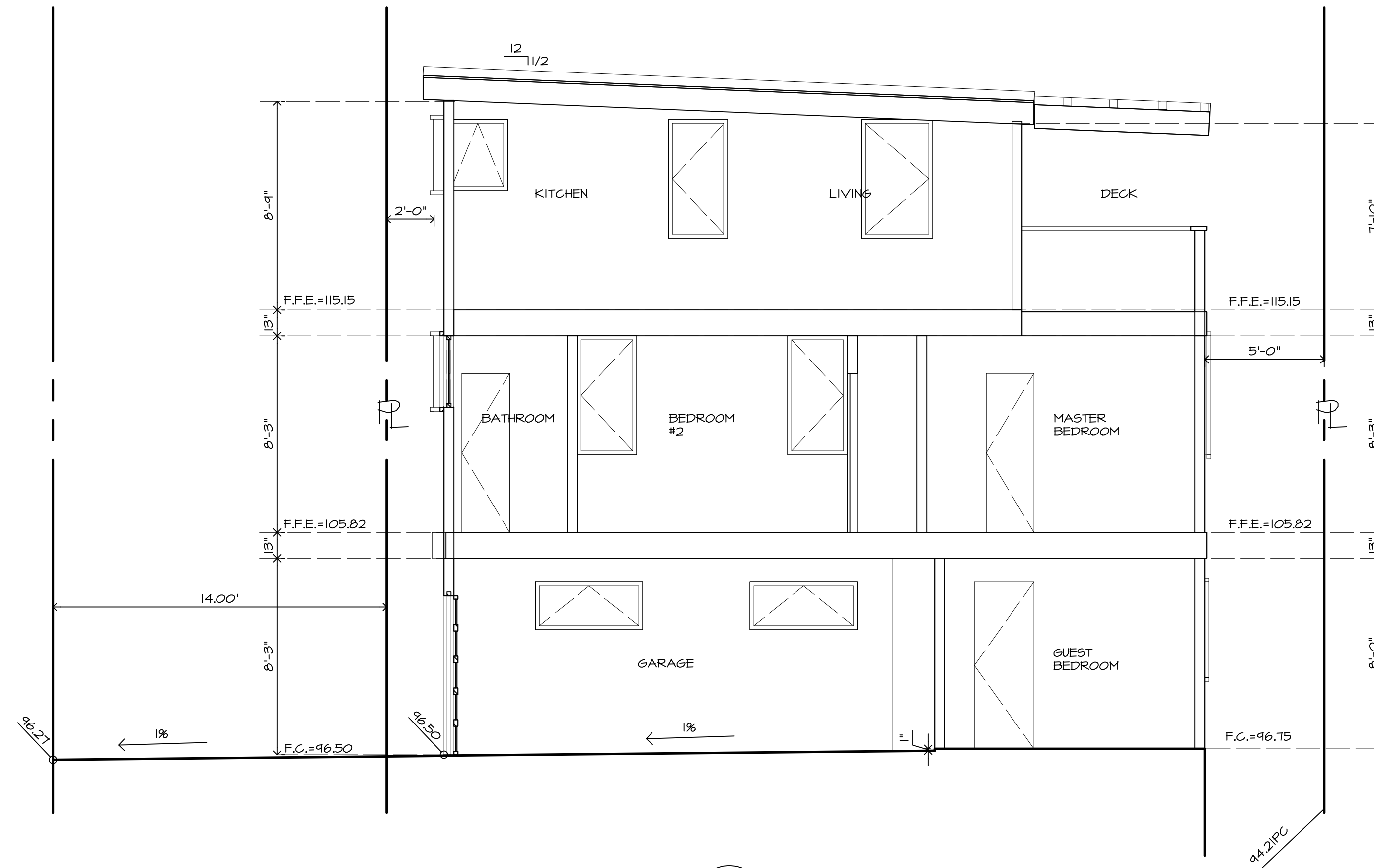
SECTION
1/4" = 1'-0"



SECTION
1/4" = 1'-0"



SECTION
1/4" = 1'-0"



SECTION
1/4" = 1'-0"

SURVEY AND
TOPOGRAPHY

FOR
DESIGN + BUILD BY SOUTH SWELL, INC.
STEVE LAZAR
1307 CURTIS AVENUE
MANHATTAN BEACH, CA 90266
PHONE 310-617-8167

JOB ADDRESS

1515 MONTEREY BLVD.
HERMOSA BEACH, CA 90254

LEGAL DESCRIPTION

PORTION OF LOT 24, BLOCK
TRACT NO. 1069
M.B. 17-136
APN 4183-013-030

THIS MAP CORRECTLY REPRESENTS A SURVEY
MADE BY ME OR UNDER MY DIRECTION IN
CONFORMANCE WITH THE REQUIREMENTS OF
PROFESSIONAL LAND SURVEYORS' ACT

GARY J. ROEHL R.C.E. 30826

DRAWN BY KW CHECK BY TS

DRAWN ON NOVEMBER 13, 2018

REVISIONS

REVISIONS

LEGEND

	EXISTING BUILDING		BRICK
	CONCRETE		WOOD DECK
	EXISTING ELEVATION		
	EXISTING CONTOUR		
	BLOCK WALL		
	EXISTING FENCE		
	BEGINNING OF CURB RETURN		
	CENTERLINE		
	CHAIN-LINK		
	EASTERLY		
	ELECTRIC METER		
	FOUND		
	FENCE		
	FINISH FLOOR		
	FIRE HYDRANT		
	FLOW LINE		
	GARAGE FINISH FLOOR		
	GAS METER		
	GUY WIRE		
	LEAD AND TAG		
	MANHOLE		
	NORTHERLY		
	PROPERTY CORNER / PROP. CORNER		
	PROPERTY LINE / PROP. LINE		
	POWER POLE		
	PARAPET		
	SPIKE AND WASHER		
	SOUTHERLY		
	SPIKE		
	SANITARY SEWER CLEAN OUT		
	SANITARY SEWER MANHOLE		
	STAKE / STAKE & TAG		
	STREET LIGHT		
	TOP OF CURB		
	TOP OF WALL / T.O.W.		
	TOP OF DRIVEWAY APRON		
	WESTERLY		
	WATER METER		

NOTE: ALL SETBACK DIMENSIONS SHOWN
ARE MEASURED TO EXTERIOR SURFACE OF
BUILDINGS UNLESS OTHERWISE NOTED.

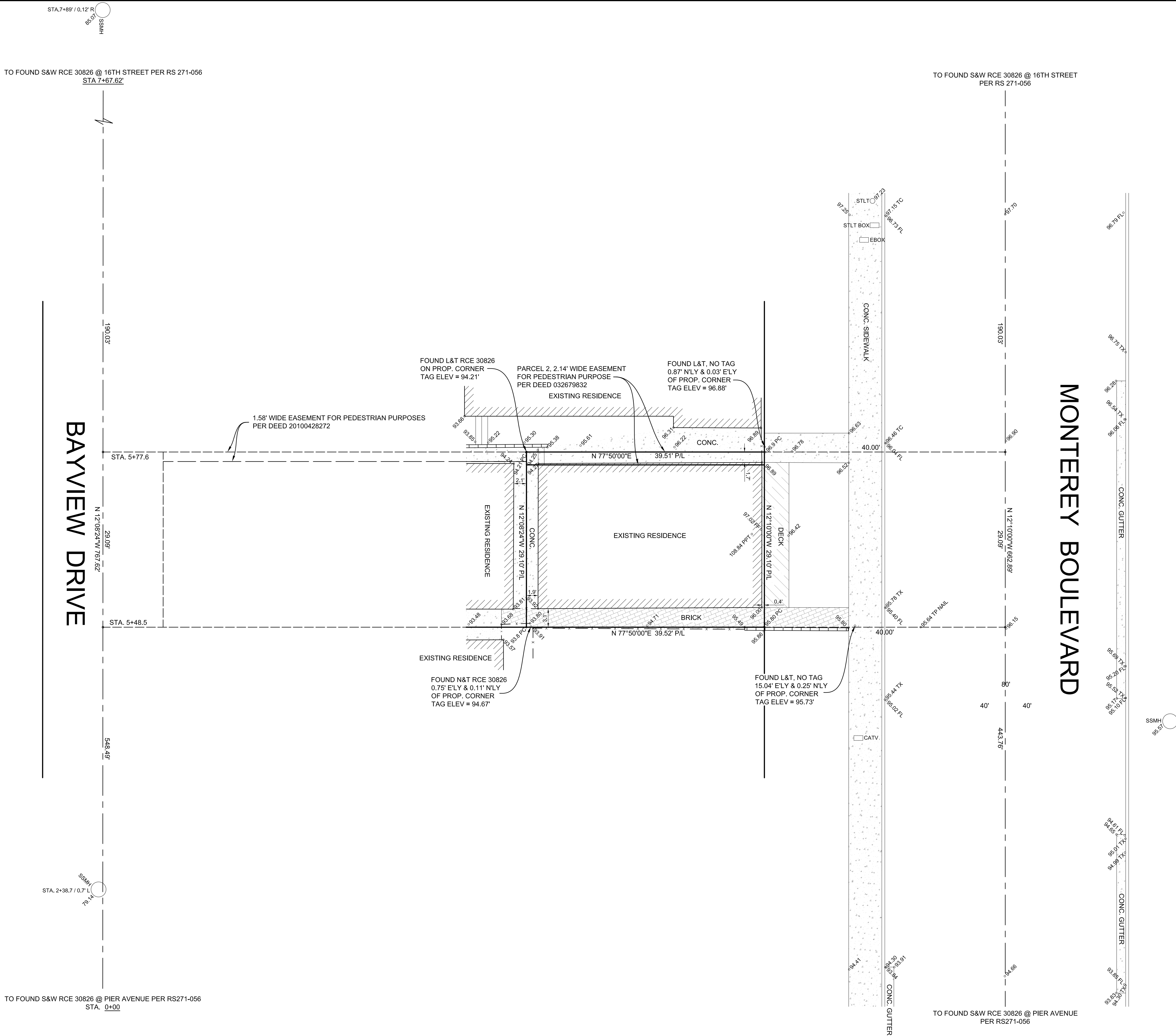
BOUNDARY MONUMENTS ARE NOT NECESSARILY
SET ON PROPERTY CORNERS. PLEASE REFER TO
THE NOTATION ON THE PLANS FOR OFFSET
DISTANCES. IF THERE ARE ANY QUESTIONS,
PLEASE DO NOT HESITATE TO CONTACT DENN
ENGINEERS FOR CLARIFICATION AT:
(310) 542-9433, M-F 8:00 AM TO 5:00 PM.

COPYRIGHT

ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN
WITHOUT WRITTEN CONSENT OF DENN ENGINEERS
SHALL RELIEVE DENN ENGINEERS FROM ANY LIABILITY
OR DAMAGE RESULTING FROM SUCH CHANGES OR
MODIFICATIONS, INCLUDING ANY ATTORNEYS' FEES OR
COSTS INCURRED IN ANY PROCEEDING THAT DENN
ENGINEERS MAY BE JOINED.

SHEET 1 OF 1

JOB NO. 18-466



BAYVIEW DRIVE

MONTEREY BOULEVARD

NOTE:
A TITLE POLICY WAS NOT PROVIDED TO DENN ENGINEERS AT THE TIME OF THIS SURVEY.
THEREFORE, DENN ENGINEERS DOES NOT GUARANTEE THE LEGAL DESCRIPTION OF THIS
PROPERTY SURVEYED NOR DOES IT REFLECT OR DELINEATE ANY EASEMENTS THAT MAY
BE ON SAID PROPERTY.

NOTE: POSSIBLE SEWER
LATERAL TO BAYVIEW DRIVE.

PUBLIC WORKS STANDARD NOTES

GENERAL CONSTRUCTION NOTES:

- CONSTRUCTION WORK HOURS ARE LIMITED TO 8:00 AM TO 7:00 PM, MONDAY THROUGH FRIDAY AND 9:00 AM TO 7:00 PM ON SATURDAY. WORK PROHIBITED ON SUNDAYS AND NATIONAL HOLIDAYS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE PLANS, THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ("GREENBOOK"), AND CITY OF HERMOSA BEACH PUBLIC WORKS STANDARD PLANS.
- ALL WORK DONE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE BY A LICENSED CONTRACTOR WITH A CLASS A, C-12 OR C-34 LICENSE FOR ALL TRENCHING AND PAVING OR A CLASS C-08 LICENSE FOR ALL CONCRETE WORK. A CLASS B LICENSE MAY BE ACCEPTABLE FOR MINOR CURB, GUTTER AND SIDEWALK WORK CONSTRUCTED IN CONJUNCTION WITH A SINGLE FAMILY RESIDENTIAL STRUCTURE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS. PUBLIC WORKS TEMPORARY ENCROACHMENT PERMITS ARE REQUIRED FOR ANY SCAFFOLDING, UTILITY TRENCHING, LUMBER DROPS, CRANES, DUMPSTERS, ETC. ON PUBLIC PROPERTY. THE PUBLIC WORKS PERMIT MUST BE ON THE JOB SITE AND AVAILABLE FOR REVIEW BY CITY OFFICIALS AT ALL TIMES. IF ANY WORK HAS BEGUN BEFORE OBTAINING A PERMIT, THE JOB WILL BE STOPPED UNTIL THE PERMIT IS OBTAINED.
- ALL CONTRACTORS WORKING ON PUBLIC WORKS PROJECTS MUST HAVE A CURRENT CITY OF HERMOSA BEACH BUSINESS LICENSE.
- THE CONTRACTOR SHALL CALL IN A LOCATION REQUEST TO UNDERGROUND SERVICE ALERT (USA) AT (800) 227-2600 TWO WORKING DAYS BEFORE PERFORMING ANY DIGGING. SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES THAT A DIGALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID.
- ALL EXCAVATIONS SHALL BE BACKFILLED AT THE END OF EACH WORKING DAY AND ROADS OPENED TO VEHICULAR TRAFFIC UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- CALL THROUGH WORKS FOR INSPECTION AT LEAST 24 HOURS IN ADVANCE (310) 318-0262. INSPECTIONS ARE AVAILABLE MONDAY THROUGH THURSDAY, 8:30 A.M. TO 12:00 A.M. AND 1:00 P.M. TO 4:30 P.M.; OFFICE COUNTER HELP IS AVAILABLE FROM 7:00 A.M. TO 8:30 A.M. AND 4:30 P.M. TO 6:00 P.M.
- ALL FORMS AND COMPACTION SHALL BE INSPECTED PRIOR TO ANY CONCRETE POUR OR ASPHALT BEING PLACED.
- ALL SURVEY POINTS SHALL BE PROTECTED OR RE-ESTABLISHED IF THEY ARE REMOVED OR DESTROYED DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL, DUST CONTROL, AND TEMPORARY DRAINAGE CONTROL AT ALL TIMES.
- ALL CONSTRUCTION TO BE IN CONFORMANCE WITH THE REGULATIONS OF CAL-OSHA.

GENERAL NOTES FOR STREET AND STORM DRAIN IMPROVEMENTS:

- ALL STREET CLOSURES REQUIRE A TRAFFIC CONTROL PLAN TO BE REVIEWED AND APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION. ALL TRAFFIC CONTROL SHALL BE PER THE WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) MANUAL. STREET CLOSURES APPROVED BY THE CITY ENGINEER WILL REQUIRE A MINIMUM OF 48 HOUR NOTICE TO BE POSTED AND DISTRIBUTED WITH PROPER DOOR-HANGERS TO ALL RESIDENCES ON SAME BLOCK. THE CONTRACTOR SHALL ALSO NOTIFY THE DISPATCH CENTER FOR HERMOSA BEACH POLICE AND FIRE DEPARTMENTS AT (310) 524-2750 OF ANY CLOSURES OR RESTRICTIONS IN ACCESS.
- GRAFFITI IN FRESHLY POURED CONCRETE SHALL BE REMOVED BY WHATEVER MEANS NECESSARY UP TO AND INCLUDING REMOVAL AND REPLACEMENT.
- ANY ASPHALT OR CONCRETE PAVEMENT WITHIN THE PROPERTY LIMITS THAT IS DAMAGED PRIOR TO CONSTRUCTION SHALL BE REMOVED AND REPLACED TO MEET CURRENT CITY STANDARDS.
- ANY PUBLIC PROPERTY DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN KIND OR BETTER TO THE SATISFACTION OF THE CITY PUBLIC WORKS INSPECTOR. THE CITY SHALL AT ITS DISCRETION, AND IN THE INTEREST OF PUBLIC SAFETY, MAKE ANY REPAIRS DEEMED NECESSARY; THE COST OF WHICH WILL BE DEDUCTED FROM THE DEPOSIT HELD BY THE CITY.
- ALL EXISTING PAVEMENT TO BE REMOVED SHALL BE SAW-CUT OR WHEEL-CUT AND REMOVED TO CLEAN STRAIGHT LINES.
- AT ALL LOCATIONS WHERE NEW PAVEMENT JOINS EXISTING, THE EXISTING PAVEMENT SHALL BE COATED WITH AN ASPHALTIC EMULSION.

GENERAL NOTES FOR SEWER AND UTILITY IMPROVEMENTS:

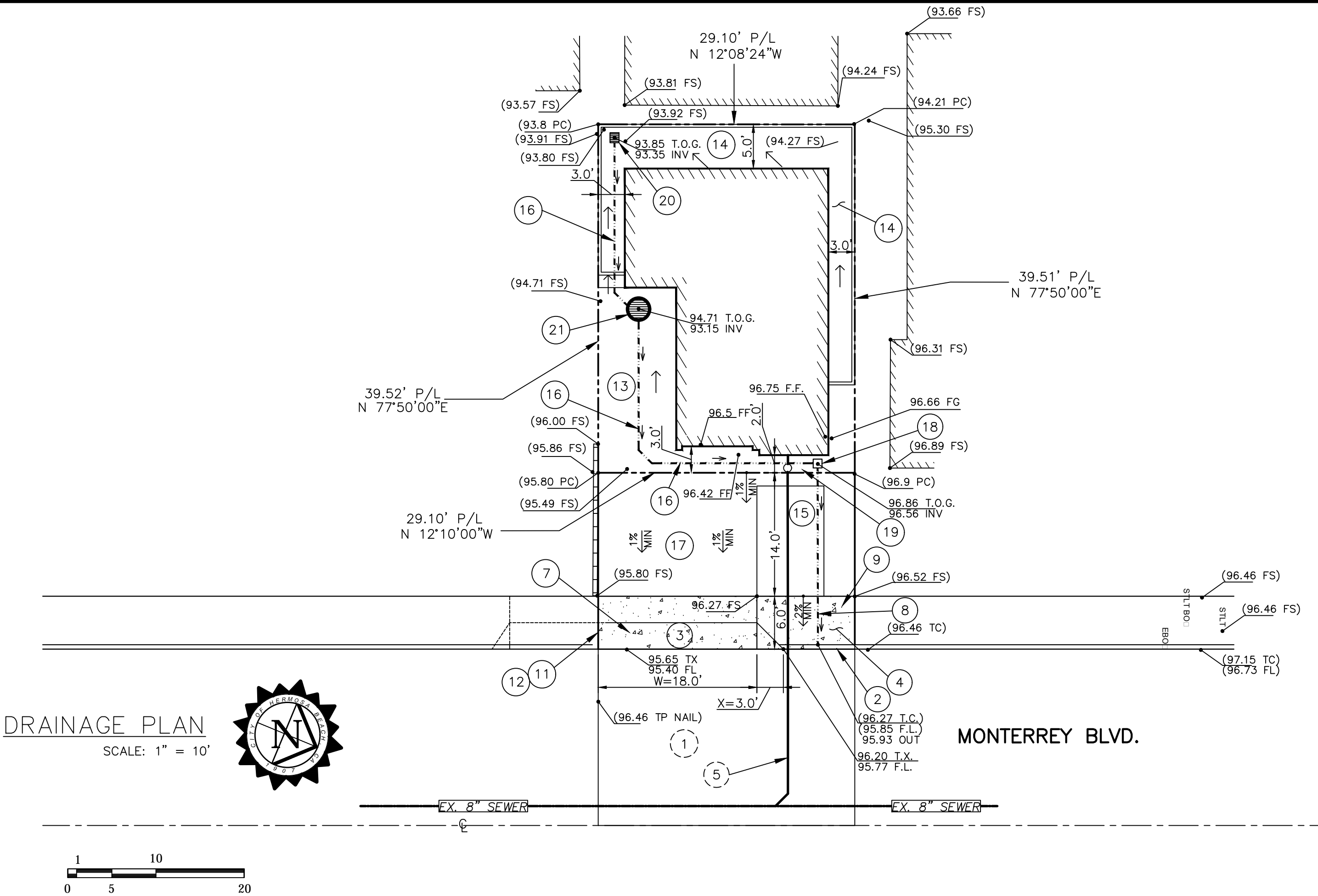
- SEPARATION OF SEWER AND WATER FACILITIES SHALL BE IN CONFORMANCE WITH LATEST EDITION OF THE STATE OF CALIFORNIA DEPT OF HEALTH SERVICES.
- SEWER LATERALS SHALL BE CONNECTED TO THE SEWER MAIN WITH WYES.
- THE SEWER LINE SHALL BE TESTED PRIOR TO MAKING PERMANENT SERVICE CONNECTIONS.
- BACKFILL OF TRENCHES SHALL BE DONE IN LIFTS OF NO MORE THAN 8-INCHES WITH WATER AND APPROPRIATE COMPACTION TOOLS USED BETWEEN EACH LIFT. ONE SACK SLURRY MIX CAN BE USED IN PLACE OF NATIVE SOIL. AFTER BACKFILLING THE TRENCH, A TEMPORARY ASPHALT PATCH SHALL BE PLACED OVER THE TRENCH AND REMAIN FOR NO MORE THAN TWO WEEKS. THE FINAL PATCH SHALL BE A MINIMUM OF 5" THICK OR 1" THICKER THAN THE EXISTING PAVEMENT. SEE THE ATTACHED CITY STANDARD PLAN NO. 117 FOR AC PAVEMENT AND NO. 115 FOR P.C.C. PAVEMENT.
- THE FINAL PATCH IN ASPHALT STREETS SHALL BE DONE IN TWO LIFTS, A BASE OF 3" MINIMUM 3/4" AGGREGATE AND A TOP LIFT OF 2" OF 3/8" AGGREGATE. ALL EDGES OF THE CUT ASPHALT TO BE TACKED THOROUGHLY AND THE PATCH COMPACTED BY MECHANICAL MEANS TO A HEIGHT SLIGHTLY HIGHER THAN THE EXISTING ASPHALT AND ALL EDGES TO BE TACKLE.
- THE FINAL PATCH ON CONCRETE STREETS TO BE CLASS 3500 P.S.I (7 SACK). EXISTING CONCRETE TO BE DRILLED TWO AND ONE HALF INCHES (2 1/2") BELOW THE SURFACE TO A DEPTH OF 6" MINIMUM AND DOWELLED WITH #5 REBAR ON 18" SPACING. FINISH TO MATCH EXISTING OR MEDIUM BROOM.
- ALL UTILITY BOXES ARE TO BE ADJUSTED TO THE NEW GRADE. DAMAGED BOXES SHALL BE REPLACED. KEEP ALL UTILITY BOXES OUT OF DRAINAGE FLOW LINES, CURB RETURNS, DRIVEWAY APPROACH AND WHEEL CHAIR RAMPS, UNLESS APPROVED BY THE CITY ENGINEER.

JOB SAFETY REQUIREMENTS:

- PROPER BARRICADES SHALL BE PLACED AROUND ANY CONSTRUCTION SITE WITHIN THE PUBLIC RIGHT-OF-WAY. THESE BARRICADES SHALL COMPLY WITH THE REQUIREMENTS OF THE WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) MANUAL.
- ALL CONSTRUCTION FENCING SHALL BE BEHIND THE SIDEWALK AND ALL CONSTRUCTION MATERIAL WITHOUT PERMITS ARE TO BE BEHIND THE FENCE. SIDEWALKS ARE TO BE ACCESSIBLE TO PEDESTRIANS AT ALL TIMES.
- NO CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIAL, PORTABLE TOILETS, DUMPSTERS, ETC. SHALL BE LEFT ON THE PUBLIC RIGHT-OF-WAY WITHOUT PROPER PERMITS. THESE OBSTRUCTIONS MUST HAVE PROPER BARRICADES WITH FLASHING YELLOW LIGHTS AFTER DARK.
- ANY PUBLIC SIDEWALK DAMAGED TO THE POINT OF CAUSING A TRIP HAZARD MUST BE REPAIRED IMMEDIATELY. THE PANEL OF CONCRETE SHALL BE REMOVED AND PATCHED WITH A TEMPORARY ASPHALT PATCH AND MUST BE KEPT IN GOOD REPAIR UNTIL THE PERMANENT SIDEWALK IS CONSTRUCTED.
- ALL VEHICLES THAT INTRUDE INTO A NORMAL TRAFFIC LANE MUST HAVE PROPER SIGNAGE AND BARRICADES AS REQUIRED BY THE (WATCH) MANUAL.
- ALL WORK VEHICLES ARE SUBJECT TO ALL APPLICABLE PARKING RESTRICTIONS.
- FLAGMEN ARE REQUIRED FOR ANY VEHICLES THAT BLOCK THE TRAVEL LANE AND REQUIRE TRAFFIC TO USE THE OPPOSING LANE TO PASS.

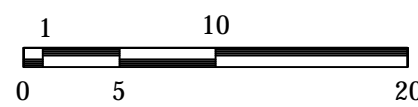
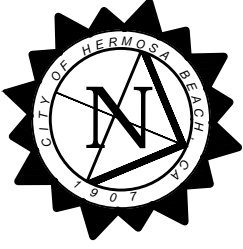
WATER QUALITY REQUIREMENTS:

- PRECAUTIONS SHALL BE TAKEN TO PREVENT ANY CONSTRUCTION MATERIAL DEBRIS OR RUNOFF FROM ENTERING ANY PUBLIC RIGHT-OF-WAY OR COUNTY STORM DRAIN. ALL SAW CUT RESIDUE MUST BE RETAINED WITH BERMS OR SANDBAGS AND VACUUMED TO PREVENT IT FROM ENTERING INTO ANY STORM DRAIN SYSTEM.
- SANDBAGS ARE REQUIRED FOR EROSION CONTROL DURING THE RAINY SEASON, OCTOBER 15TH THROUGH APRIL 15TH, AND MAY BE REQUIRED AT OTHER TIMES. SANDBAGS ARE REQUIRED AT NEARBY CATCH BASINS DURING CONSTRUCTION. SANDBAGS SHALL BE MAINTAINED AND IN GOOD CONDITION AT ALL TIMES.
- MAKE SURE BROKEN PAVEMENT DOES NOT COME IN CONTACT WITH RAINFALL OR RUNOFF.
- SHOVEL OR VACUUM SAW-CUT SLURRY AND REMOVE FROM THE SITE. FOR DISPOSAL INFORMATION CONTACT THE L.A. COUNTY DEPARTMENT OF PUBLIC WORKS AT 800-552-5218.
- COVER OR BARRICADE STORM DRAIN OPENINGS DURING SAW-CUTTING.
- DURING CONSTRUCTION:
 - PROTECT CATCH BASINS AND MAINTENANCE HOLES WHEN APPLYING SEAL COAT, SLURRY SEAL, FOG SEAL, ETC.
 - USE CHECK DAMS, DITCHES OR BERMS TO DIVERT RUNOFF AROUND EXCAVATIONS.
 - COLLECT AND RECYCLE EXCESS ABRASIVE GRAVEL OR SAND.
 - AVOID OVER-APPLICATION BY WATER TRUCKS FOR DUST CONTROL.
 - NEVER HOSE DOWN "DIRTY" PAVEMENT OR SURFACES. CLEAN UP ALL SPILLS AND LEAKS USING "DRY" METHODS (WITH ABSORBENT MATERIALS AND /OR RAGES), OR DIG UP AND REMOVE CONTAMINATED SOIL. FOR DISPOSAL INFORMATION CALL (800) 552-5218.
 - CATCH DRIPS FROM PAVER WITH DRIP PANS OR ABSORBENT MATERIAL (CLOTH, RAGS, ETC.) PLACED UNDER MACHINE WHEN NOT IN USE.



DRAINAGE PLAN

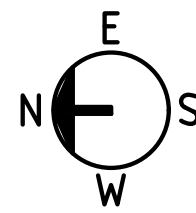
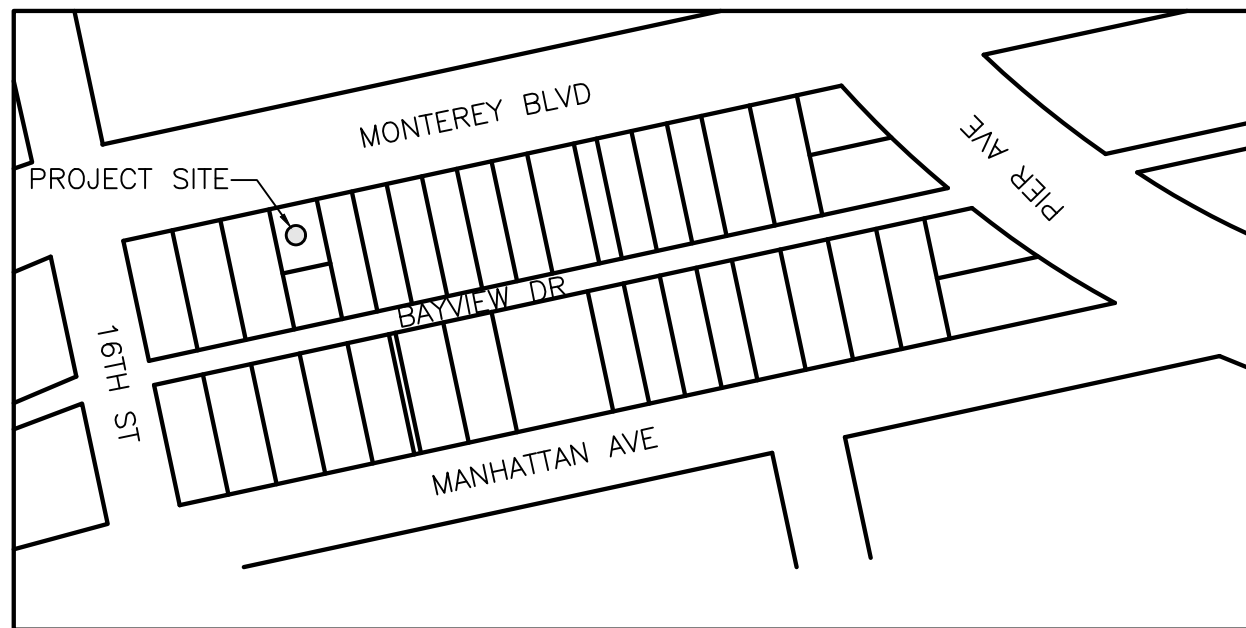
SCALE: 1" = 10'



ALL PUBLIC IMPROVEMENTS TO BE PUBLIC WORKS DEPARTMENT SATISFACTION PRIOR TO APPROVAL OF FINAL INSPECTION.

LEGAL DESCRIPTION:

PORTION OF LOT 24, BLOCK
TRACT NO. 1069
M.B.17-136
APN 4183-013-030



VICINITY MAP
NOT TO SCALE

CONSTRUCTION NOTES

- EXISTING ASPHALT STREET TO REMAIN AND IN GOOD CONDITION WITH NO DIFFERENTIAL SETTLEMENT.
- CONSTRUCT NEW PCC CURB AND GUTTER PER CITY OF HERMOSA BEACH STANDARD PLAN NO. 101.
- CONSTRUCT NEW 6" PCC DRIVEWAY PER CITY OF HERMOSA BEACH STANDARD PLAN NO. 102
- CONSTRUCT NEW 4" PCC SIDEWALK, R_L TO R_L .
- (E) 6" SEWER LATERAL CONNECTION IN TO MAIN LINE TO REMAIN. OWNER WILL PROVIDE VIDEO OF EXISTING SEWER LATERALS TO CITY ENGINEER TO SHOW THE LATERAL IS AT CITY EASEMENT AND THE CONNECTION IS ADEQUATE.
- CORNER PROPERTIES SHALL REQUIRE THE CONSTRUCTION OF A CURB RAMP PER THE CITY OF HERMOSA BEACH STANDARD PLAN NO. 114.
- DEVELOPER SHALL RELOCATE ANY EXIST UTILITY VAULTS, PULL BOXES, ETC THAT ARE CONTAINED WITHIN PROPOSED CURB RAMPS, CURBS AND GUTTERS, DRIVEWAYS, AND/OR DRAINAGE PATHS.
- TRENCH SEPERATION REQUIREMENTS SHALL BE IN ACCORDANCE WITH CALIFORNIA DEPARTMENT OF HEALTH SERVICES, "CRITERIA FOR THE SEPERATION OF WATER MAINS AND NON-POTABLE PIPELINES."
- ALL EXISTING OVERHEAD UTILITY SERVICES ENTERING THE PROPERTY SHALL BE UNDERGROUNDED. EXISTING POINT OF SERVICE CONNECTIONS FOR ALL SERVICES SHALL BE SHOWN ON THE PLAN.
- ALL EXISTING SURVEY POINTS, MONUMENTS, BENCHMARKS SHALL BE PROTECTED IN PLACE. TAMPERED, REMOVED, OR DAMAGED POINTS SHALL BE RESET.
- SAWCUT (E) ADJACENT DRIVEWAY AT PROPERTY LINE.
- OMIT DRIVEWAY APRON TO PROVIDE CONTINUOUS DRIVEWAY WITH ADJACENT PROPERTY
- NEW 4" CONCRETE SLAB W/ #4 BARS @ 16" O.C.
- DEMO (E) CONCRETE SLAB FOR NEW LANDSCAPE AREA PER ARCH.
- NEW LANDSCAPE AREA PER ARCH.
- NEW 4" PVC SCH 40 DRAIN PIPE.
- CONSTRUCT NEW 4" CONCRETE SLAB (UNREINFORCED) FOR DRIVEWAY EXTENSION.
- CONSTRUCT 12"x12" CATCH BASIN.
- PROVIDE NEW SEWER CLEAN OUT.
- 12" S.Q. AREA DRAIN.
- CONSTRUCT NEW SUMP PUMP PIT.

LEGEND

- | | | | |
|-----------|---------------------------|-------|-------------------------|
| A.C. | ASPHALT CONCRETE PAVEMENT | ----- | CHAIN-LINK FENCE |
| CONC. | CONCRETE | ===== | WOOD FENCE |
| DWY. | DRIVEWAY | 10" | TREE AND TRUNK DIAMETER |
| F.F. | FINISHED FLOOR | | |
| F.G. | FINISHED GRADE | | |
| F.S. | FINISHED SURFACE | | |
| F.L. | FLOW LINE | | |
| E.G. | EDGE OF GUTTER | | |
| E.M. | ELECTRIC METER | W.M. | WATER METER |
| G.M. | GAS METER | S.CO. | SEWER CLEAN OUT |
| H.C. | HANDICAP RAMP | (E) | EXISTING |
| P.P./S.L. | POWER POLE & STREET LIGHT | BM | BENCHMARK |
| S.S. | STOP SIGN | | |
| T.C. | TOP OF CURB | | |
| P.C. | PROPERTY CORNER | | |

PLAN LEGEND:

- | | | | |
|------------|---------------------|-------|-----------------|
| 600.00FG | PROPOSED ELEVATIONS | ===== | LANDSCAPE |
| (600.00FG) | EXISTING ELEVATIONS | ----- | DRAIN PVC PIPE. |
| CONC | CONCRETE SLAB | ----- | SHEET FLOW. |
| | | 12" | SQ. AREA DRAIN. |

KEY SYMBOLS

- TO REMAIN
○ NEW ITEM

PLANS PREPARED BY:

G&G STRUCTURES, INC.
CIVIL & STRUCTURAL ENGINEERING
24702 NARBONNE AVE.
LOMITA, CA 90707
TEL: (310) 294-8111
ENGINEER@GGSTRUCTURES.COM

OWNER(S):
STEVE LAZAR
1515 MONTERREY BLVD.
HERMOSA BEACH, CA 90254
TEL: (310) 901-4687

CIVIL & STRUCTURAL ENGINEER:
MR. LIONEL GARCIA
LIC. NO.: 58475
EXP. DATE: 12/31/20
DRAWN BY: C.M.
JOB NO: 19-030

BENCH MARK:

No._____, ELEV._____

DATE ADJ._____, QUAD._____

REVISIONS

No.	DESCRIPTION	APP	DATE



EXP. DATE: 12/31/20

CITY OF HERMOSA
PUBLIC WORKS DEPARTMENT

RECOMMENDED FOR APPROVAL BY:

APPROVED BY:

DATE

DIRECTOR OF PUBLIC WORKS/CITY ENGINEER

DATE

PRIVATE IMPROVEMENT PLANS

1515 MONTERREY BLVD.
CIVIL PLANS

FILE NUMBER

C-1

SHT. 1 OF 1