

ABBREVIATIONS

AND
ANGLE
AT
CENTERLINE
DIAMETER OR ROUND
PERPENDICULAR
POUND OR NUMBER
PENNY (WIGHT)

&
°
¢

a

A.B
A.B.V.
A/C
A.C.
ACOUS.
A.D.
ADJ.
AGGR.
AL.
APPROX.
ASPH.
ARCH.
B.B.
BOL.
BTUM.
BLDG.
BLK.
BLK'G
BNL
B.N.
BOT.
BTWN.
CAB.
C.B.
CER.
C.I.
C.I.P.
C.I.
CLG.
CLNG.
CLO.
CLR.
COL.
CONC.
CONN.
CONST.
CONT.
CORR.
CNTR.
CTR.
CTGR.
DBL.
DEPT.
DET.
D.F.
DIA.
DNG.
DNL
DISP.
DN.
D.O.
DO.
DR.
DS.
DNG.
DWR.
E.
E.A.
E.G.
E.I.
ELEV.
ELC.
EMER.
E.K.
ENCL.
E.P.
EQ.
EQUIP.
E.W.
EXIST.
EXPO.
EXP.
EXT.
F.A.
F.B.
F.D.
FDN.
F.E.
F.E.C.
F.F.
F.G.
F.H.C.
FHL
F.I.
FLR.
FLUOR.
FLASH.
F.O.C.
F.O.F.
F.O.M.
F.O.S.
F.P.F.
F.S.
FT.
FTG.
FURN.
FUT.
GA.
GALV.
G.B.
G.I.
G.L.B.
GND.
GYP.
H.B.
H.C.
HRD.
HDWD.
HDWE.
HT.
H.T.
HLM.
HNGR.
HORIZ.
HR.
HS.
H.V.A.C.

JAN.
JST.
JT.
KIT.
LAB.
LAG.
LAM.
LAV.
L.H.
L.K.R.
L.L.H.
L.L.V.
LT.
LT. WT.
MAX.
M.C.
MECH.
MEM.
MEMB.
MFR.
MHL.
MIR.
MISC.
M.O.
MTD.
MTL.
MUL.
N.
N.G.
N.I.C.
NO.
NOM.
N.T.S.
O
O.A.
OBS.
O.C.
O.D.
O.F.
O.H.
OPNG.
OPP.
P.I.
PL.
P.L.
P.LAM.
PLYWD.
PR.
PRCST.
PROP.
P.S.I.
PT.
PTN.
R.
RAD.
R.D.
REF.
REFR.
REINF.
REIN.
RES.
RFTR.
RGTR.
R.H.
RNL.
R.O.
RWD.
S.
S.B.
S.C.
SCH.
SECT.
SEL. ST.
S.F.
SH.
SHWR.
SHTE.
SIM.
SPEC.
SQ.
SST.
S.S.S.
STA.
STAG.
S.T.C.
STA.
STL.
STOR.
STR.
SUSP.
SYM.
T.
T.B.
T&B
T.C.
TEL.
TEMP.
TER.
T.F.
T&G
THK.
THRL.
T.P.
T.S.
T.S.T.
T.V.
T.W.
TYP.
UNF.
UNO.
VERT.
VEST.
W.
W/
W.C.
WD.
WDW.
W/O
WP.
WGL.
WT.
W.W.M.

JANITOR
JOIST
JOINT
KITCHEN
LABORATORY
LUG SCREW
LAMINATED
LAVATORY
LEFT HAND
LOOKER
LONG LEG HORIZONTAL
LONG LEG VERTICAL
LIGHT
LIGHT WEIGHT
MAXIMUM
MECHANICAL CABINET
MECHANICAL
MEMBER
MEMBRANE
MANUFACTURER
MANHOLE
MINIMUM
MIRROR
MISCELLANEOUS
MASONRY OPENING
MOUNTED
METAL
MULLION
NORTH
NATURAL GRADE
NOT IN CONTRACT
NUMBER
NOMINAL
NOT TO SCALE
OVER
OVERALL
OBSOLETE/OBSOLETE
ON CENTER
OUTSIDE DIAMETER
OFFICE
OVER HEAD
OPENING
OPPOSITE
PANEL INDEX
PLATE
PROPERTY LINE
PLASTIC LAMINATE
PLYWOOD
PAIR
PRE-CAST
PROPERTY
POUNDS / SQUARE INCH
POINT
PARTITION
RISE
RADIUS
ROOF DRAIN
REFERENCE
REFRIGERATOR
REINFORCED
REQUIRED
RESILIENT
RAFTER
REGISTER
RIGHT HAND
ROOM
ROUGH OPENING
REDWOOD
SOUTH
SILL BOLT
SOLID CORE
SCHEDULE
SECTION
SELECT STRUCTURAL
SUB FLOOR
SHELF
SHOWER
SHEATHING
SIMILAR
SPECIFICATION
SQUARE
STAINLESS STEEL
SERVICE SINK
STATION
STAGGERED
SOUND TRANSMISSION CLASS
STRONG
STEEL
STORAGE
STRUCTURAL
SUSPENDED
SYMMETRICAL
TREAD
TOP OF BEAM
TOP AND BOTTOM
TOP OF CURB
TELEPHONE
TEMPORARY/TEMPERED
TERRAZZO
TOP OF FRAME
TOP OF GROVE
THICK
THROUGH
TOP OF PAVEMENT
TOP OF SHEATHING
TOP OF STEEL
TELEVISION
TOP OF WALL
TYPICAL
UNFINISHED
UNLESS NOTED OTHERWISE
VERTICAL
VESTIBULE
WEST
WITH
WATER CLOSET
WOOD
WINDOW
WITHOUT
WATERPROOF
WANGSCOT
WEIGHT
WELDED WIRE MESH

ARCHITECTURAL

60.0
5-1
A1.1
A2.0
A2.1
A2.2
A2.4
A3.00
A3.01
A3.10
A3.11
A5.1

COVER SHEET
SITE SURVEY
SITE PLAN
EXISTING FLOOR PLAN
PROPOSED FIRST FLOOR PLAN
PROPOSED SECOND & THIRD FLOOR PLAN
ROOF PLAN
EXISTING ELEVATIONS
EXISTING SITE IMAGES
PROPOSED EXTERIOR ELEVATIONS
PROPOSED EXTERIOR ELEVATIONS
DOOR & WINDOW SCHEDULE

NEW RETAIL/OFFICE BUILDING
FOR B&J CAPITAL GROUP INVESTMENTS
TO 10th STREET, HERMOSA BEACH, CA 90266

PROJECT DATA

PROJECT INFORMATION:

PROJECT ADDRESS:

OWNER NAME:

OWNER ADDRESS:

ASSESSOR'S ID NUMBER:

LEGAL DESCRIPTION:

BUILDING TYPE:
STORIES:

LOT AREA:

EXISTING BUILDING TO REMAIN:

NEW BUILDING:

TOTAL BUILDING AREA ON SITE:

70 10th STREET
HERMOSA BEACH, CA 90254

B&J CAPITAL GROUP INVESTMENTS
JORGE LARA, PRESIDENT

414 TORRANCE BLVD.
HERMOSA BEACH, CA 90254

418T-003-019

LOT 11 OF BLOCK 10 OF THE MAP OF
HERMOSA BEACH, COUNTY OF LOS
ANGELES, STATE OF CALIFORNIA, AS
PER MAP RECORDED IN BOOK 1,
PAGE(S) 25 TO 26, INCLUSIVE MAPS,
IN THE OFFICE OF THE COUNTY
RECORDER OF SAID COUNTY.

V-B SPRINKLERED
(3) THREE STORY

4,023.65± SQ.FT.

1,841 SQ.FT.

2,744 SQ.FT.

4,585 SQ.FT.

PROJECT DIRECTORY

ARCHITECT
PEHA & ASSOCIATES
67 14th STREET
HERMOSA BEACH, CA. 90254
CONTACT: LARRY PEHA
TEL.: (310) 372-1755
FAX: (310) 376-6837
EMAIL: LARRY@PEHAARCH.COM

LAND SURVEYOR
PACIFIC LAND CONSULTANTS, INC.
28050 BRAIDWOOD DR.
RANCHO PALOS VERDES, CA. 90275
CONTACT: CHRIS VASSALLO
TEL.: (310) 544-8669
EMAIL: FLSCAL@MSN.COMORCH.COM

PLANNING and ZONING INFORMATION

ZONING:

PARKING CALCULATIONS

PARKING STALLS:

TOTAL PARKING STALLS PROVIDED:

LANDSCAPING:

PROPOSED

C-2 RESTRICTED COMMERCIAL (DOWNTOWN DISTRICT)

ON-SITE
4

IN-LIEU
8

12 STALLS

51 SQ.FT.

SCOPE OF WORK

NEW 2,744 SQ.FT. THREE STORY RETAIL/OFFICE BUILDING.
EXISTING 1,841 SQ.FT. STRUCTURE TO REMAIN AS MOTEL USE.

APPLICABLE CODES
and REGULATIONS:

THE CURRENT VERSION OF THE HERMOSA BEACH MUNICIPAL CODE
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
NFPA 13 (2016) - STANDARD FOR THE INSTALLATION OF FIRE SPRINKLER SYSTEMS
NFPA 12 (2016) - NATIONAL FIRE ALARM and SIGNALING CODE

CONSTRUCTION TYPE:

EXISTING TYPE V-B

OCCUPANCY GROUP:

GROUP B per Section 304.1
GROUP M per Section 309.1

VICINITY MAP

SYMBOLS

BUILDING SECTION

WALL SECTION

INTERIOR ELEVATION

DETAIL REFERENCE

DOOR NUMBER
(SEE SCHEDULE)

WINDOW
(SEE SCHEDULE)

REVISIONS

DATUM MARK POINT

MATCH LINE

DATE: 17-0627
DRAWN: TDA
JOB NO. 1601
DRAWING TITLE

TITLE
SHEET

DRAWING NUMBER

GO.O

NEW COMMERCIAL BUILDING FOR:
B&J CAPITAL GROUP INVESTMENTS
TO 10th STREET, HERMOSA BEACH, CA 90254

PEHA & ASSOCIATES
ARCHITECTURE

67 14TH STREET
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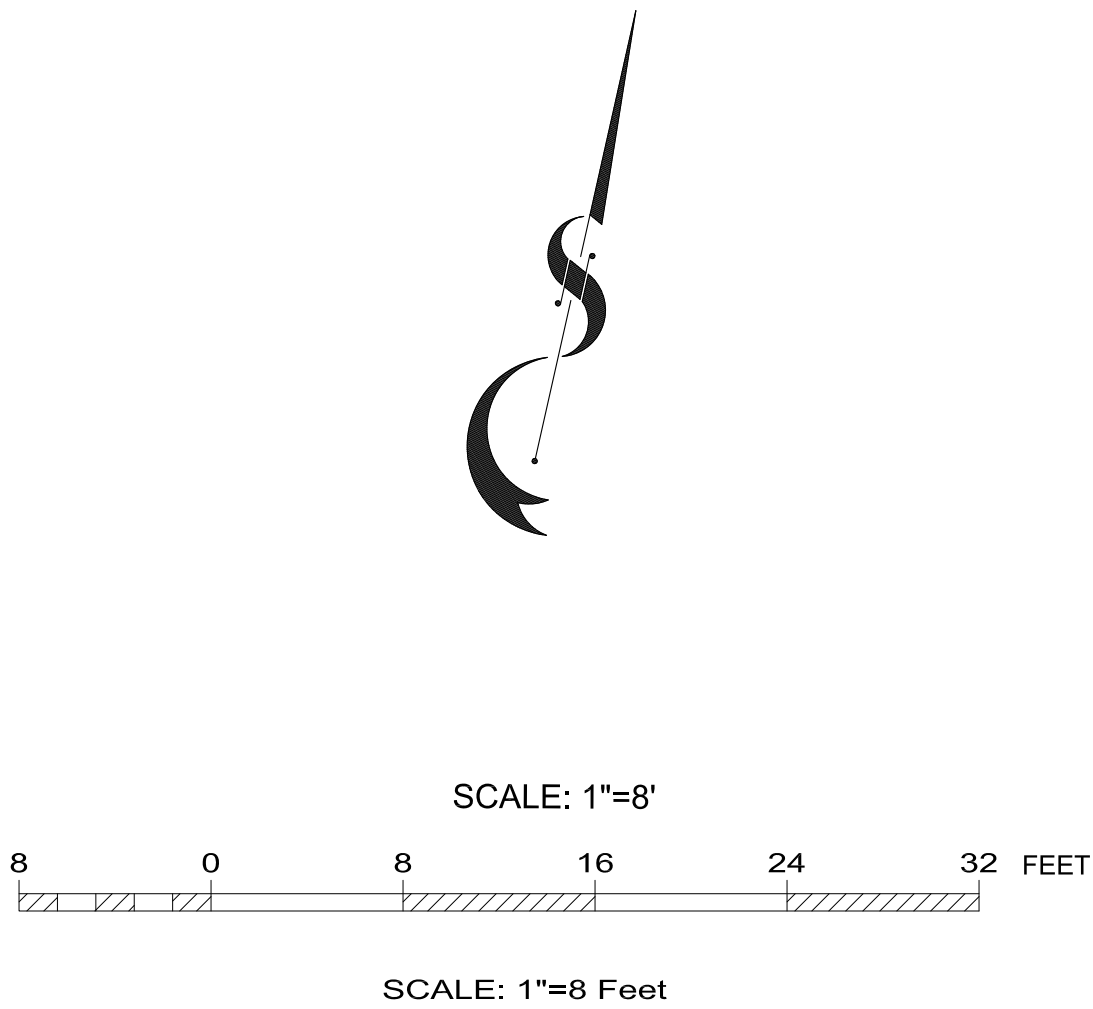
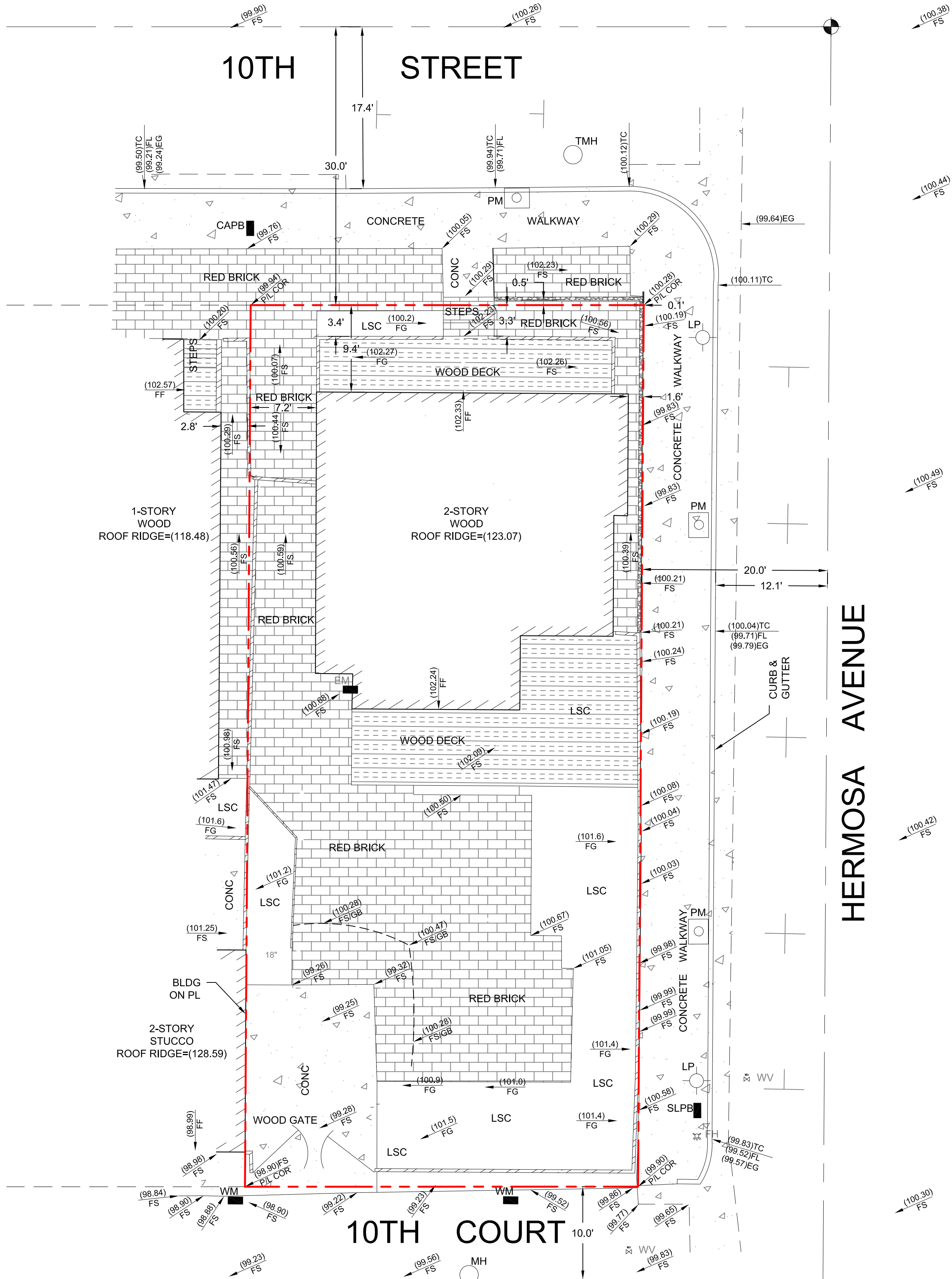
DATE: 17-0627
DRAWN: TDA
JOB NO. 1601
DRAWING TITLE

TITLE
SHEET

DRAWING NUMBER

9/7/2017 8:56 AM

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LEGAL DESCRIPTION:

LOT 17 OF BLOCK 10 OF THE MAP OF HERMOSA BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1, PAGE(S) 25 TO 26, INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

LEGEND

CAPB	CABLE TV PULL BOX		CONCRETE
CLF	CHAINLINK FENCE		RED BRICK
CONC	CONCRETE		WOOD FENCE
COR	CORNER		
DRWY	DRIVEWAY		
EM	ELECTRICAL METER		
FF	FINISHED FLOOR		
FG	FINISHED GRADE		
FS	FINISHED SURFACE		
GM	GAS METER		
LP	LIGHT POST		
LSC	LANDSCAPE		
MH	MANHOLE		
P/L	PROPERTY LINE		
PM	PARKING METER		
PP	POWER POLE		
SLPB	SIGNAL LIGHT PULL BOX		
TW	TOP OF WALL		
WIF	WROUGHT IRON FENCE		
WM	WATER METER		
WV	WATER VALVE		
WDFN	WOOD FENCE		
X-	ACROSS		

12" PALM TREE AND TRUNK DIAMETER

PLEASE NOTE

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BENCHMARK

FD N&T, LS 5909; CL INTERSECTION OF 10TH STREET & HERMOSA AVE
ELEV=100.00 (ASSUMED)

SURVEY CERTIFICATION

I HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR OF THE STATE OF CALIFORNIA, THAT THIS PLAT CONSISTING OF ONE SHEET CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION IN JANUARY, 2016; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN; THIS SURVEY DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON.

CHRISTOPHER W. VASSALLO P.L.S. 8418
REGISTRATION EXPIRES 12-31-2016

DATE

REVISION

DATE

NO.

PLANS PREPARED BY:

PACIFIC LAND CONSULTANTS, INC.

• BOUNDARY SURVEY • TOPOGRAPHIC SURVEY • ALTA SURVEY
P.O. BOX 192, JANDUNO VALLEY, CA, 90254 TEL: 310-444-6666

TOPOGRAPHIC PLAN
PREPARED FOR: B&J CAPITAL GROUP INVESTMENTS
SITE ADDRESS: 70 10TH STREET
HERMOSA BEACH, CA 90254

PROFESSIONAL STAMP



DATE:

1/24/16

SCALE:

1" = 8'

DESIGNED:

CWV

DRAWN:

CSH

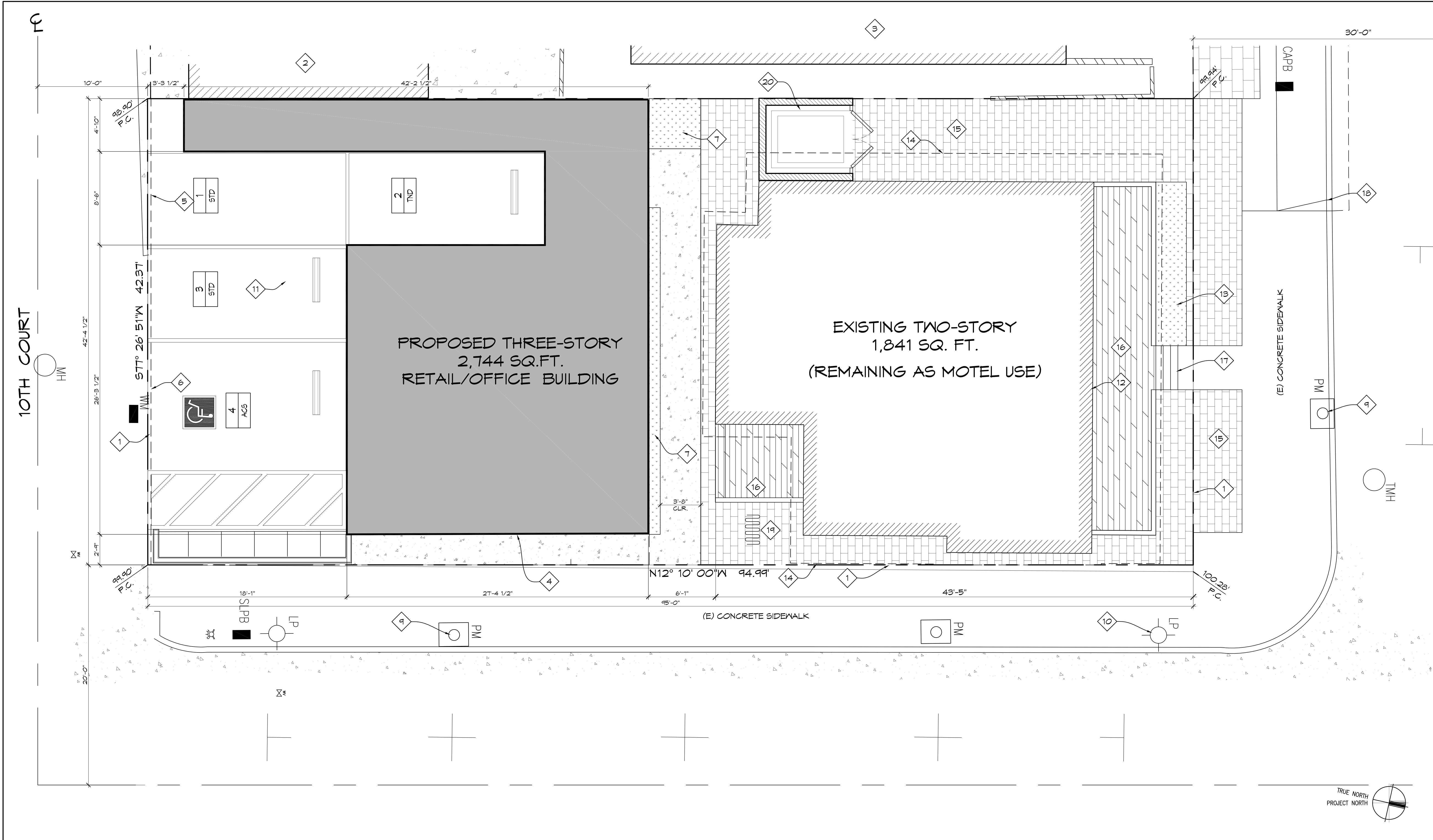
SHEET NO.

S-1

SHEET 1 OF 1

PROJECT NO.

16002TOPO



PROPOSED SITE PLAN SCALE: 3/16"=1'-0"

1

SITE PLAN KEYNOTES

- | | | | |
|---------------------------------------|--------------------------------------|---------------------------------------|---------------------------|
| 1 PROPERTY LINE | 7 (N) LANDSCAPE PLANTER AREA (51 SF) | 13 (E) LANDSCAPE PLANTER AREA (30 SF) | 19 (N) BIKE RACK |
| 2 (E) THREE STORY BUILDING | 8 (N) PEDESTRIAN PATH OF TRAVEL | 14 (E) ROOF LINE ABOVE | 20 (N) 4 CU.YRD TRASH BIN |
| 3 (E) ONE STORY BUILDING | 9 (E) PARKING METER | 15 (E) BRICK SURFACE | |
| 4 (N) FIRST LEVEL BUILDING PERIMETER | 10 (E) POWER/LIGHT POLE | 16 (E) WOOD DECK PORCH | |
| 5 (N) SECOND LEVEL BUILDING PERIMETER | 11 PARKING AREA | 17 (E) BRICK STEP ENTRY | |
| 6 (N) THIRD LEVEL BUILDING PERIMETER | 12 (E) TWO-STORY BUILDING TO REMAIN | 18 (E) CURB | |

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DATE	ISSUE/REVISION
17/06/27	PLANNING SUBMITTAL
17/04/07	PARKING PLAN 4 P.C. RESUBMIT
17/12/21	P.C. RESUBMIT

NEW COMMERCIAL BUILDING FOR:
B&J CAPITAL GROUP INVESTMENTS
TO 10TH STREET, HERMOSA BEACH, CA 90254

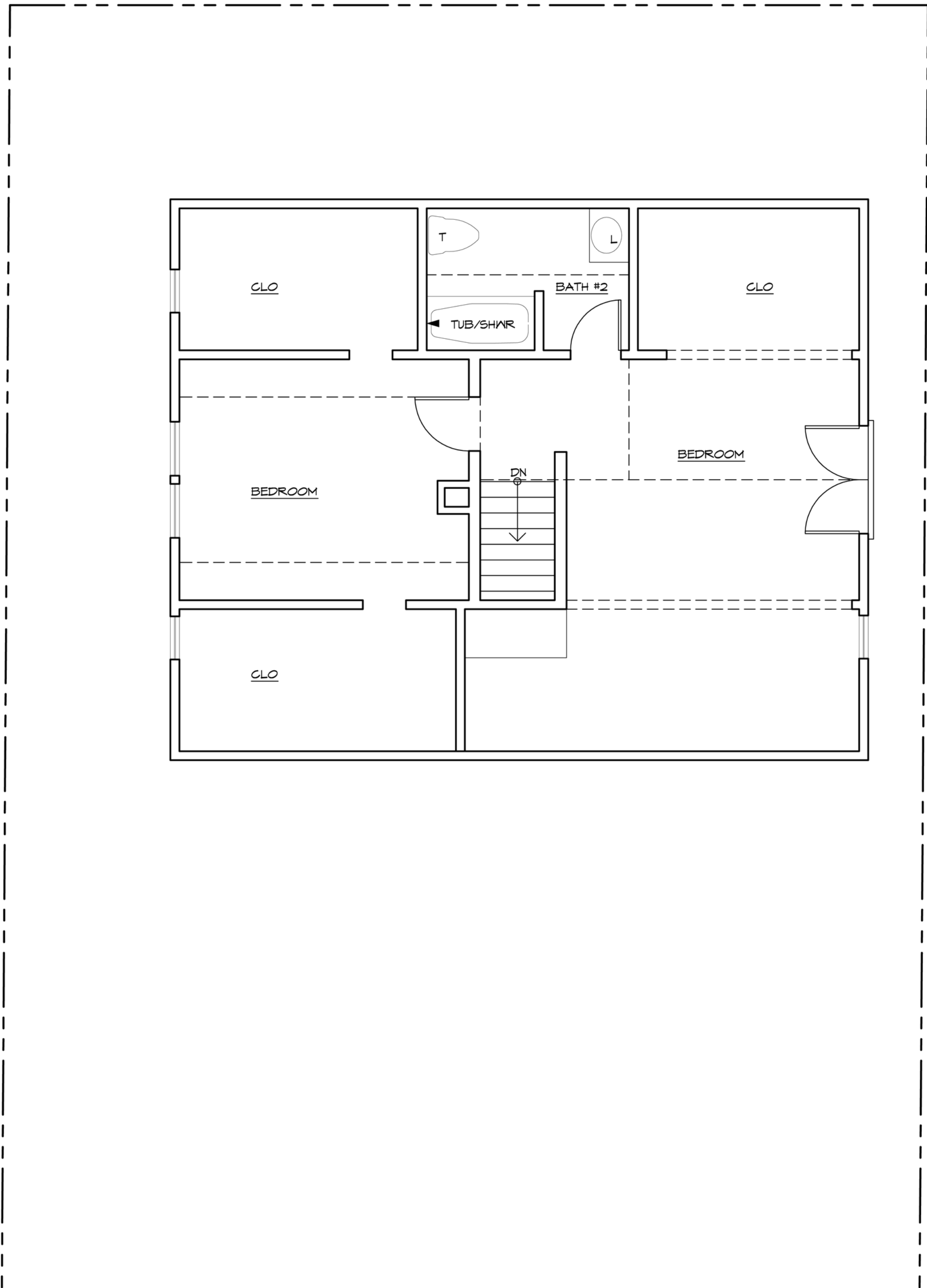


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E-MAIL: pe@pehaarch.com
Web: www.pehaarch.com

DATE: 17-0627
DRAWN: TDA
JOB NO. 1601
DRAWING TITLE
PROPOSED
SITE PLAN

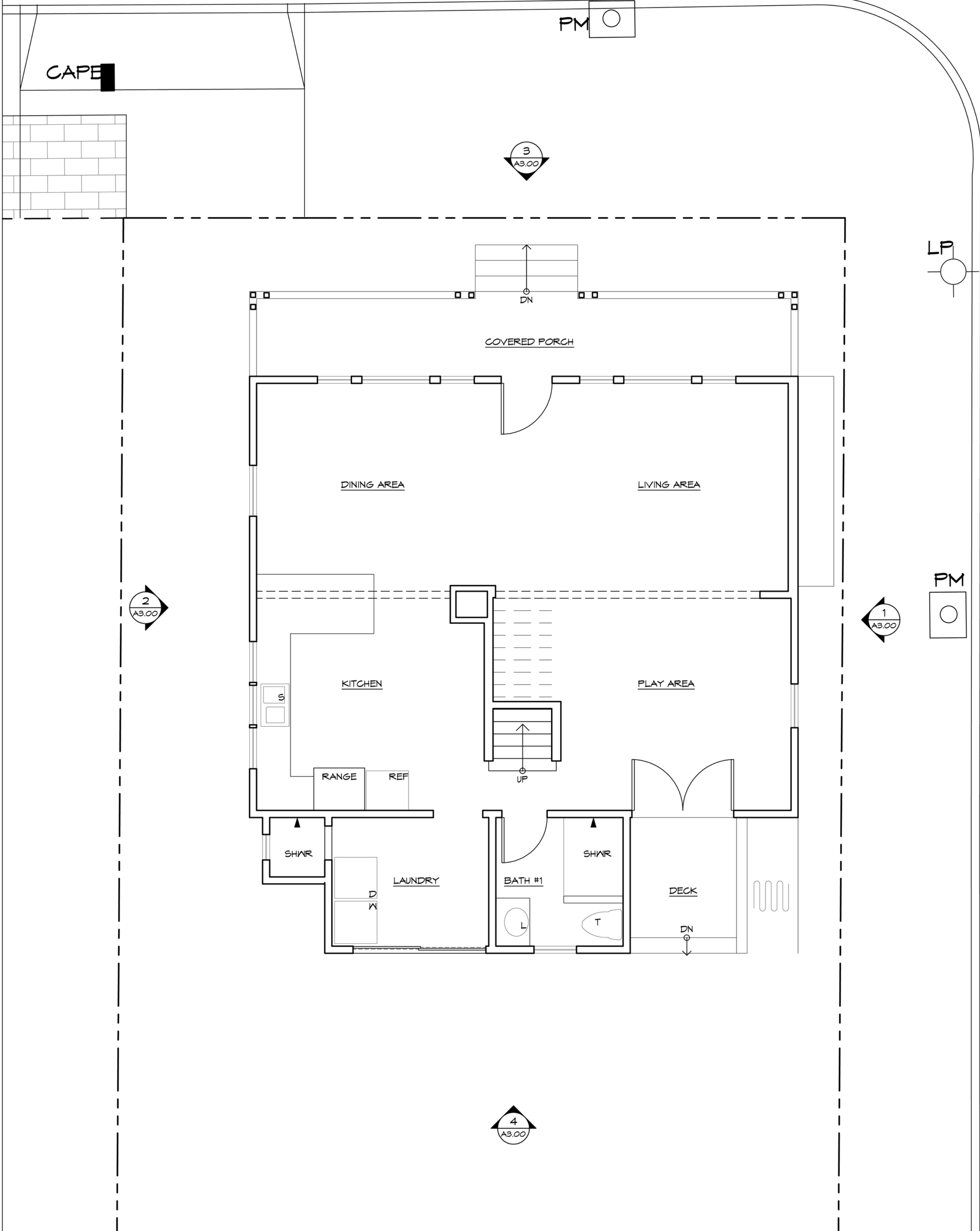
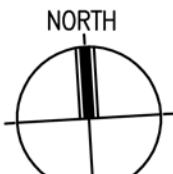
DRAWING NUMBER
A1.1



EXISTING SECOND FLOOR PLAN

SCALE:
1/4"=1'-0"

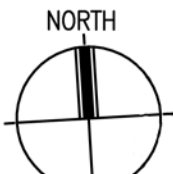
2



EXISTING FIRST FLOOR PLAN

SCALE:
1/4"=1'-0"

1



NEW COMMERCIAL BUILDING FOR:
**B&J CAPITAL GROUP
INVESTMENTS**
TO 10TH STREET, HERMOSA BEACH, CA 90254



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DATE: 17-0627
DRAWN: TDA
JOB NO. 1601
DRAWING TITLE
EXISTING PLANS

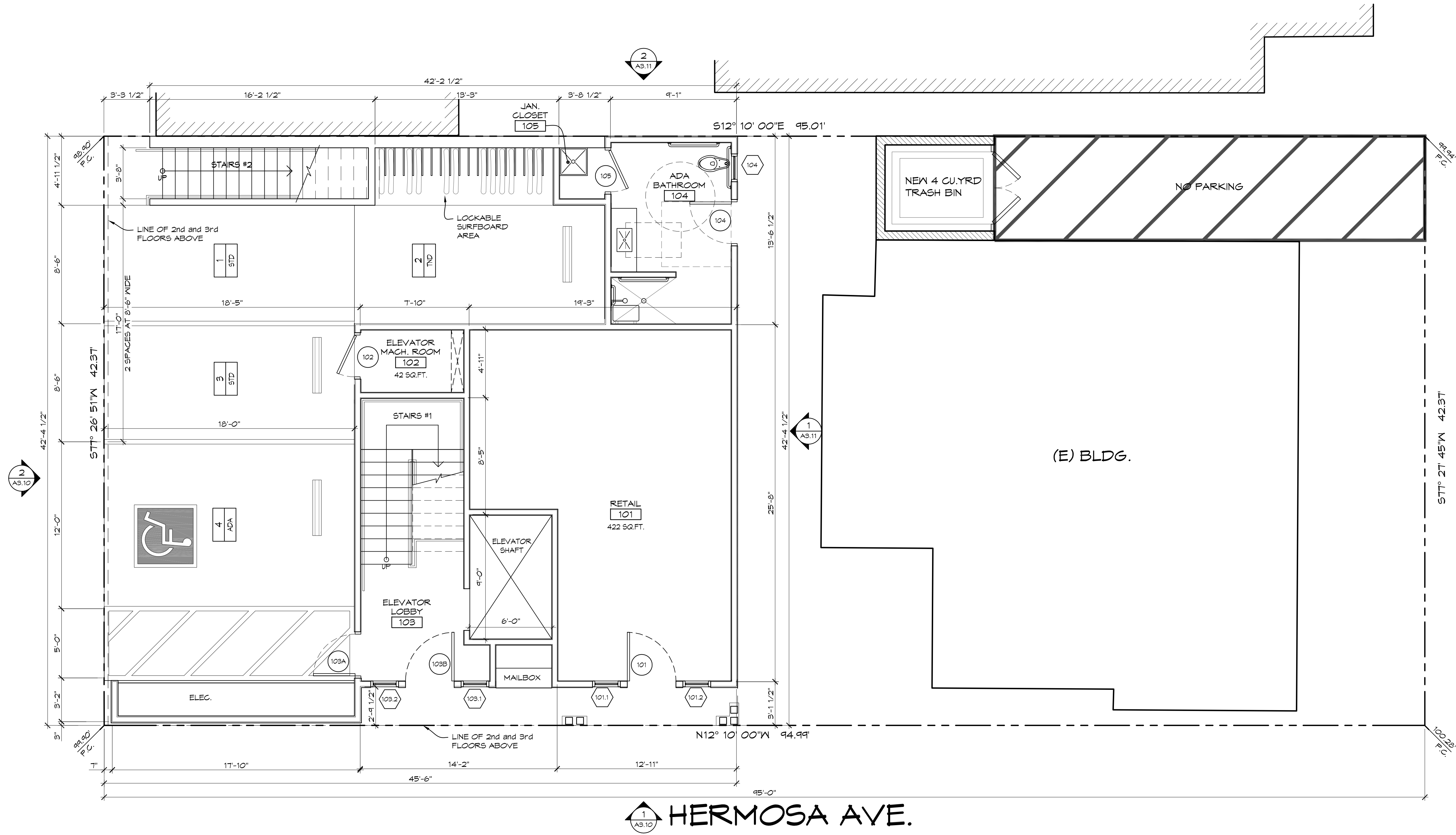
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A2.0

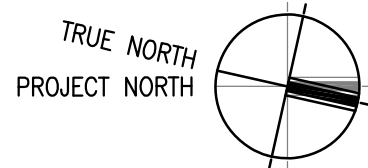
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DATE: 11/06/27
ISSUE/REVISION: PLANNING SUBMITTAL
11/04/07 P.C. RESUBMIT
11/12/21 P.C. RESUBMIT

10TH CT.



HERMOSA AVE.



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

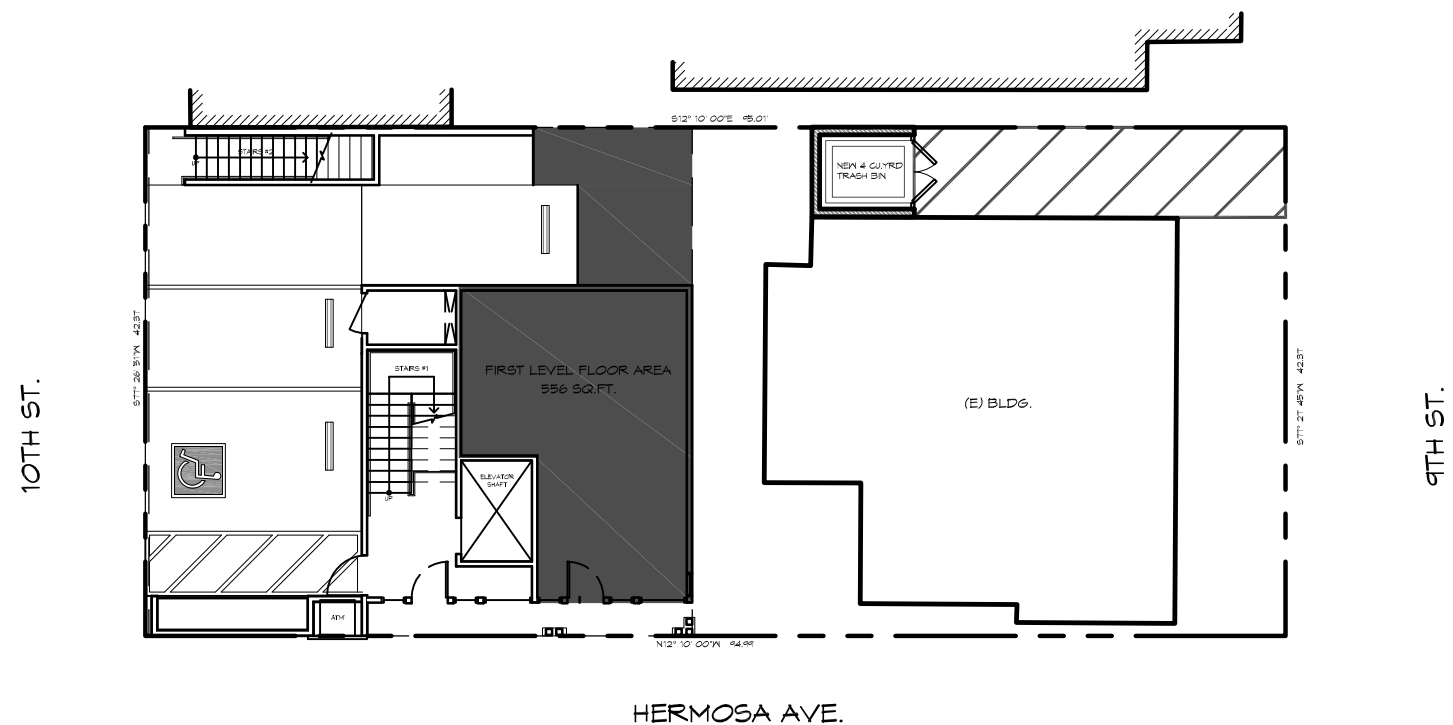
1

CALCULATIONS

LOT AREA = 4,028 SQ.FT.
(N) 1ST FLOOR AREA = 556 S.F.
(N) 2ND FLOOR AREA = 1,094 S.F.
(N) 3RD FLOOR AREA = 1,094 S.F.
TOTAL: = 2,744 S.F.

PARKING ANALYSIS:
2,744 S.F. / 250 = 10.9 ~ 11
11 SPACES NEEDED
4 SPACES PROVIDED
7 SPACES IN LIEU

FLOOR AREA PLAN



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DATE	ISSUE/REVISION
17/06/21	PLANNING SUBMITTAL
17/04/07	PARKING PLAN 4 P.C. RESUBMIT
17/12/21	P.C. RESUBMIT

NEW COMMERCIAL BUILDING FOR:
B&J CAPITAL GROUP INVESTMENTS
TO 10TH STREET, HERMOSA BEACH, CA 90254

PRELIMINARY NOT FOR CONSTRUCTION.



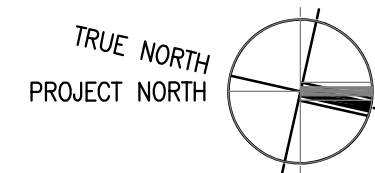
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DATE: 17-06-21
DRAWN: TDA
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DRAWING TITLE

PROPOSED FIRST FLOOR PLAN
DRAWING NUMBER

A2.1

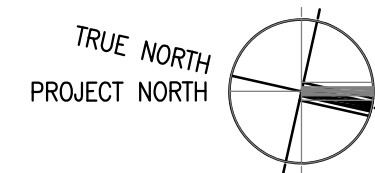


SCALE:
1/4"=1'-0"

THIRD LEVEL FLOOR AREA
1,044 SQ. FT.

STAIRS

10/16/18 Revision



SCALE:
1/4"=1'-0"

A2.2

DATE	ISSUE/REVISION
06/27	PLANNING SUBMITTAL
09/07	PARKING PLAN & P.C. RESUBMIT
12/21	P.C. RESUBMIT



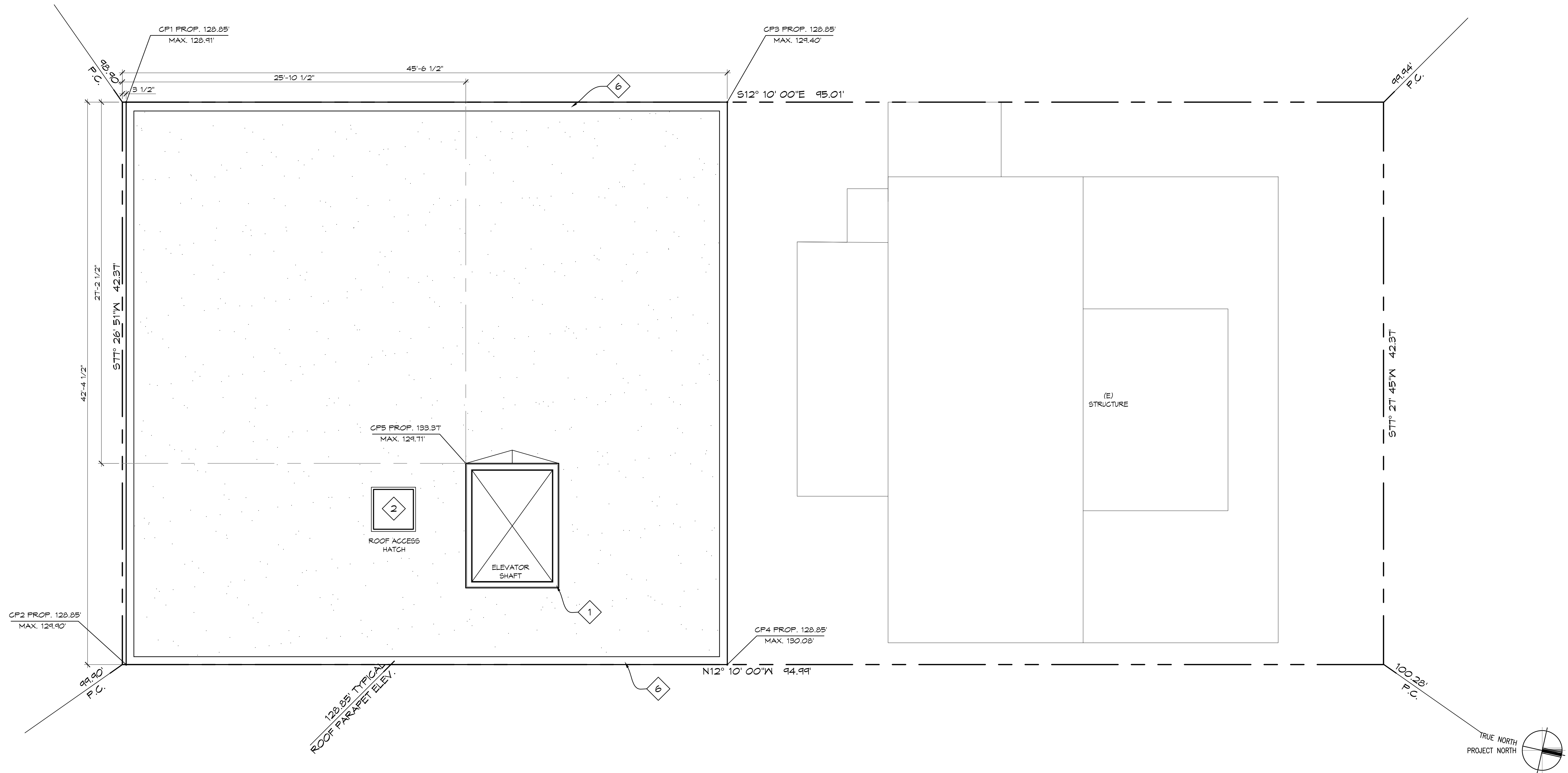
P & A
ARCHITECTURE & ASSOCIATES
 ARCHITECTURE

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PROPOSED
ROOF PLAN

DRAWING NUMBER

A2.4



PROPOSED ROOF PLAN	SCALE: 1/4"=1'-0"
--------------------	----------------------

ROOF PLAN KEYNOTES

- 1 ELEVATOR ROOF PARAPET
- 2 ROOF ACCESS HATCH
- 3 NOT USED
- 4 NOT USED
- 5 PRIVATE DECKS BELOW
- 6 ROOF PARAPET/CURB

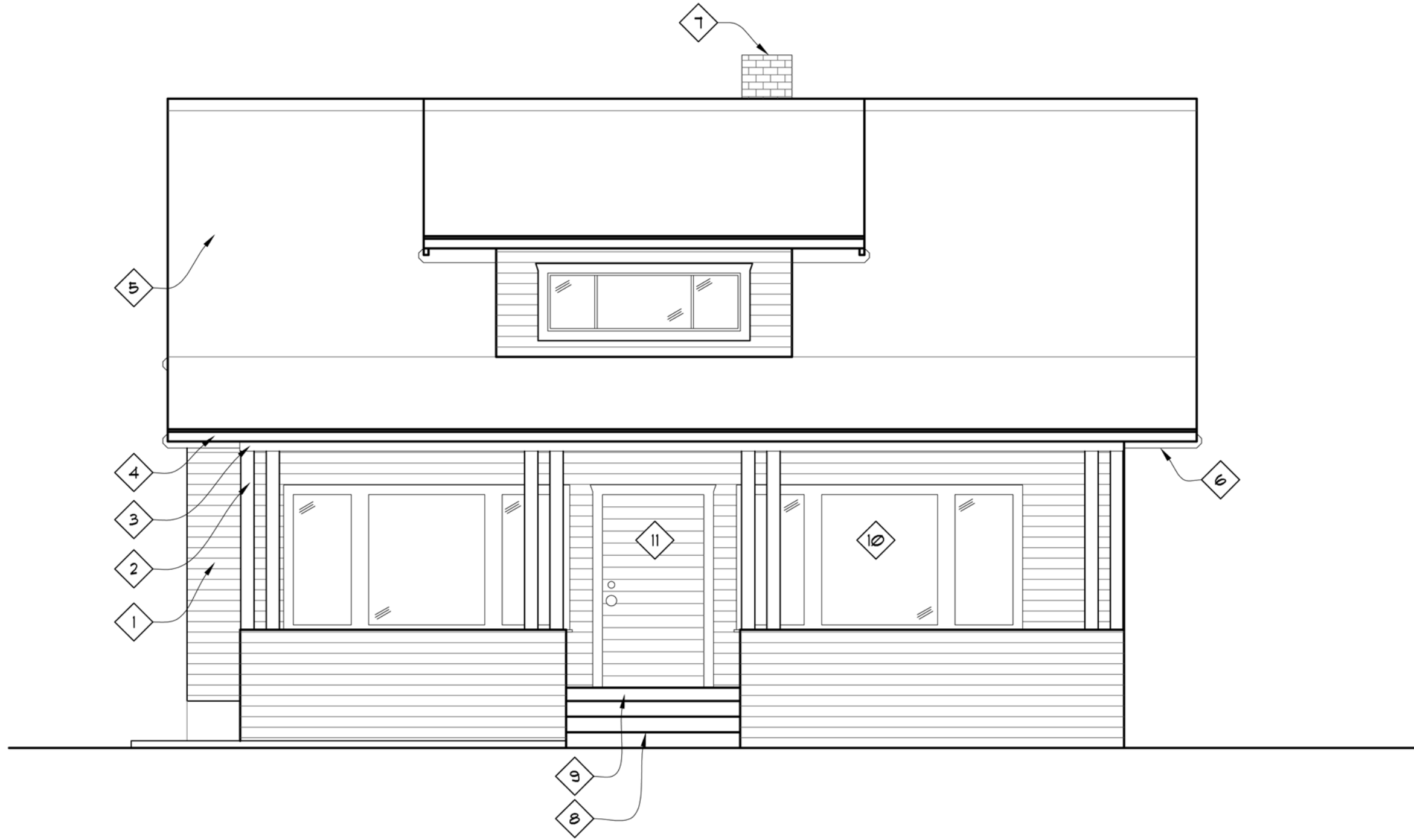
Elev. Pt. A	98.9	
Elev. Pt. B	99.94	
Length A-B	95.01	
Length A-AB ²	0.2917	
	<i>Elev. AB²:</i>	98.903193
Elev. Pt. C	99.9	
Elev. Pt. D	100.28	
Length C-D	94.99	
Length C-CD ²	0.2917	
	<i>Elev. CD²:</i>	99.9011669
Length AB ² -CD ²	42.37	
Length AB ² -CP1	0.2917	
	<i>Elev. CP1</i>	98.9100637
Height Limit	30	
Max. Ht. @ CP1:	128.91	
Proposed Ht. @ CP1:	128.85	

Elev. Pt. A	98.9	
Elev. Pt. B	99.94	
Length A-B	95.01	
Length A-AB ²	0.2917	
	<i>Elev. AB:</i>	98.903193
Elev. Pt. C	99.9	
Elev. Pt. D	100.28	
Length C-D	94.99	
Length C-CD ²	0.2917	
	<i>Elev. CD:</i>	99.9011669
Length AB ² -CD ²	42.37	
Length AB-CP2	42.37	
	<i>Elev. CP2:</i>	99.9011669
Height Limit	30	
Max. Ht. @ CP2:	129.90	
Propost Ht @ CP2	128.85	

Elev. Pt A		98.9
Elev. Pt B		99.94
Length A-B		95.01
Length A-A5'		45.54
	<i>Elev. A5'</i>	99.3984907
Elev. Pt C		99.9
Elev. Pt D		100.28
Length C-D		94.99
Length C-CD'		45.54
	<i>Elev. CD'</i>	100.082179
Length AB-CD'		42.37
Length AB-CP3		0
	<i>Elev. CP3:</i>	99.3984907
Height Limit		30
Max. Ht. @ CP3:		129.40
Proposed Ht. @ CP3:		128.85

Elev. Pt. A	98.9	
Elev. Pt. B	99.94	
Length A-B	95.01	
Length A-AB ²	45.54	
	<i>Elev. AB²:</i>	99.3984907
Elev. Pt. C	99.9	
Elev. Pt. D	100.28	
Length C-D	94.99	
Length C-CD ²	45.54	
	<i>Elev. CD²:</i>	100.082179
Length AB ² -CD ²	42.37	
Length AB-CP4	42.37	
	<i>Elev. CP4:</i>	100.082179
Height Limit	30	
Max. Ht. @ CP4:	130.08	
Proposed Ht. @ CP4:	128.85	

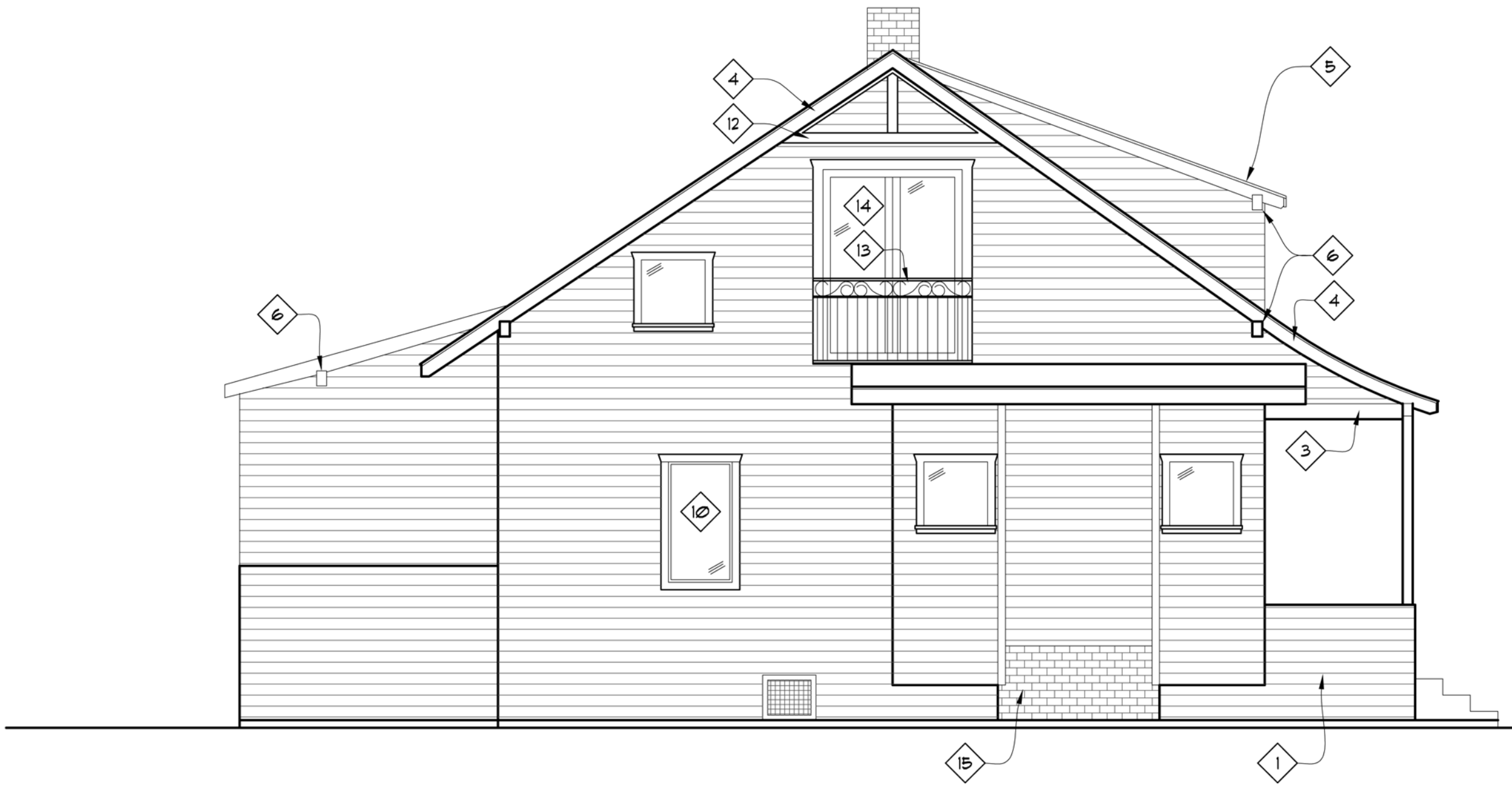
Elev. Pt. A	99.9	
Elev. Pt. B	99.94	
Length A-B	95.01	
Length A-AB	25.875	
	<i>Elev. AB:</i>	99.163233
Elev. Pt. C	99.9	
Elev. Pt. D	100.28	
Length C-D	94.99	
Length C-CD	25.875	
	<i>Elev. CD:</i>	100.00351
Length AB-CD	42.263	
Length AB-CP4	27.3037	
	<i>Elev. CP4:</i>	99.709982
Height Limit	30	
Max. Ht. @ CP5:	129.71	
Proposed Ht. @ CP5	133.37	



EXISTING NORTH ELEVATION - 10TH STREET

SCALE:
1/4"=1'-0"

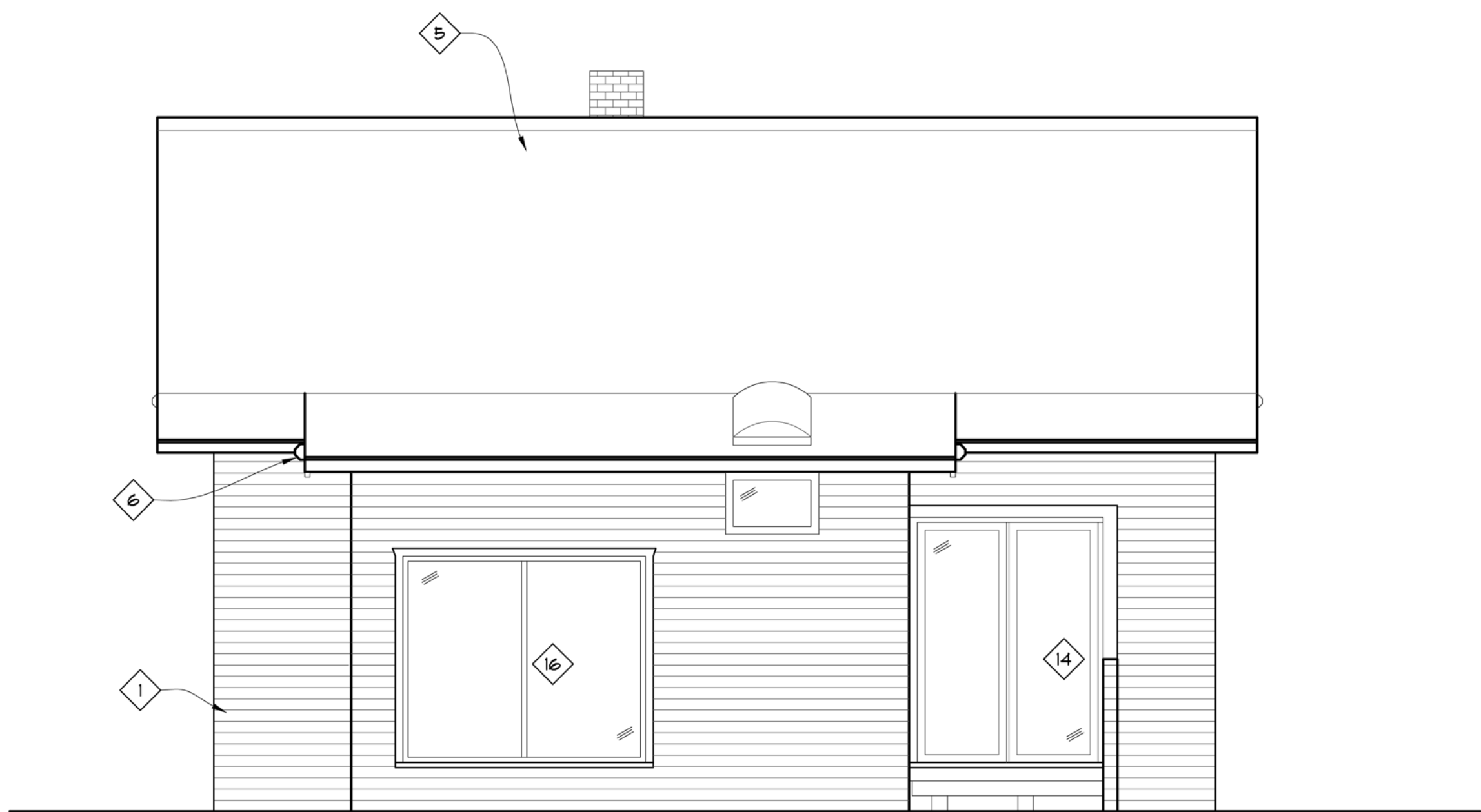
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EXISTING EAST ELEVATIONS - HERMOSA AVE

SCALE:
1/4"=1'-0"

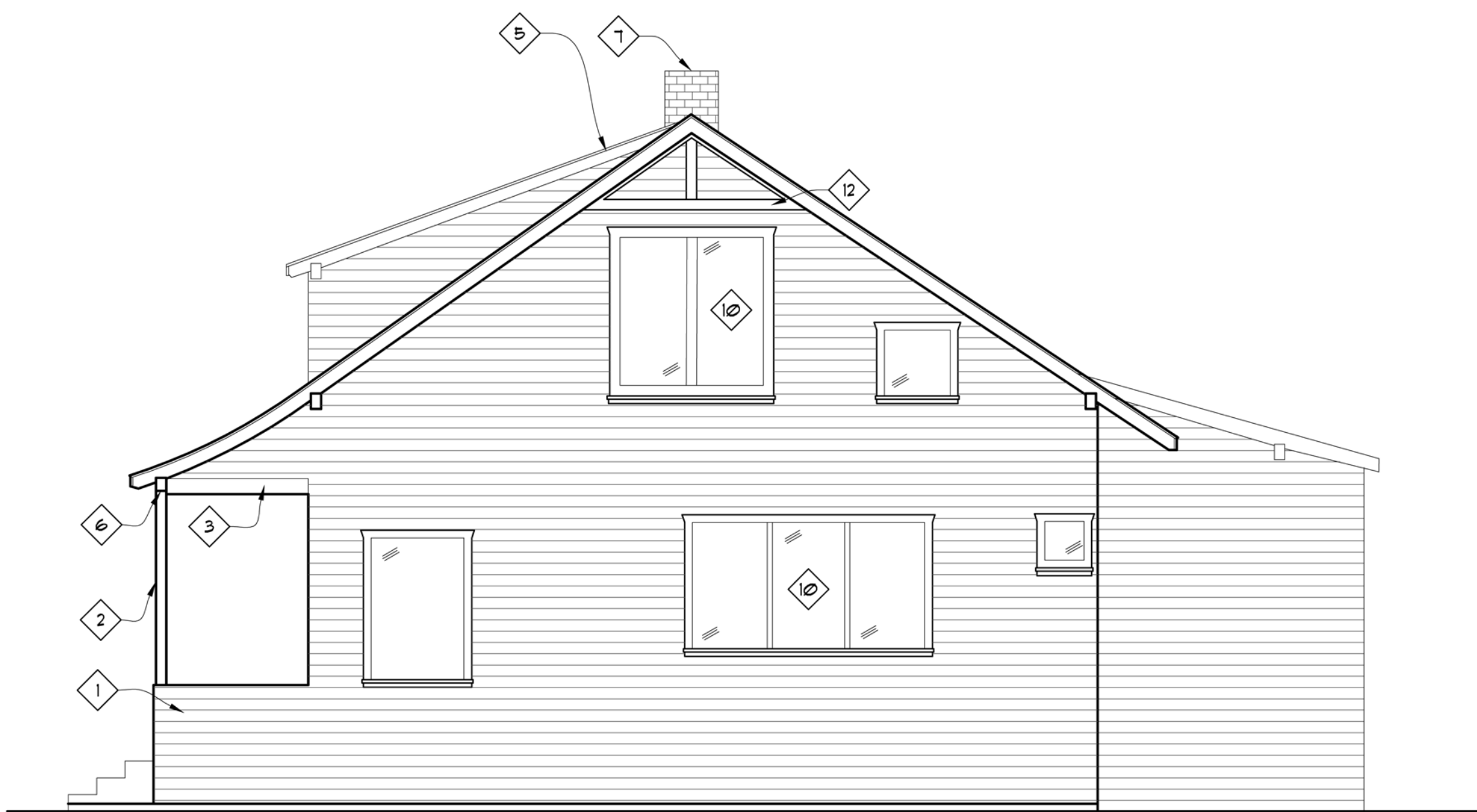
1



EXISTING SOUTH ELEVATION - 10TH COURT

SCALE:
1/4"=1'-0"

4



EXISTING WEST ELEVATION

SCALE:
1/4"=1'-0"

2

KEYNOTES:

- 1 6" WOOD LAP SIDING
- 2 5" SQ. WD POST
- 3 6" WOOD TRIM ABOVE PORCH
- 4 5" WOOD FASCIA AT ROOF EAVE
- 5 ROOF ASPHALT SHINGLES
- 6 BEVELED EDGE WOOD BEAM
- 7 BRICK CHIMNEY
- 8 BRICK STEPS AT ENTRY
- 9 CONCRETE PORCH DECK
- 10 WINDOW LOCATION WITH TRIM
- 11 WOOD PANEL ENTRY DOOR
- 12 ARCH'L WOOD TRIM
- 13 JULIET METAL BALCONY
- 14 WOOD & GLASS DOOR LOCATION
- 15 BRICK FOUNDATION AT POP-OUT
- 16 FIXED WINDOW

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11/06/21	PLANNING SUBMITTAL
11/04/07	PARKING PLAN & P.C. RESUBMIT
11/12/21	P.C. RESUBMIT

NEW COMMERCIAL BUILDING FOR:
B&J CAPITAL GROUP INVESTMENTS
TO 10TH STREET, HERMOSA BEACH, CA 90254



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Web: www.pehaarch.com

DATE: 17-0627
DRAWN: TDA
JOB NO. 1601
DRAWING TITLE
EXISTING ELEVATIONS

DRAWING NUMBER

A3.00



EXISTING SOUTH EAST - 10TH STREET

SCALE:
1/4"=1'-0"

3



EXISTING NORTH EAST - HERMOSA AVE

SCALE:
1/4"=1'-0"

1



EXISTING SOUTH ELEVATION - 10TH COURT

SCALE:
1/4"=1'-0"

4



EXISTING NORTH WEST

SCALE:
1/4"=1'-0"

2

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ISSUE/REVISION: PLANNING SUBMITTAL
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11/12/21 P.C. RESUBMIT

NEW COMMERCIAL BUILDING FOR:
B&J CAPITAL GROUP
INVESTMENTS
TO 10TH STREET, HERMOSA BEACH, CA 90254

PA
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DATE: 17-0627
DRAWN: TDA
JOB NO. 1601
DRAWING TITLE
EXISTING ELEVATIONS

DRAWING NUMBER
A3.01



ELEVATIONS KEYNOTES

- 1 1X6 LAP SIDING, PAINTED
- 2 STOREFRONT GLAZING SYSTEM
- 3 ARCHITECTURAL WOOD TRIM, PAINTED
- 4 WOOD PICKET RAIL +42" A.F.F., PAINTED
- 5 NOT USED
- 6 STAIRS
- 7 MASONRY WALL
- 8 ELEVATOR SHAFT
- 9 MAIL BOXES

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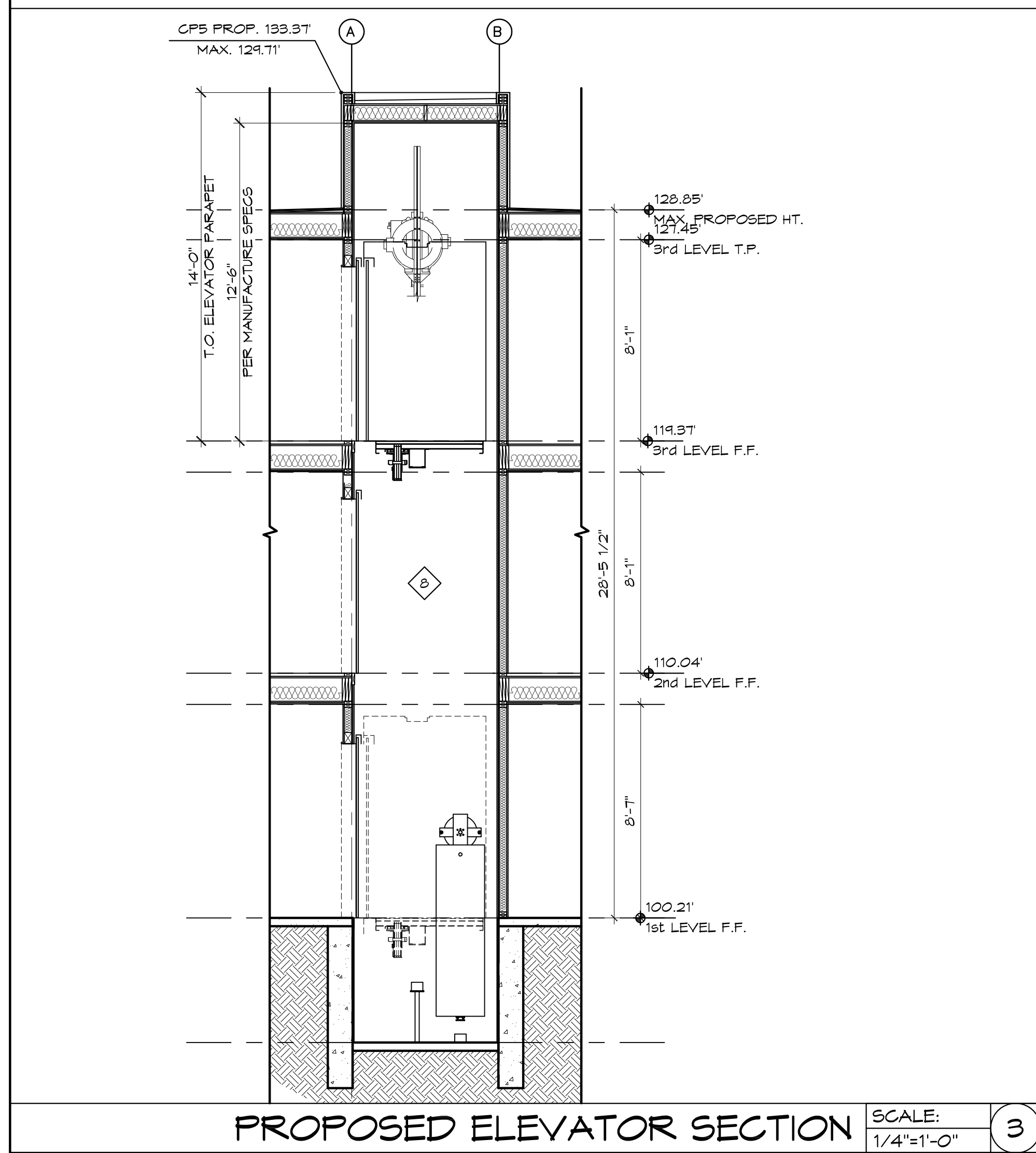
DATE	ISSUE/REVISION
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17/12/21	P.C. RESUBMIT

NEW COMMERCIAL BUILDING FOR:
**B&J CAPITAL GROUP
INVESTMENTS**
TO 10TH STREET, HERMOSA BEACH, CA 90254

PROPOSED & EXISTING EAST ELEVATION - HERMOSA AVE

SCALE:
1/4"=1'-0"

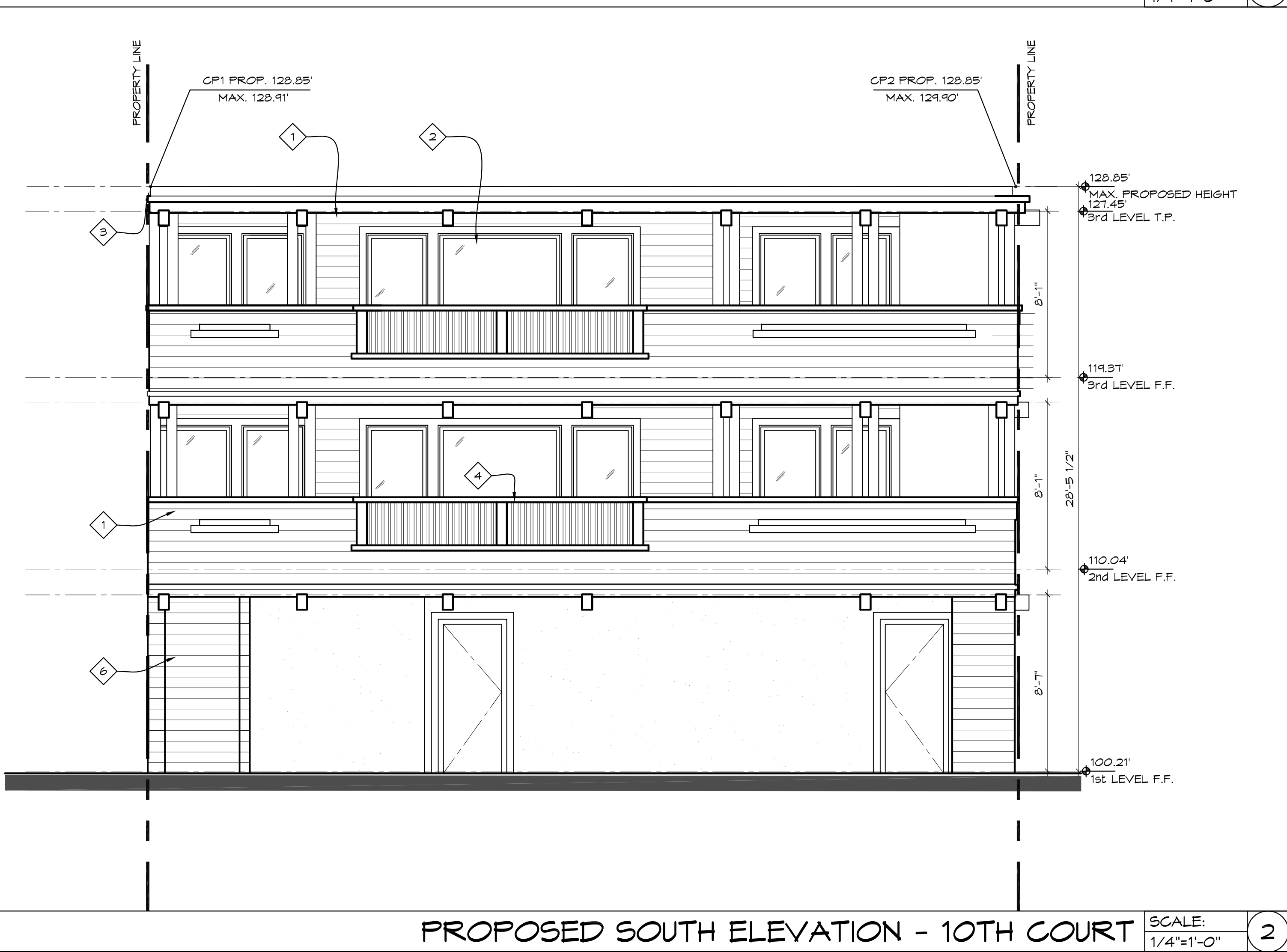
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PROPOSED ELEVATOR SECTION

SCALE:
1/4"=1'-0"

3



PROPOSED SOUTH ELEVATION - 10TH COURT

SCALE:
1/4"=1'-0"

2



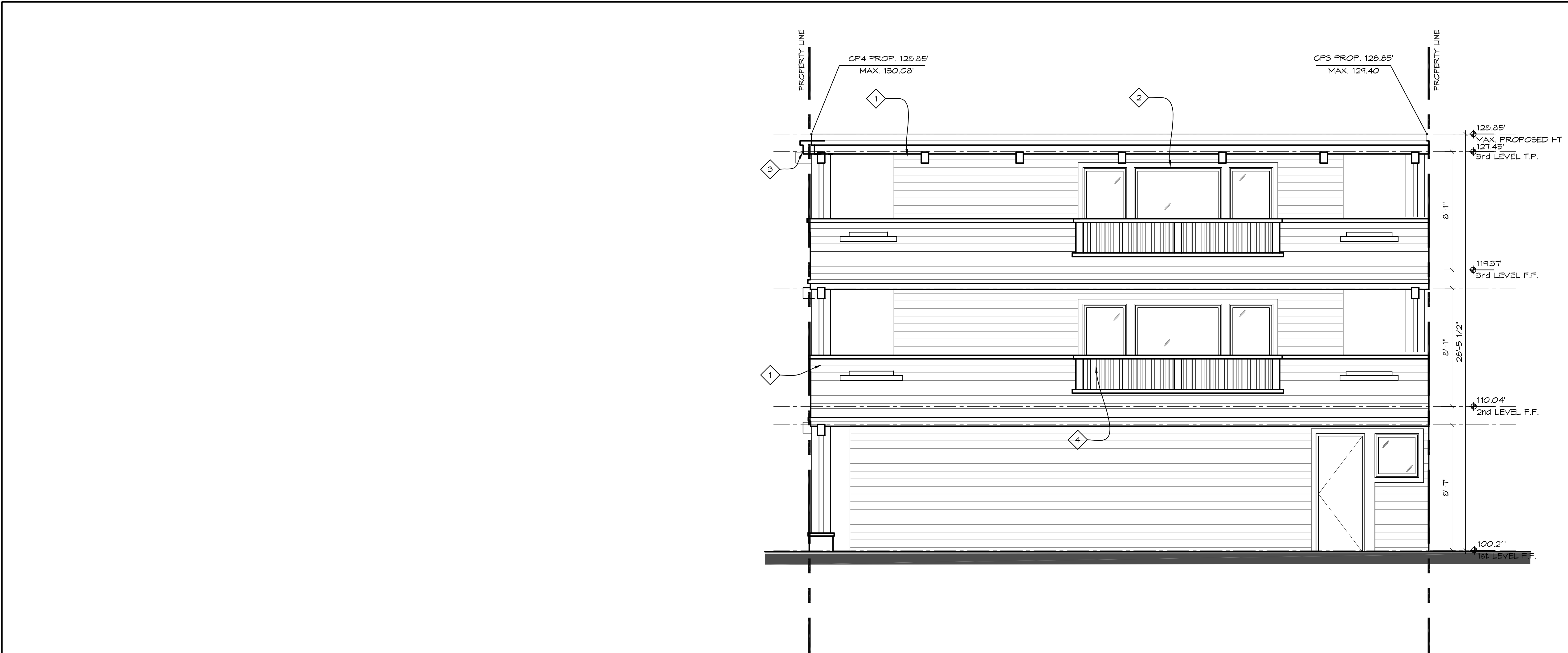
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DATE: 17-0627
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DRAWING TITLE

PROPOSED
ELEVATIONS
DRAWING NUMBER

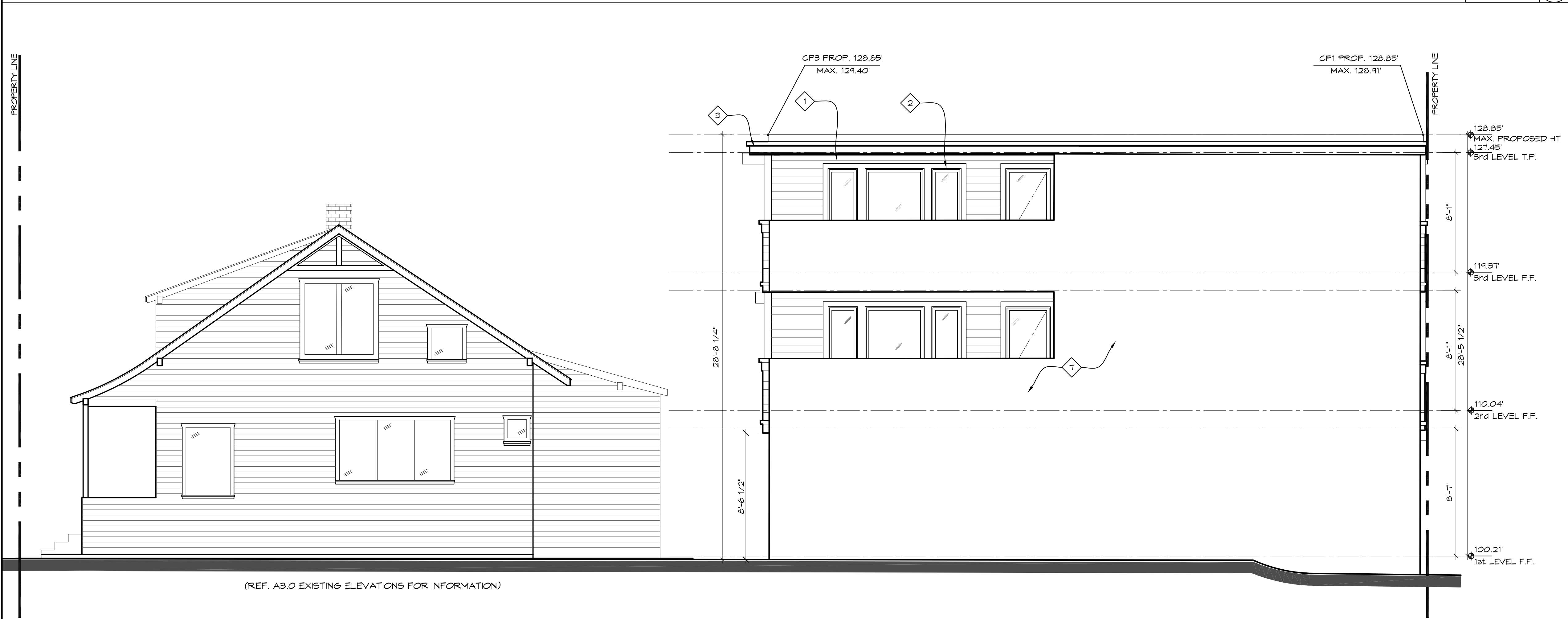
A3.10



PROPOSED NORTH ELEVATION

SCALE:
1/4"=1'-0"

1



PROPOSED WEST ELEVATION

SCALE:
1/4"=1'-0"

2

ELEVATIONS KEYNOTES

- 1 1X6 LAP SIDING, PAINTED
- 2 STOREFRONT GLAZING SYSTEM
- 3 ARCHITECTURAL WOOD TRIM, PAINTED
- 4 WOOD PICKET RAIL +42" A.F.F., PAINTED
- 5 NOT USED
- 6 STAIRS
- 7 MASONRY WALL
- 8 ELEVATOR SHAFT
- 9 MAIL BOXES

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17/12/21	P.C. RESUBMIT

NEW COMMERCIAL BUILDING FOR:
B&J CAPITAL GROUP INVESTMENTS
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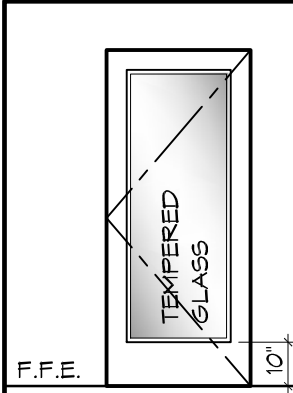
DATE: 17-06-21
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JOB NO. 1601
DRAWING TITLE

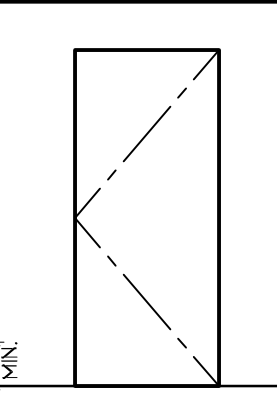
PROPOSED
ELEVATIONS
DRAWING NUMBER

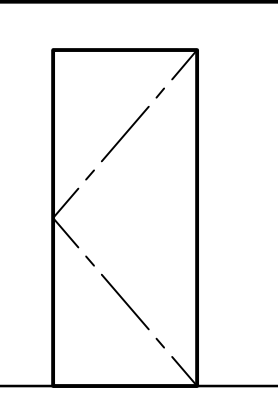
A3.11

DOOR and FRAME SCHEDULE														
MARK <div>ⓧ</div>	TYPE	DOOR					FRAME					FIRE RATING LABEL	HARDWARE GROUP	NOTES
		SIZE			DOOR CONSTR.	FACE & FINISH	GLAZING	FRAME MATERIAL	FRAME FINISH	DETAIL				
		WIDTH	HEIGHT	THK.						HEAD	JAMB	SILL		
101	D-1	3'-6"	T-6"	1 3/4"	AL/GLS.	ANO.AL.	TEMP	AL	ANO.AL.					
102	D-3	3'-0"	T-6"	1 1/2"	MTL	PM	-	MTL	PM					
103A	D-3	3'-0"	T-6"	1 1/2"	MTL	PM	-	MTL	PM					
103B	D-1	3'-6"	T-6"	1 3/4"	AL/GLS.	ANO.AL.	TEMP	AL	ANO.AL.					
104	D-3	3'-0"	T-6"	1 1/2"	MTL	PM	-	MTL	PM					
105	D-2	3'-0"	T-0"	1 1/2"	ND	ANO.AL.	-	ND	PM					
201A	D-1	3'-0"	T-0"	1 3/4"	AL/GLS.	ANO.AL.	TEMP	AL	ANO.AL.					
201B	D-1	3'-0"	T-0"	1 3/4"	AL/GLS.	ANO.AL.	TEMP	AL	ANO.AL.					
202A	D-1	3'-6"	T-0"	1 3/4"	AL/GLS.	ANO.AL.	TEMP	AL	ANO.AL.					
202B	D-1	3'-0"	T-0"	1 3/4"	AL/GLS.	ANO.AL.	TEMP	AL	ANO.AL.					
202C	D-1	3'-0"	T-0"	1 3/4"	AL/GLS.	ANO.AL.	TEMP	AL	ANO.AL.					
203	D-1	3'-0"	T-0"	1 3/4"	AL/GLS.	ANO.AL.	TEMP	AL	ANO.AL.					
301A	D-1	3'-0"	T-0"	1 3/4"	AL/GLS.	ANO.AL.	TEMP	AL	ANO.AL.					
301B	D-1	3'-0"	T-0"	1 3/4"	AL/GLS.	ANO.AL.	TEMP	AL	ANO.AL.					
302A	D-1	3'-6"	T-0"	1 3/4"	AL/GLS.	ANO.AL.	TEMP	AL	ANO.AL.					
302B	D-1	3'-0"	T-0"	1 3/4"	AL/GLS.	ANO.AL.	TEMP	AL	ANO.AL.					
302C	D-1	3'-0"	T-0"	1 3/4"	AL/GLS.	ANO.AL.	TEMP	AL	ANO.AL.					
303	D-1	3'-0"	T-0"	1 3/4"	AL/GLS.	ANO.AL.	TEMP	AL	ANO.AL.					

DOOR TYPES







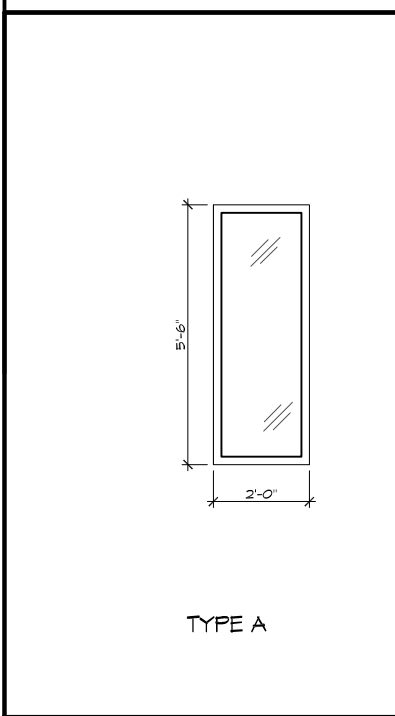
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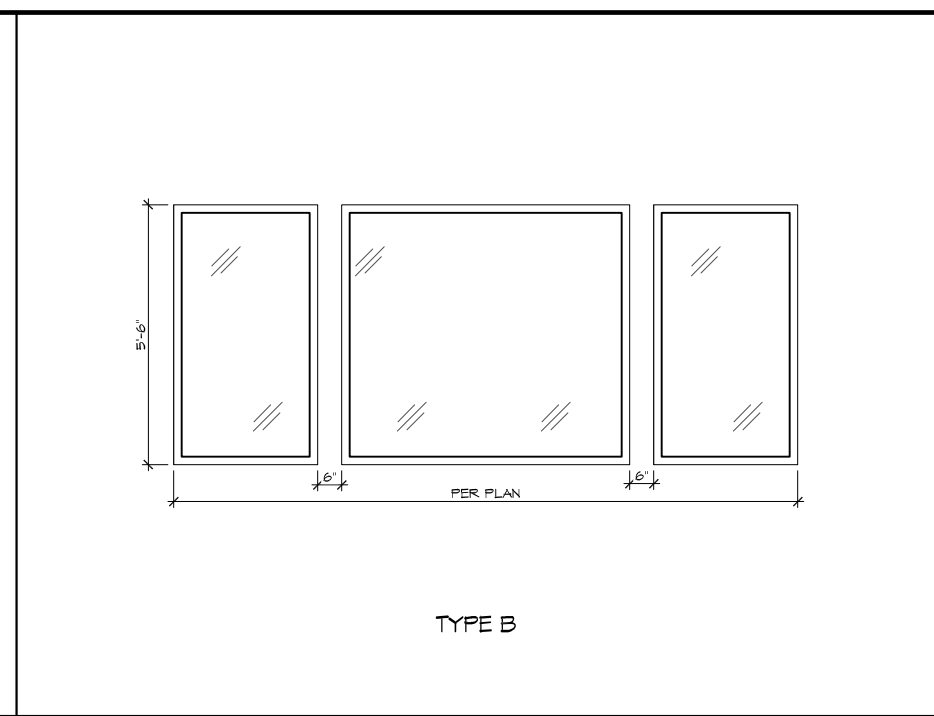
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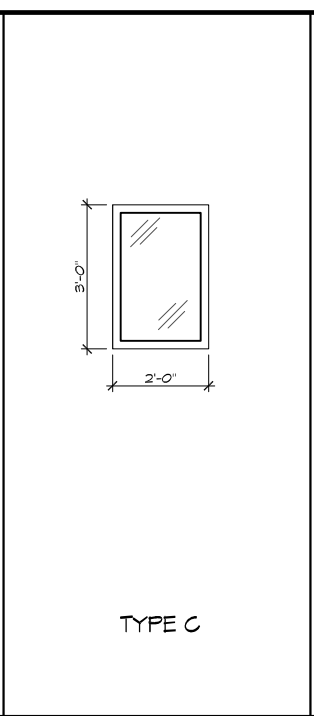
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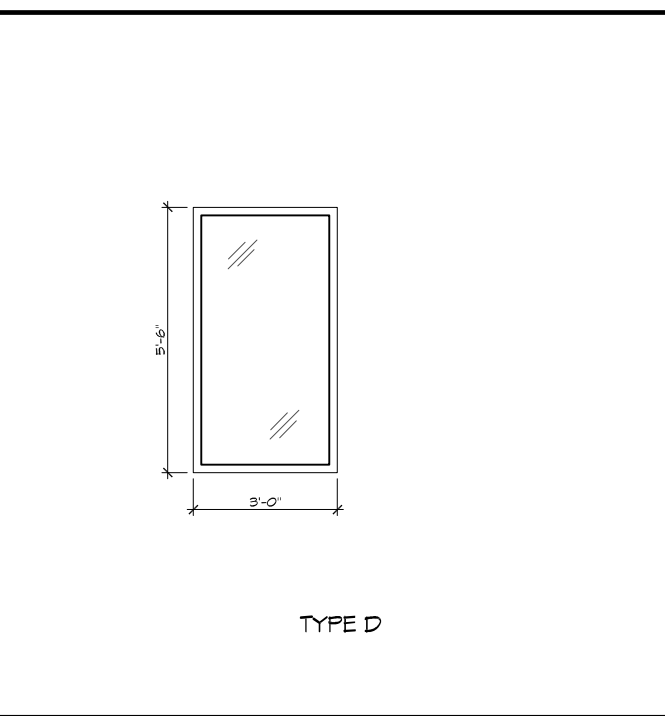
WINDOW SCHEDULE												
MARK <div>ⓧ</div>	TYPE	SIZE		WINDOW MATERIAL	GLAZING	FIRE RATING LABEL	DETAIL					NOTES
		WIDTH	HEIGHT				HEAD	JAMB	SILL	HORIZ. MULLION	VERT. MULLION	
101.1	A	2'-0"	5'-6"	AL	TEMP	N.R.				-	-	
101.2	A	2'-0"	5'-6"	AL	TEMP	N.R.				-	-	
103.1	A	2'-0"	5'-6"	AL	TEMP	N.R.				-	-	
103.2	A	2'-0"	5'-6"	AL	TEMP	N.R.				-	-	
104	C	2'-0"	3'-0"	AL	TEMP	N.R.				-	-	
200.1	D	3'-0"	5'-6"	AL	TEMP	N.R.				-	-	
200.2	D	3'-0"	5'-6"	AL	TEMP	N.R.				-	-	
201.1	B	12'-0"	5'-6"	AL	TEMP	N.R.				-	-	
201.2	D	3'-0"	5'-6"	AL	TEMP	N.R.				-	-	
201.3	D	3'-0"	5'-6"	AL	TEMP	N.R.				-	-	
201.4	D	3'-0"	5'-6"	AL	TEMP	N.R.				-	-	
202.1	A	2'-0"	5'-6"	AL	TEMP	N.R.				-	-	
202.2	A	2'-0"	5'-6"	AL	TEMP	N.R.				-	-	
202.3	B	12'-0"	5'-6"	AL	TEMP	N.R.				-	-	
202.4	B	8'-0"	5'-6"	AL	TEMP	N.R.				-	-	
203	D	4'-0"	5'-6"	AL	TEMP	N.R.				-	-	
300.1	D	3'-0"	5'-6"	AL	TEMP	N.R.				-	-	
300.2	D	3'-0"	5'-6"	AL	TEMP	N.R.				-	-	
301.1	B	12'-0"	5'-6"	AL	TEMP	N.R.				-	-	
301.2	D	3'-0"	5'-6"	AL	TEMP	N.R.				-	-	
301.3	D	3'-0"	5'-6"	AL	TEMP	N.R.				-	-	
301.4	D	3'-0"	5'-6"	AL	TEMP	N.R.				-	-	
302.1	A	2'-0"	5'-6"	AL	TEMP	N.R.				-	-	
302.2	A	2'-0"	5'-6"	AL	TEMP	N.R.				-	-	
302.3	B	12'-0"	5'-6"	AL	TEMP	N.R.				-	-	
302.4	B	8'-0"	5'-6"	AL	TEMP	N.R.				-	-	
303	D	4'-0"	5'-6"	AL	TEMP	N.R.				-	-	

- NOTES:
- GLASS & GLAZING SHALL BE IN ACCORDANCE WITH CBC CHAPTER 24 SECTION 2403, 2404, & 2406.
 - WINDOWS TO BE ARGADIA ALUMINUM MODEL #AF6 451, COLOR TO BE DARK BRONZE.
 - CONTRACTOR TO VERIFY ALL OPENINGS PRIOR TO ORDERING GLAZING.
 - EXTERIOR GLAZING TO BE DUAL-GLAZED LOW 'E'.









TYPE A

TYPE B

TYPE C

TYPE D

ABBREVIATIONS:							
AL	ALUMINUM	GLS	GLASS	MTL	METAL	SF	STOREFRONT
BS	BRUSHED STAINLESS	HC	HOLLOW CORE	PM	PAINTED METAL	SS	STAINLESS STEEL
FRG	FIRE RESISTANT CORE	HM	HOLLOW METAL	PM	PAINTED WOOD	TMP	TEMPERED
FF	FACTORY FINISH	MFR	MANUFACTURER	SC	SOLID CORE	ND	WOOD

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17/12/21	P.C. RESUBMIT

NEW COMMERCIAL BUILDING FOR:

B&J CAPITAL GROUP

INVESTMENTS

TO 10th STREET, HERMOSA BEACH, CA 90254



PEHA & ASSOCIATES

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DATE: 17-0627

DRAWN: TDA

JOB NO. 1601

DRAWING TITLE

EXTERIOR ASSEMBLY DETAILS

DRAWING NUMBER

A5.01