



911

HERMOSA

911 1st Street,
Hermosa Beach, CA, 90254

SD PACKAGE

CLIENT

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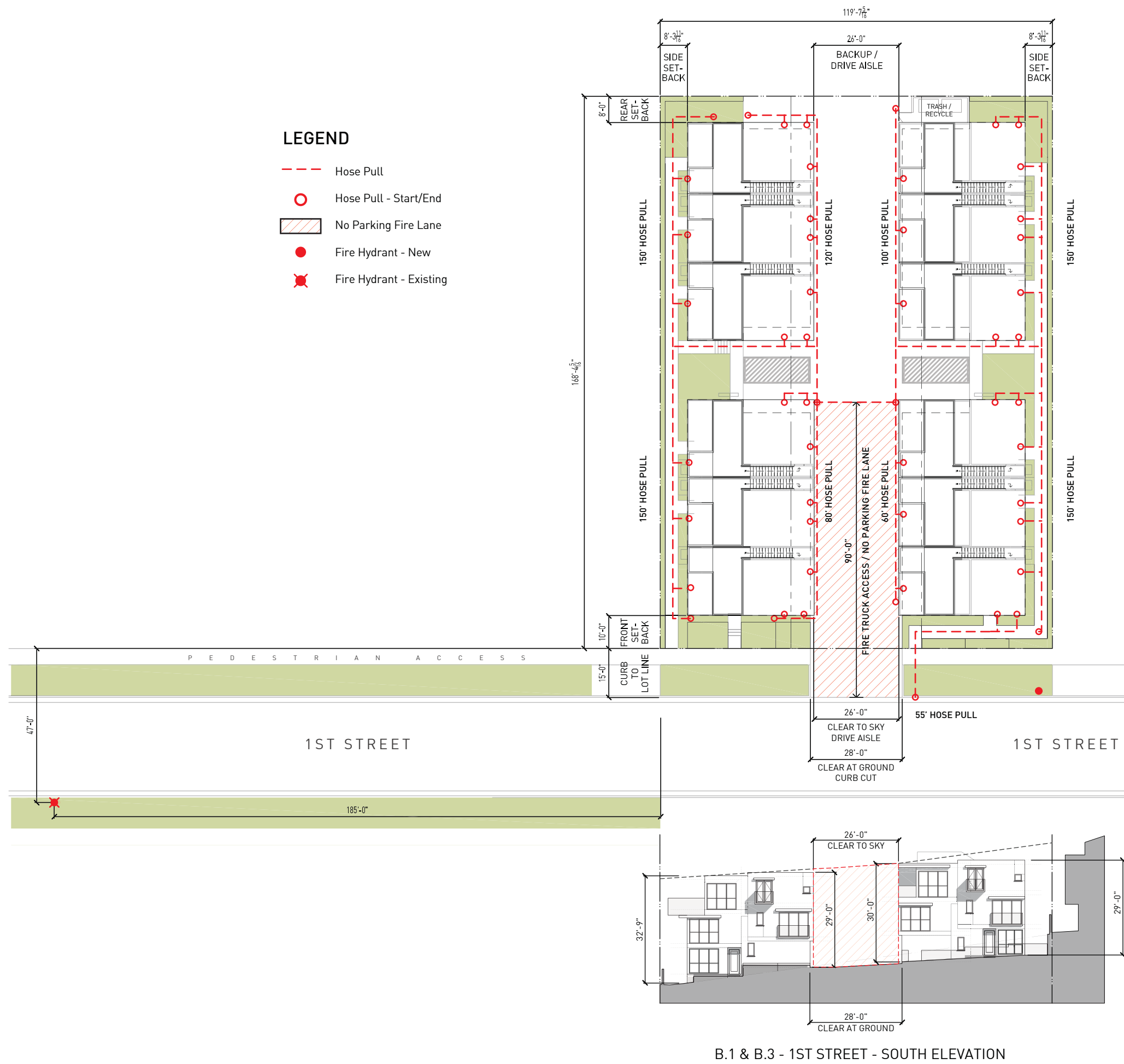
PROJECT ANALYSIS					
ZONING SUMMARY					
PROJECT SITE INFORMATION					
APN NUMBER	ADDRESS	EXISTING ZONE	PROPOSED NEW ZONE	LOT AREA (ACRE)	LOT AREA (SF)
4186-026-047	911 1ST STREET, HERMOSA BEACH, CA 90254	SPA (COMMERCIAL)	R-P	0.46	20,137
SETBACKS		REQUIRED/ALLOWED	PROPOSED	NOTES	
	FRONT - SOUTH	10'	10'		
	SIDE - EAST	5'	10'		
	SIDE - WEST	5'	10'		
	REAR - NORTH	5'	8' - 10'		
NUMBER OF UNITS		???	12		
DENSITY		33 DU/AC (1,320 SF/DU MIN.)	26 DU/AC		
LOT COVERAGE		65% MAX. (13,089 SF)	46% (9,258 SF)		
BUILDING FLOOR AREA			20,362 SF		
FLOOR AREA RATIO (F.A.R.)			1.01	FAR DOES NOT INCLUDE GARAGE	
BUILDING HEIGHT		30' ABOVE EXISTING GRADE MAX.	3 STORIES <30' ABOVE EXISTING GRADE		
OPEN SPACE (USABLE)		300 SF/DU (MIN. DIMENSION OF 7') 100 SF/DU ADDITIONAL (5+ UNIT DEVELOPMENTS) = 400 SF/DU * 12 UNITS = 4,800 SF	4,430 SF PUBLIC + 1,200 PRIVATE = 5,630 SF	100 SF MIN. ADJACENT TO PRIMARY LIVING AREA 100 SF MAX. ON ROOF DECKS MAY COUNT AS OPEN SPACE	
STORAGE SPACE (PRIVATE)		200 C.F PER UNIT	396-476 C.F PER UNIT		
PROJECT CONSTRUCTION TYPE		3 STORY TOWNHOME - TYPE V-B			

UNIT SUMMARY							
PLAN	DESCRIPTION	QUANTITY	GROSS AREA	GROSS AREA SUBTOTAL	DECK AREA	DECK AREA SUBTOTAL	RATIO
A	3 BR / 2.5 BA	3 UNITS	± 1,565 SF	4,695 SF	405 SF	1,215 SF	25.9%
B	3 BR / 2.5 BA	1 UNIT	± 1,623 SF	1,623 SF	407 SF	407 SF	25.1%
C	3 BR / 2.5 BA	1 UNIT	± 1,802 SF	1,802 SF	432 SF	432 SF	24.0%
D	3 BR / 2.5 BA	1 UNIT	± 1,808 SF	1,808 SF	432 SF	432 SF	23.9%
E	3 BR / 2.5 BA	3 UNITS	± 1,627 SF	4,881 SF	473 SF	1,419 SF	29.1%
F	3 BR / 2.5 BA	1 UNIT	± 1,830 SF	1,830 SF	479 SF	479 SF	26.2%
G	3 BR / 2.5 BA	1 UNIT	± 1,862 SF	1,862 SF	513 SF	513 SF	27.6%
H	3 BR / 2.5 BA	1 UNIT	± 1,861 SF	1,861 SF	516 SF	516 SF	27.7%
PROJECT UNITS TOTAL		12 UNITS		20,362 SF		5,413 SF	26.6%

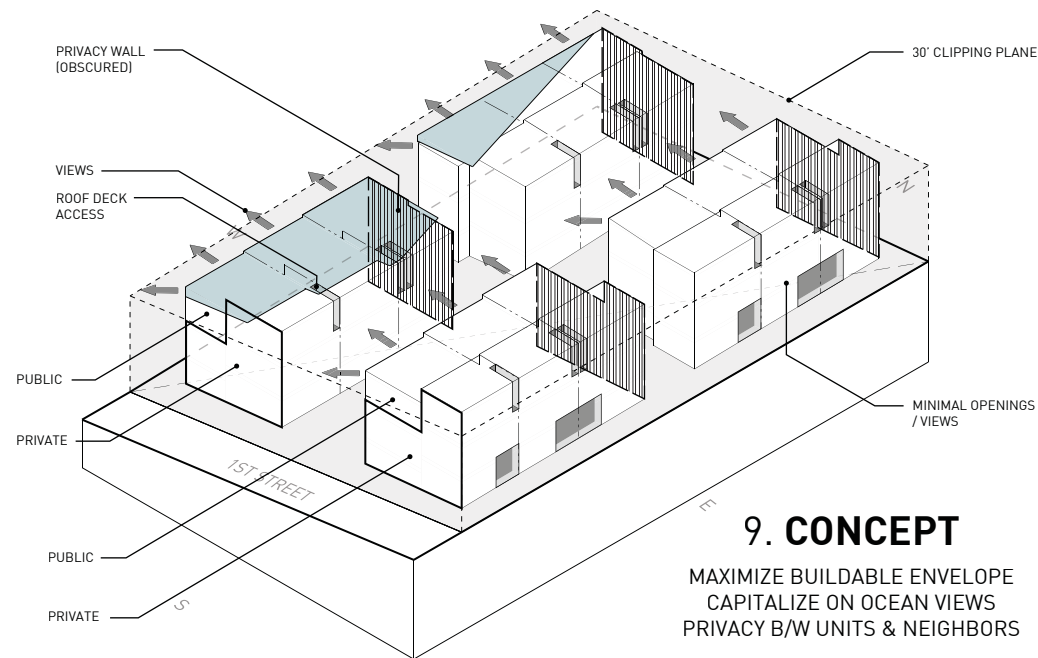
OPEN SPACE / AMENITY SUMMARY			
	REQUIRED	PROPOSED	NOTES
COMMON OPEN SPACE	4,800 SF	2,482 SF	400 SF/DU REQUIRED (12 UNITS)
PRIVATE OPEN SPACE		2,400 SF	200 SF/DU OF ROOF DECK AREA MAY COUNT
TOTAL OPEN SPACE		4,882 SF	LANDSCAPED AREA = 3,658 SF

PARKING SUMMARY			
REQUIRED	RESIDENTIAL/GUEST	(2) STANDARD 18'x20' SPACE / UNIT (12 UNITS)	24 SPACES
		(1) GUEST SPACE / 2 UNITS (12 UNITS)	6 SPACES
TOTAL			30 SPACES
PROVIDED	RESIDENTIAL/GUEST	(2) STANDARD 18'x20' SPACES / UNIT (12 UNITS)	24 SPACES
		(1) 10'x20' GUEST SPACE	1 SPACES
		(0) 17'x20' GUEST SPACE - H.C.	0 SPACES
		(1) 8'x20' / 9'x20' GUEST SPACE - COMPACT	6 SPACES
TOTAL			31 SPACES



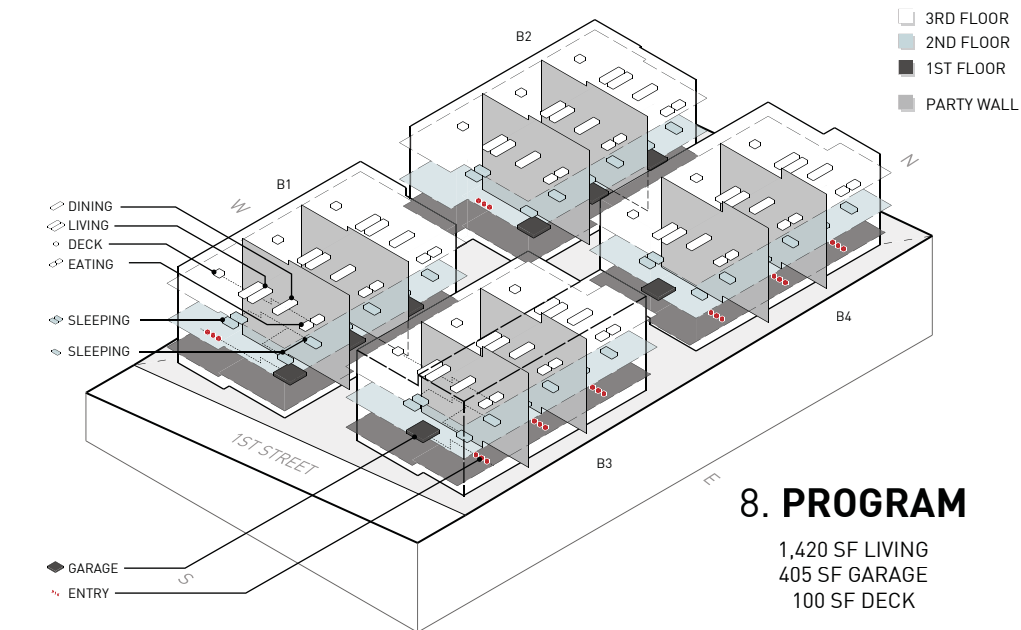


EXISTING ON-STREET PARKING



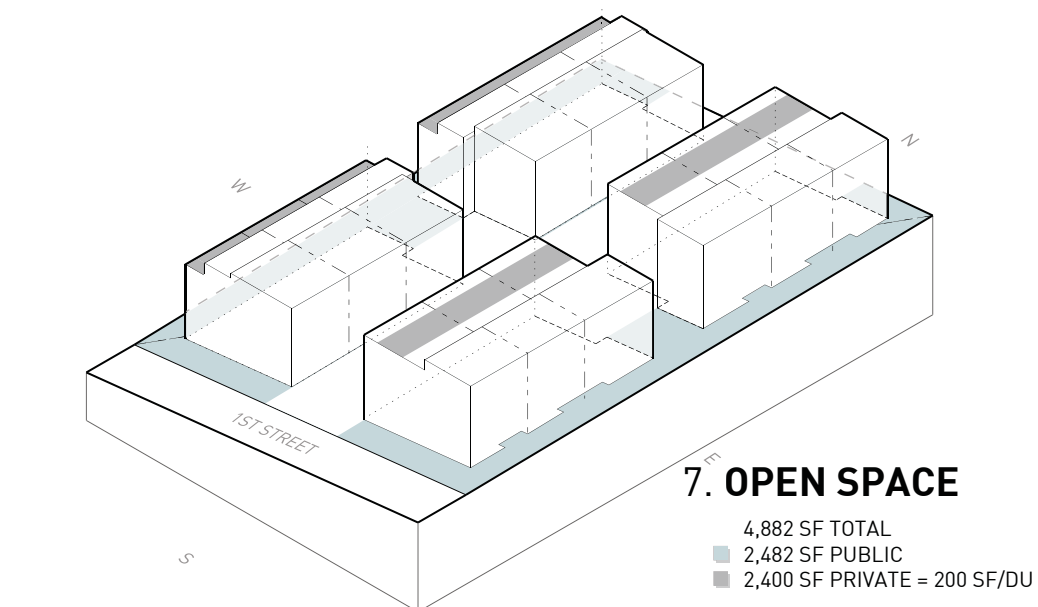
9. CONCEPT

MAXIMIZE BUILDABLE ENVELOPE
CAPITALIZE ON OCEAN VIEWS
PRIVACY B/W UNITS & NEIGHBORS



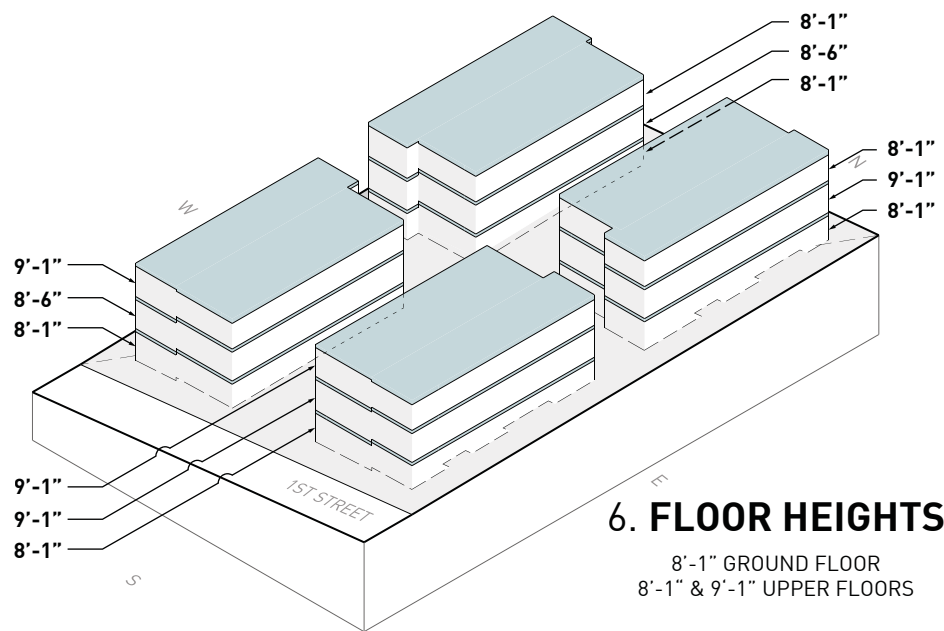
8. PROGRAM

1,420 SF LIVING
405 SF GARAGE
100 SF DECK



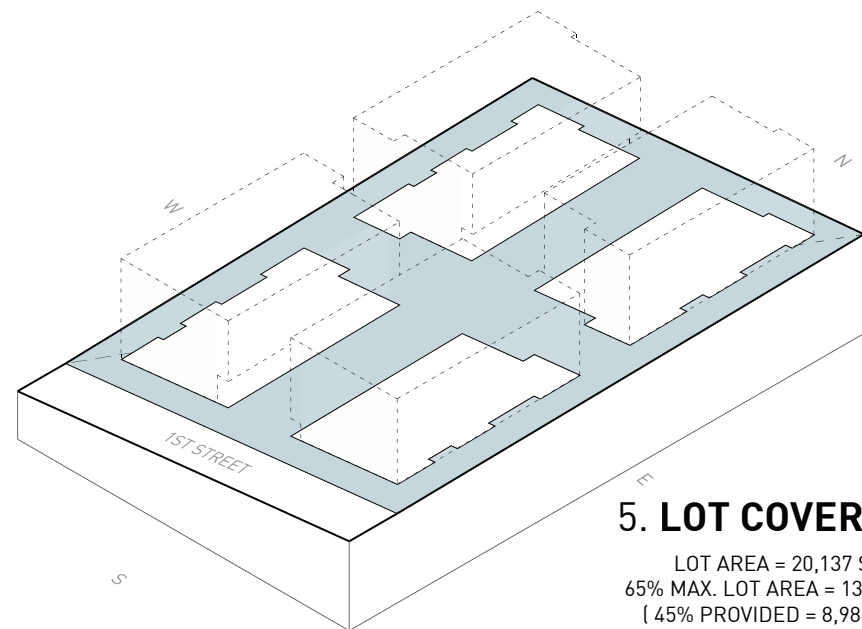
7. OPEN SPACE

4,882 SF TOTAL
2,482 SF PUBLIC
2,400 SF PRIVATE = 200 SF/DU



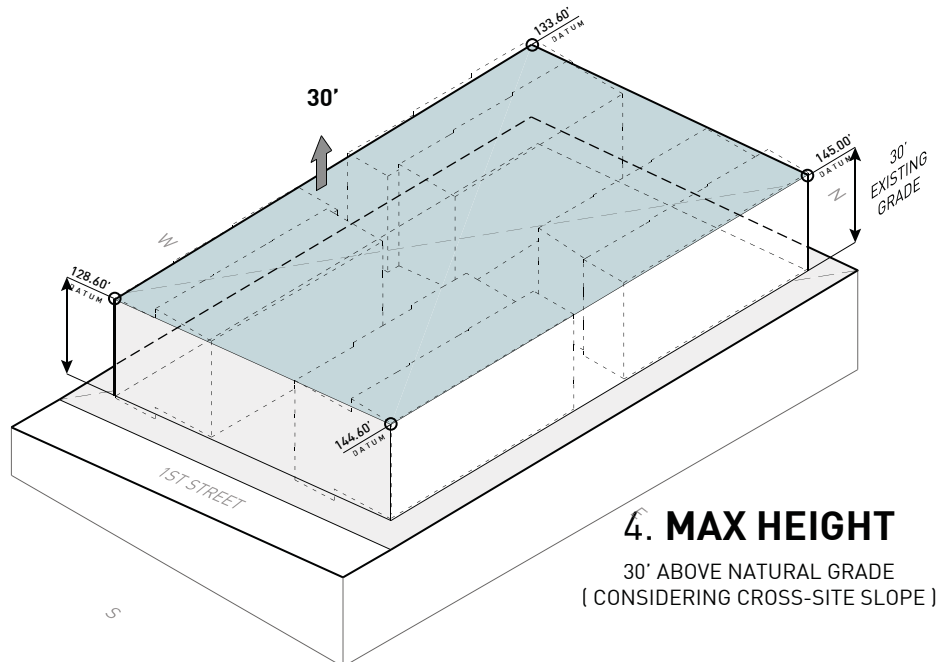
6. FLOOR HEIGHTS

8'-1" GROUND FLOOR
8'-1" & 9'-1" UPPER FLOORS



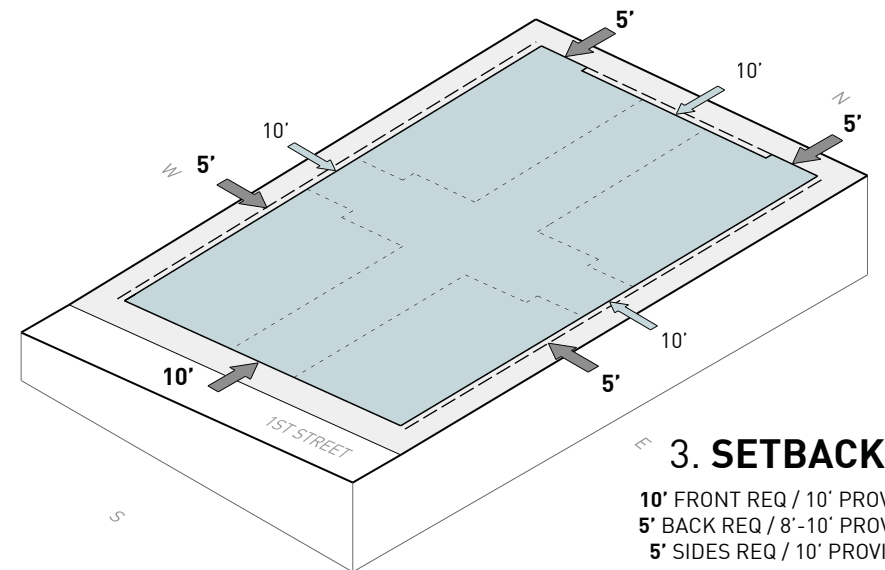
5. LOT COVERAGE

LOT AREA = 20,137 SF
65% MAX. LOT AREA = 13,089 SF
(45% PROVIDED = 8,986 SF)



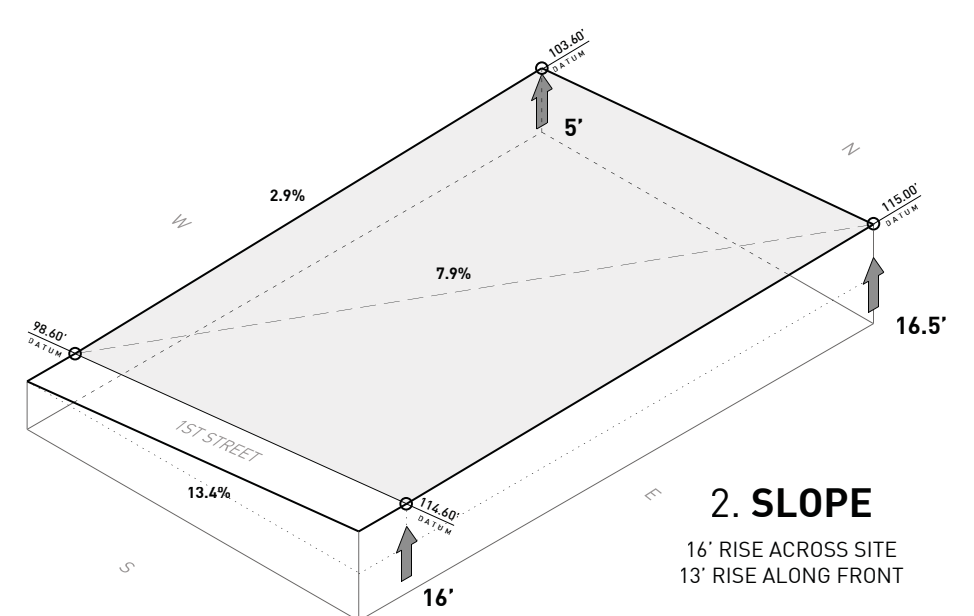
4. MAX HEIGHT

30' ABOVE NATURAL GRADE
(CONSIDERING CROSS-SITE SLOPE)



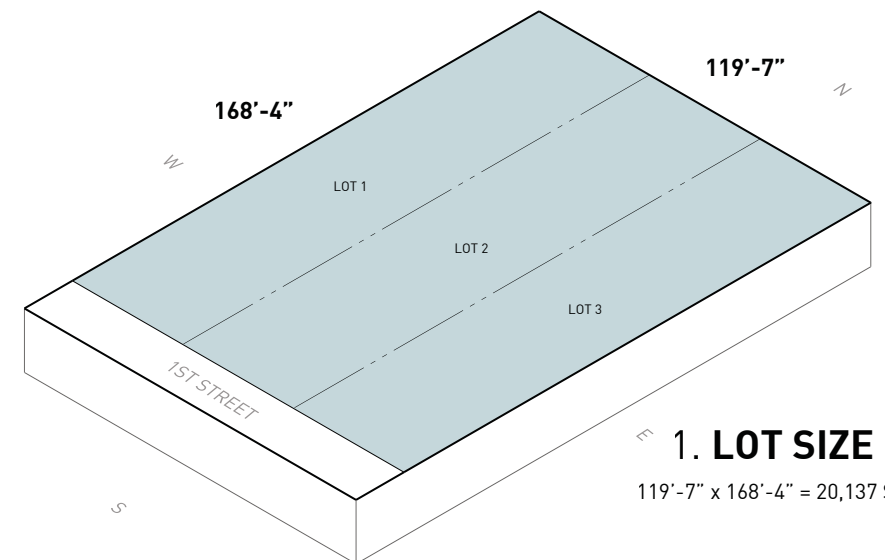
3. SETBACKS

10' FRONT REQ / 10' PROVIDED
5' BACK REQ / 8'-10' PROVIDED
5' SIDES REQ / 10' PROVIDED



2. SLOPE

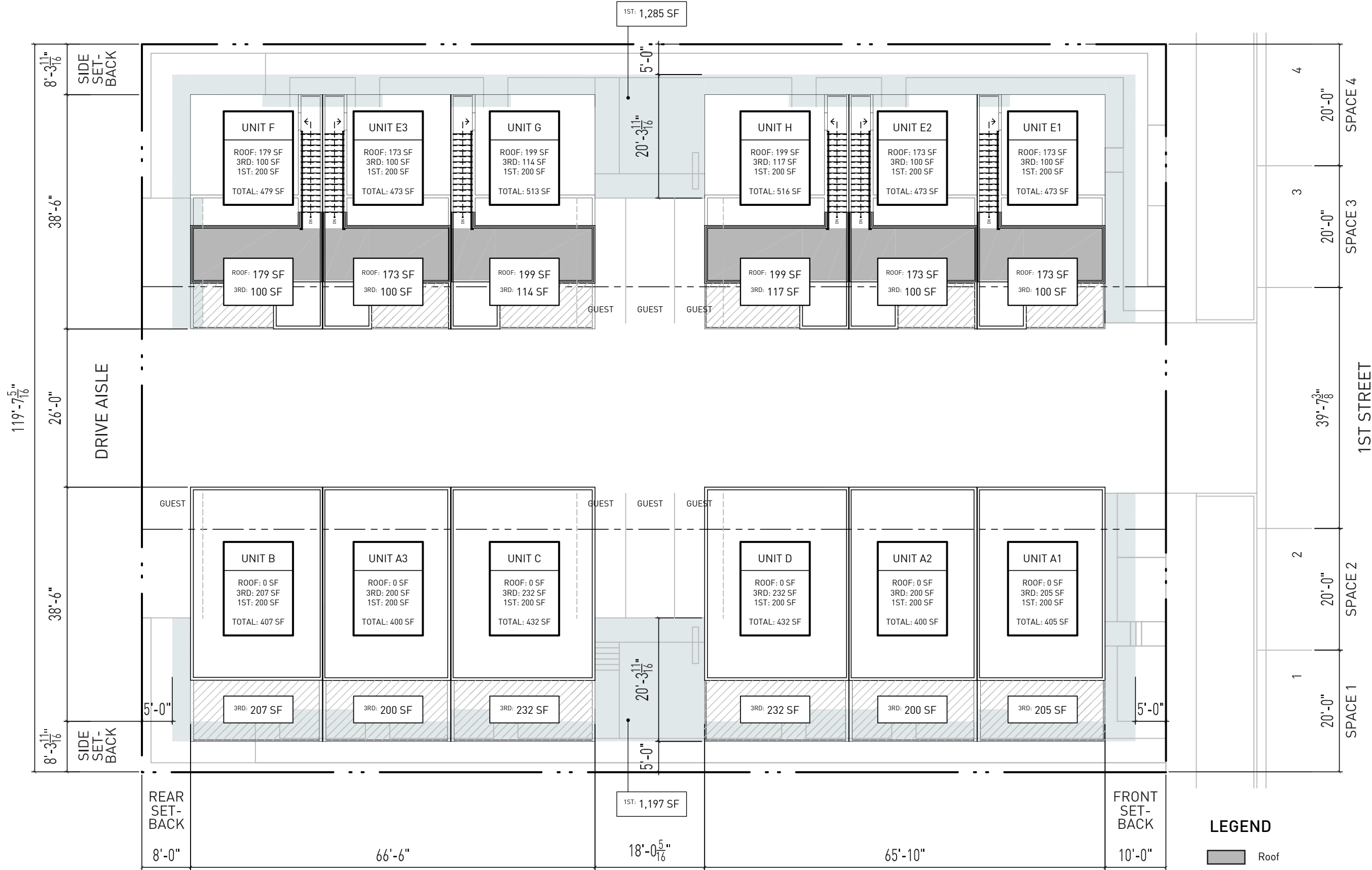
16' RISE ACROSS SITE
13' RISE ALONG FRONT



1. LOT SIZE

119'-7" x 168'-4" = 20,137 SF

Conceptual Diagrams



LEGEND

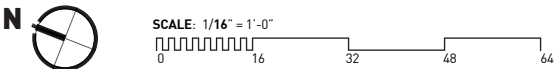
- Roof
- 3rd Floor
- 1st Floor

TOTAL UNITS: 12 DU

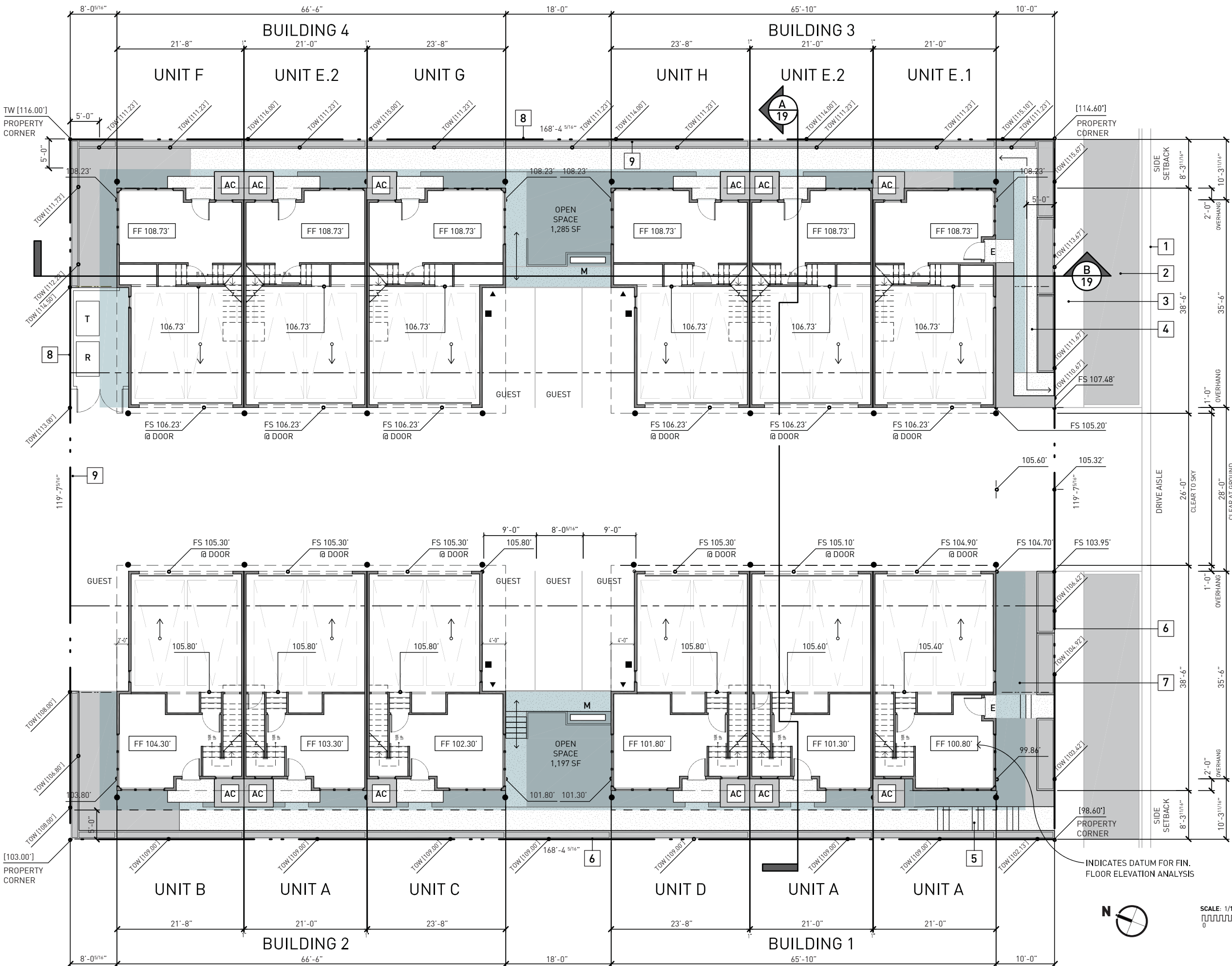
A. REQUIRED OPEN SPACE: 300SF/DU + 100SF/DU ADDITIONAL (FOR 5+ UNIT DEVELOPMENTS) = 400SF/DU
400SF/DU * 12 DU = **4,800 SF**

B. PROVIDED OPEN SPACE = 2,482 SF PUBLIC OPEN SPACE + 2,400 SF PRIVATE OPEN SPACE (200SF MAX. PER UNIT * 12)
= **4,882 SF**

C. PROVIDED ON-STREET PARKING = 4 SPACES (STANDARD 8'x20' SPACE)

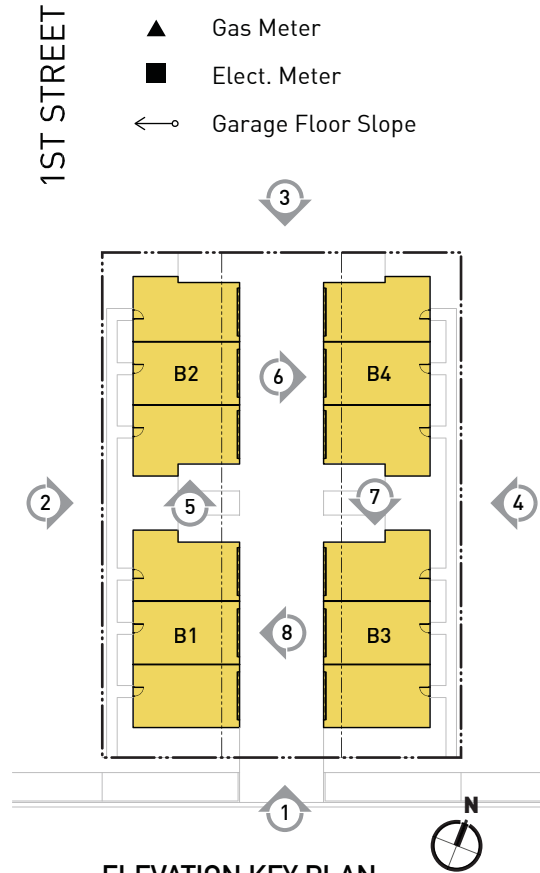


On-Street Parking & Open Space



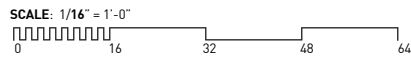
- KEY NOTES**
- 1. Existing curb & gutter
 - 2. (E) Landscape
 - 3. (E) Concrete walk
 - 4. New 4'-0" wide concrete walk
 - 5. New concrete steps
 - 6. New board-formed concrete wall
 - 7. New landscape
 - 8. (E) CMU wall
 - 9. New concrete retaining wall

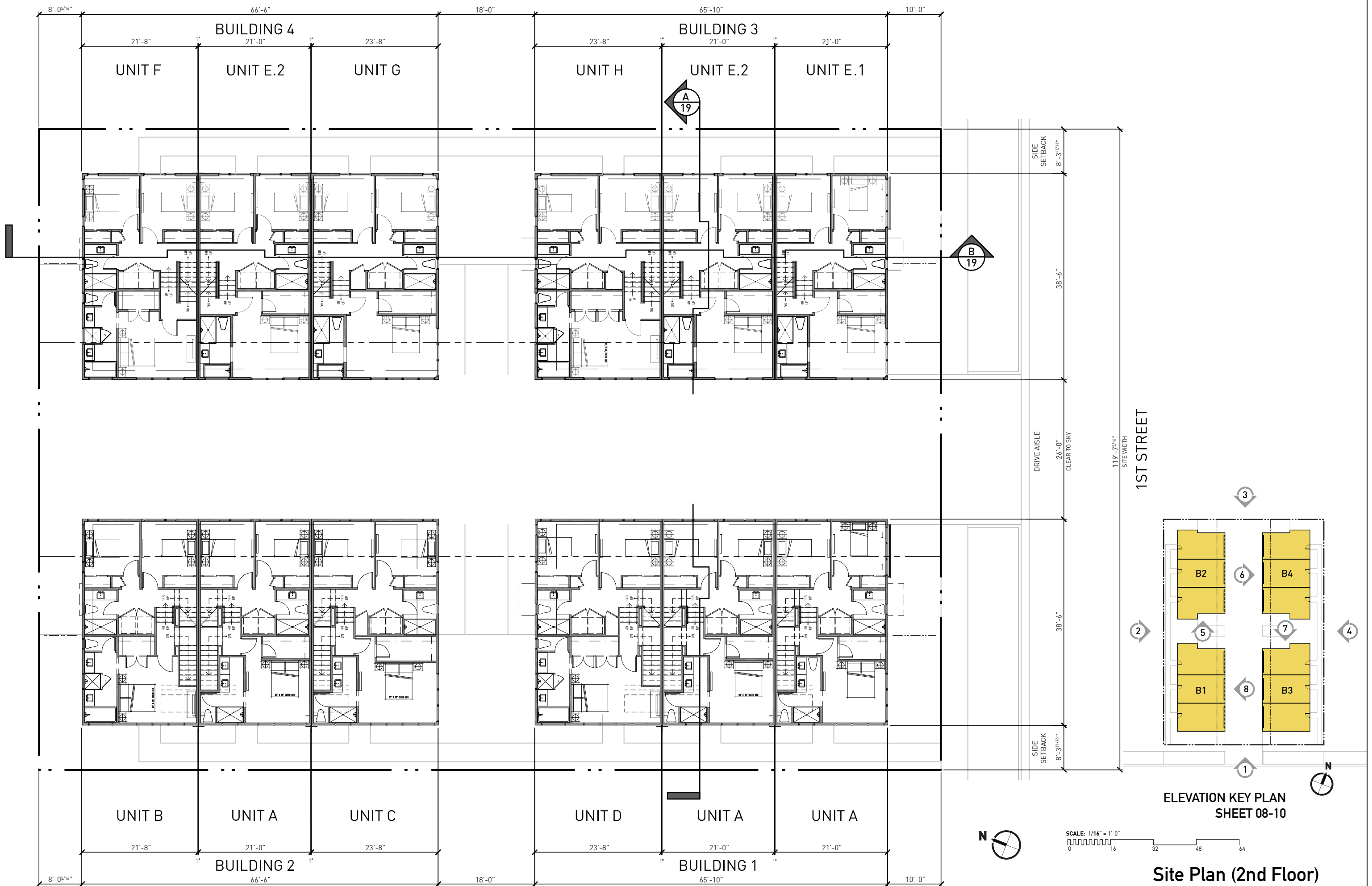
- LEGEND**
- E Entry
 - G Garage
 - AC Air-Conditioning Unit
(Screened From View)
 - M Mailbox
 - T Trash
 - R Recycle
 - Downspout
 - ▲ Gas Meter
 - Elect. Meter
 - ↔ Garage Floor Slope

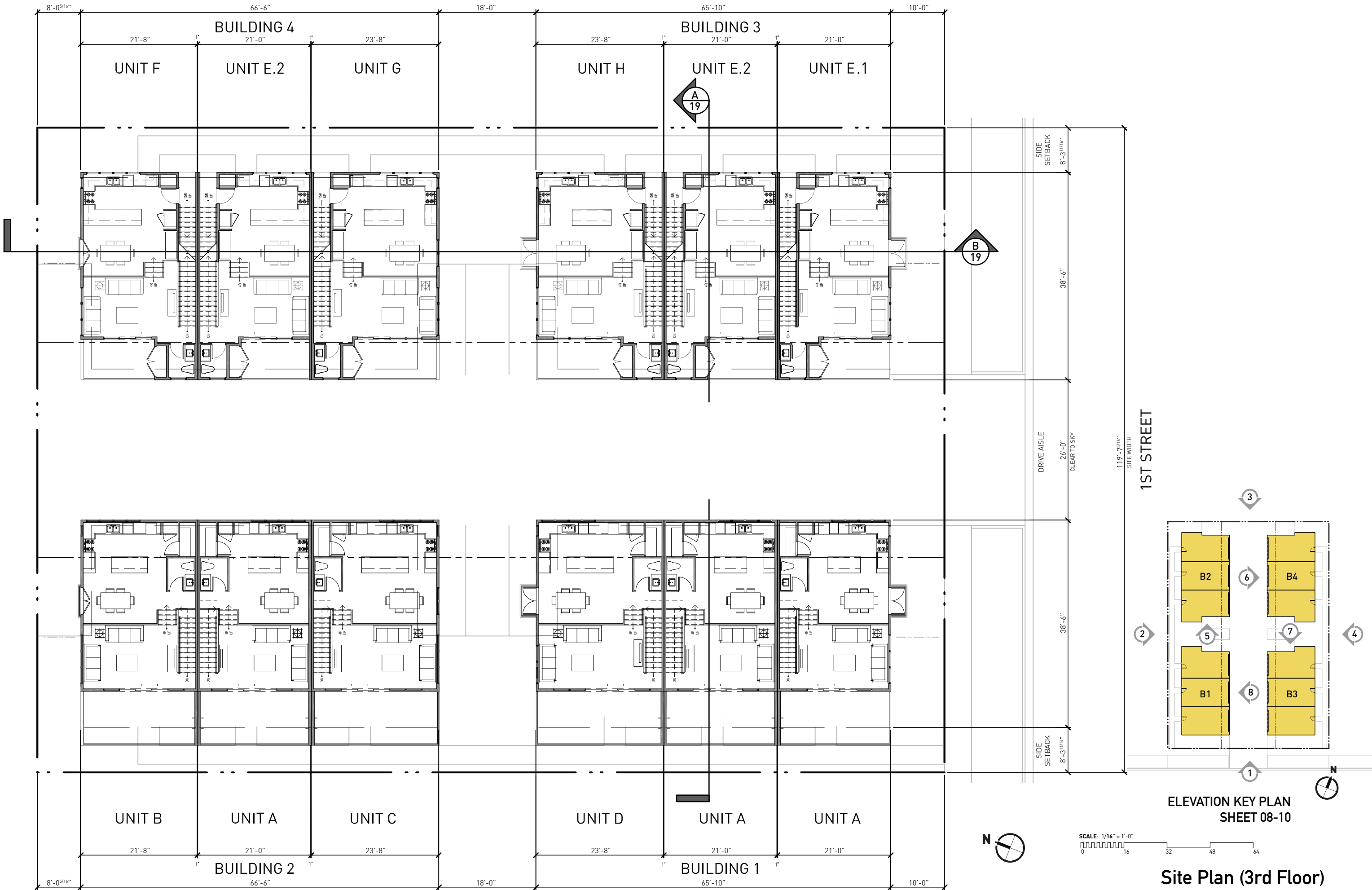


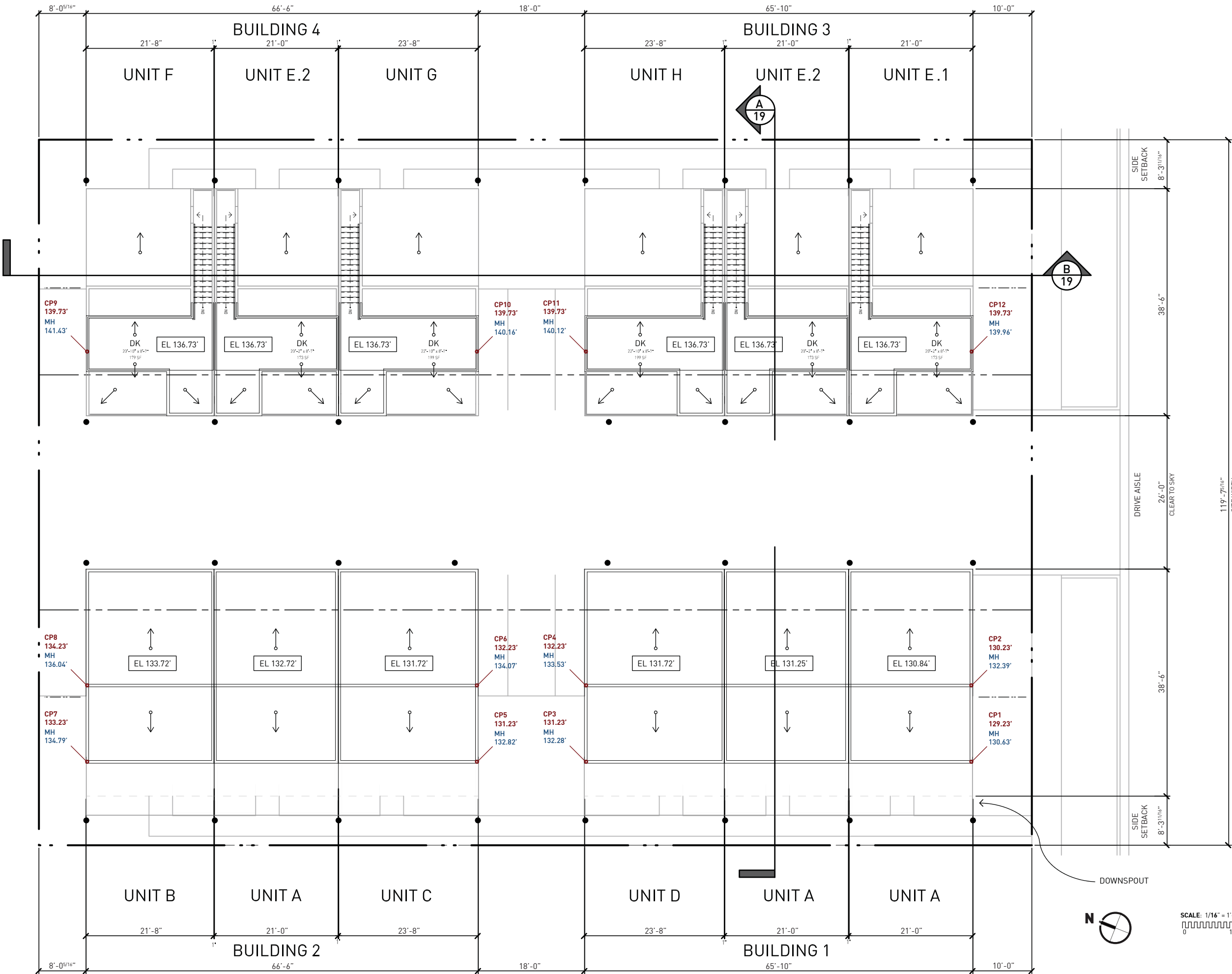
ELEVATION KEY PLAN
SHEET 08-10

Site Plan (1st Floor)



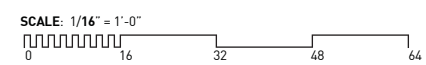
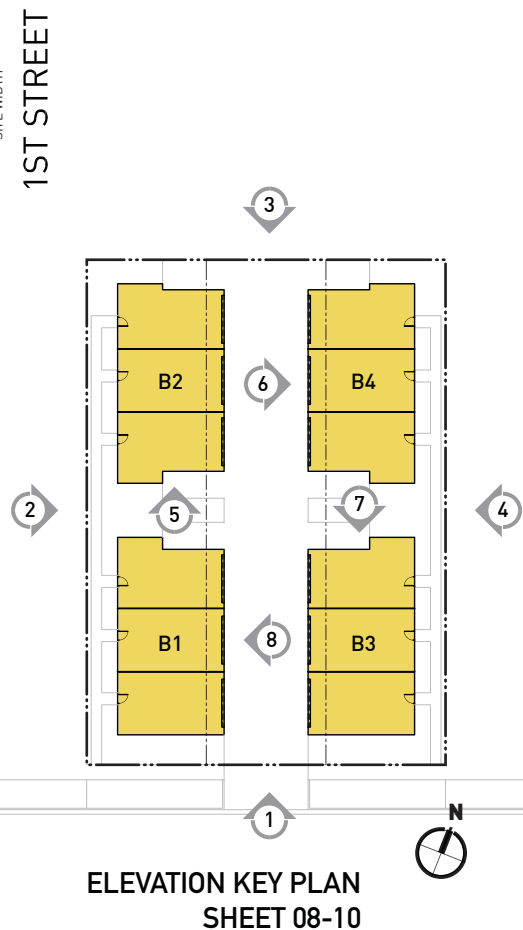






LEGEND

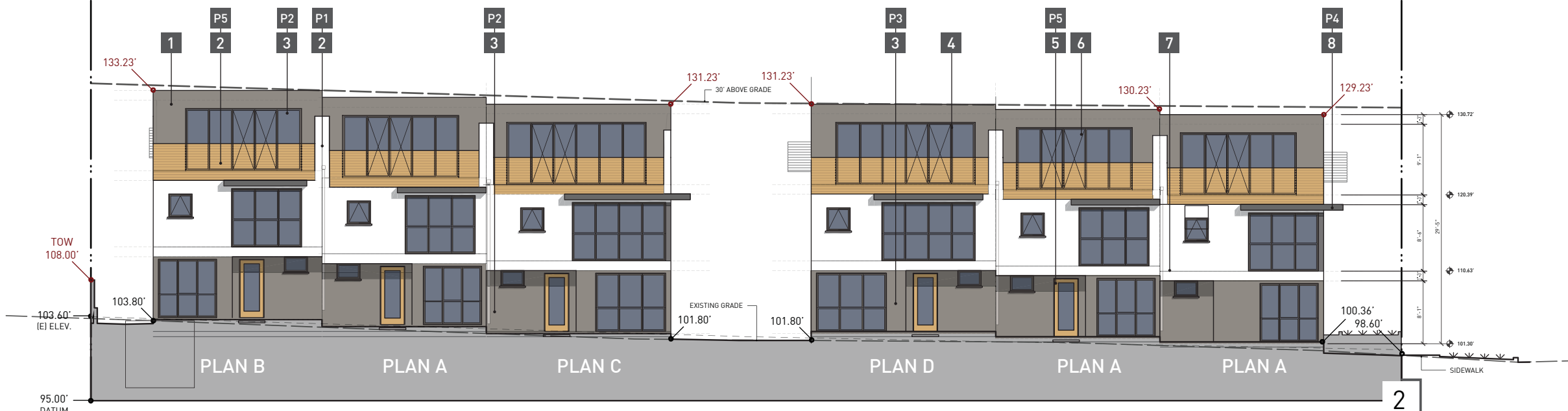
- Downspout
- ↖ Slope to drain



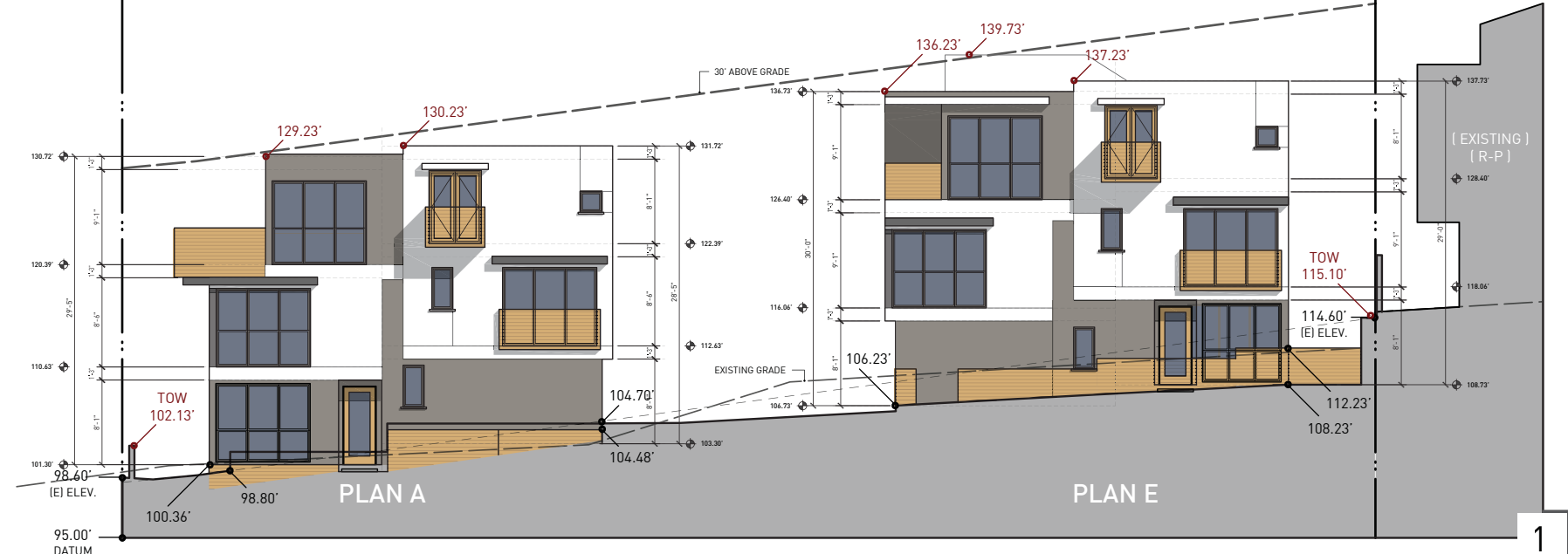
Site Plan (Roof & Deck)



B.4 & B.2 - NORTH ELEVATION



B.2 & B.1 - WEST ELEVATION



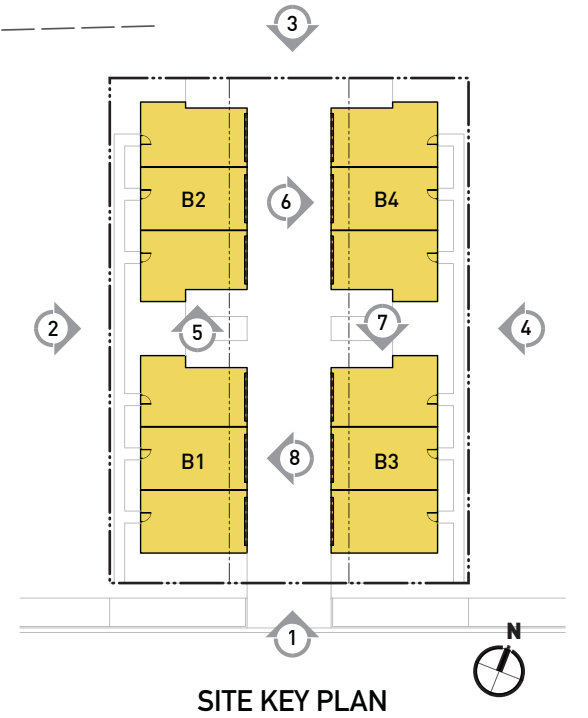
B.1 & B.3 - SOUTH ELEVATION

MATERIAL LEGEND

- 1 Metal Coping (3")
- 2 Wood Rail
- 3 Cement Plaster (20/30 Sand Finish)
- 4 Recessed Vinyl Windows (Milgard Espresso)
- 5 Clear Douglas Fir Doors
- 6 Vinyl Sliding Door (Milgard Espresso)
- 7 Stucco Expansion Joints
- 8 Metal Shade
- 9 Wood Privacy Screen

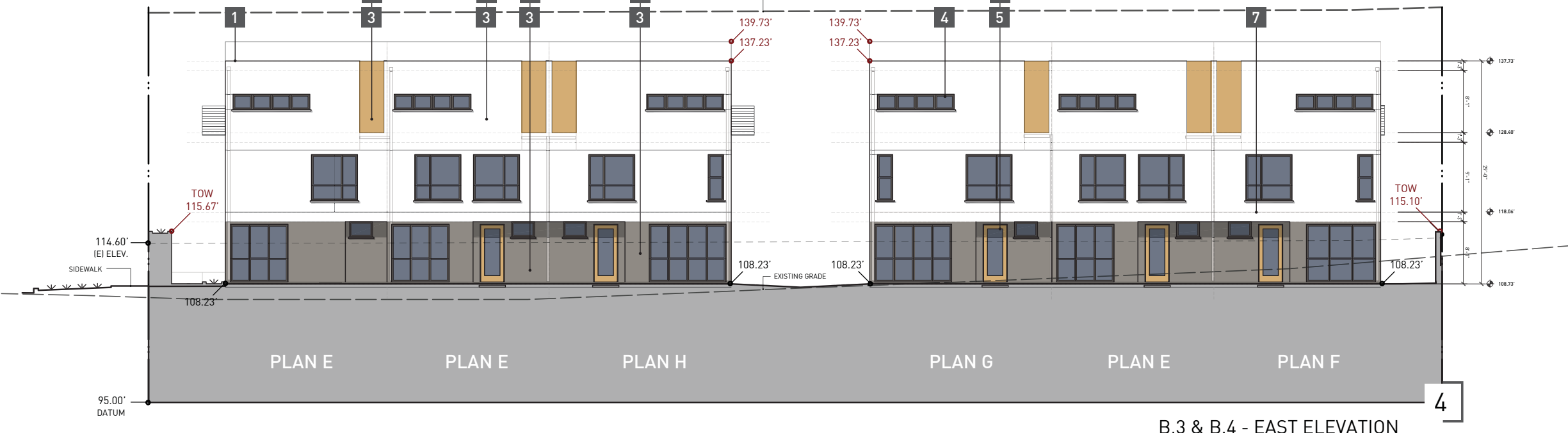
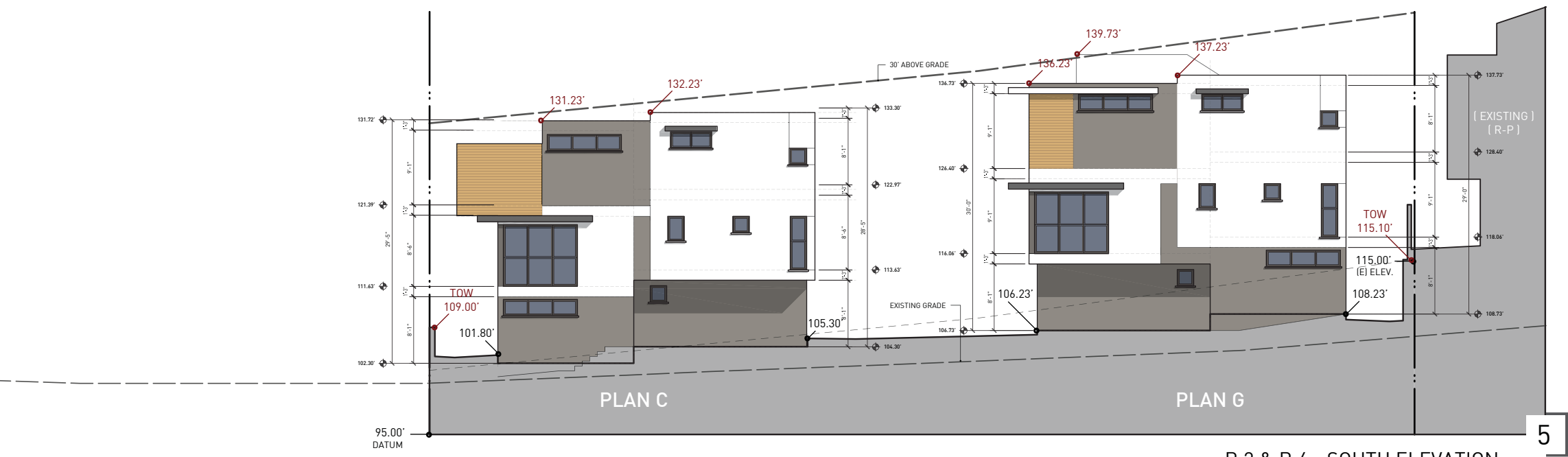
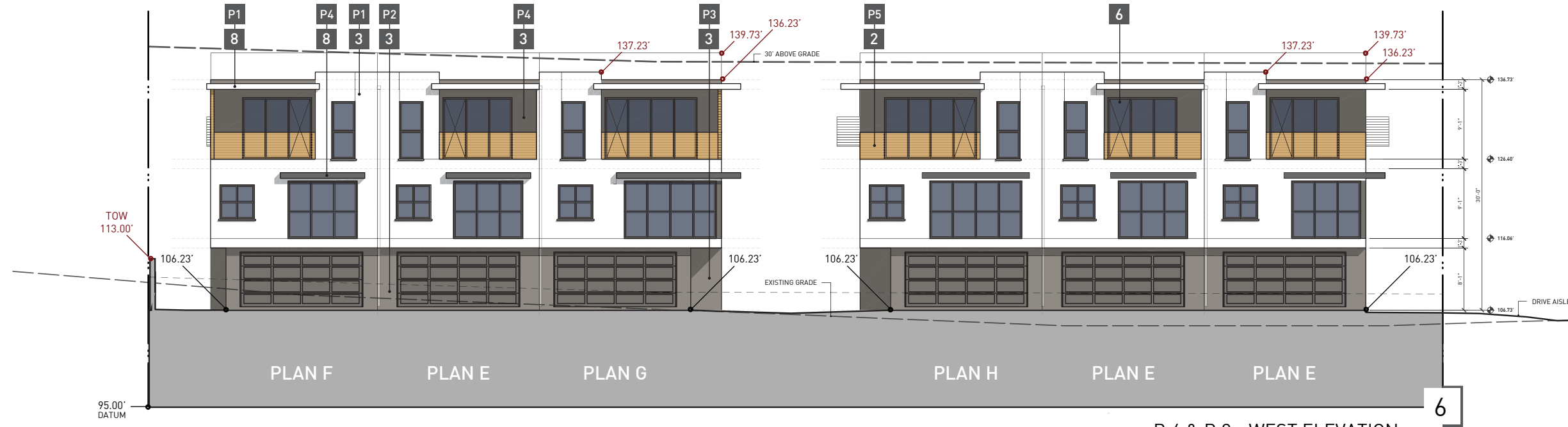
PAINT LEGEND

- P1 Dunn Edwards Paint: Igloo (DEW379)
- P2 Dunn Edwards Paint: Formal Gray (DE6382)
- P3 Dunn Edwards Paint: Bank Vault (DE6383)
- P4 Dunn Edwards Paint: Unspecified (DEXXXX)
- P5 Dunn Edwards Paint: Unspecified (DEXXXX)



SCALE: 1/8" = 1'-0"

Elevations 1, 2, 3



MATERIAL LEGEND

- 1 Metal Coping (3")
- 2 Wood Rail
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PAINT LEGEND

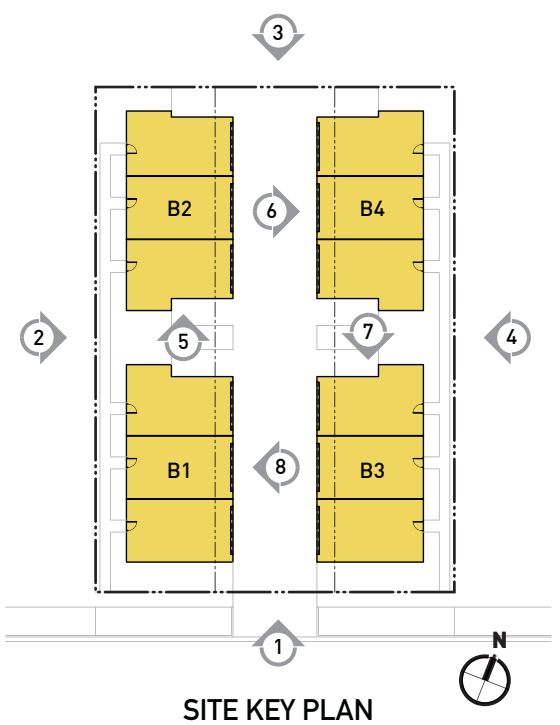
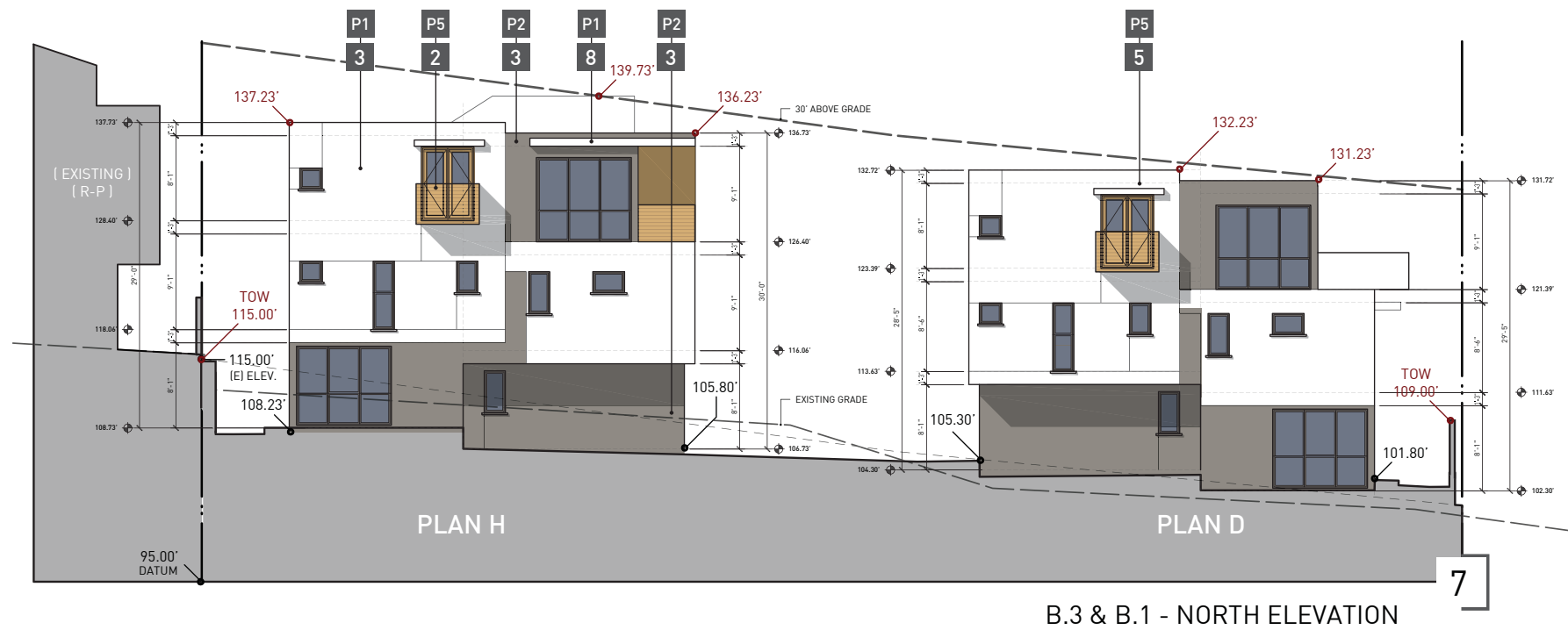
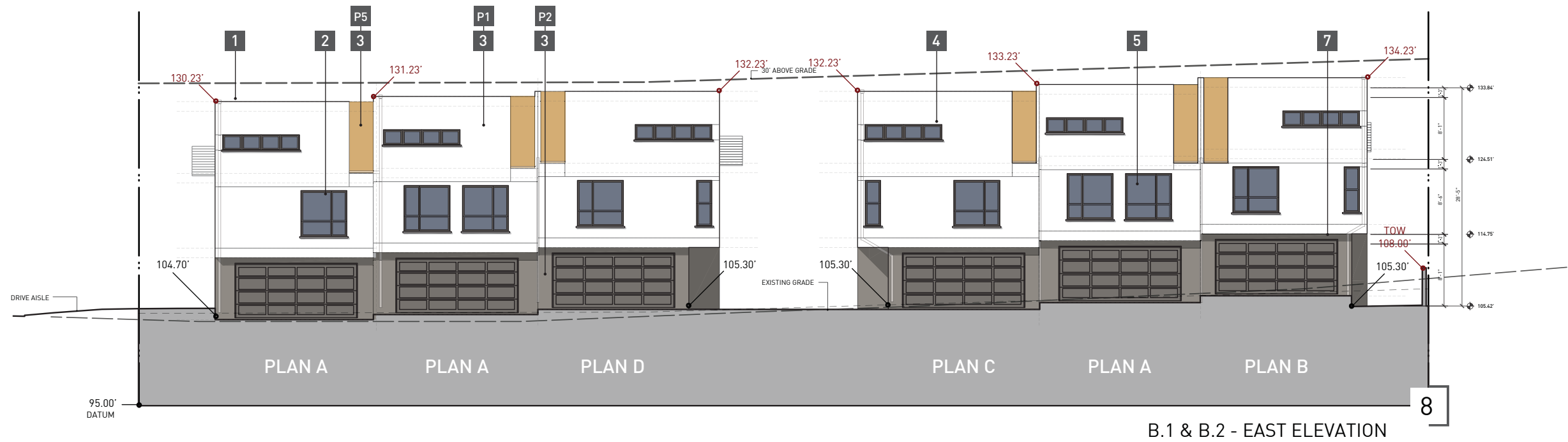
- P1 Dunn Edwards Paint: Igloo (DEW379)
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- P3 Dunn Edwards Paint: Bank Vault (DE6383)
- P4 Dunn Edwards Paint: Unspecified (DEXXXX)
- P5 Dunn Edwards Paint: Unspecified (DEXXXX)

SITE KEY PLAN

SCALE: 1/8" = 1'-0"

0 8 16 24 32

Elevations 4, 5, 6



SCALE: 1/8" = 1'-0"

Elevations 7, 8

MATERIAL LEGEND

- 1 Metal Coping (3")
- 2 Wood Rail
- 3 Cement Plaster (20/30 Sand Finish)
- 4 Recessed Vinyl Windows (Milgard Espresso)
- 5 Clear Douglas Fir Doors
- 6 Vinyl Sliding Door (Milgard Espresso)
- 7 Stucco Expansion Joints
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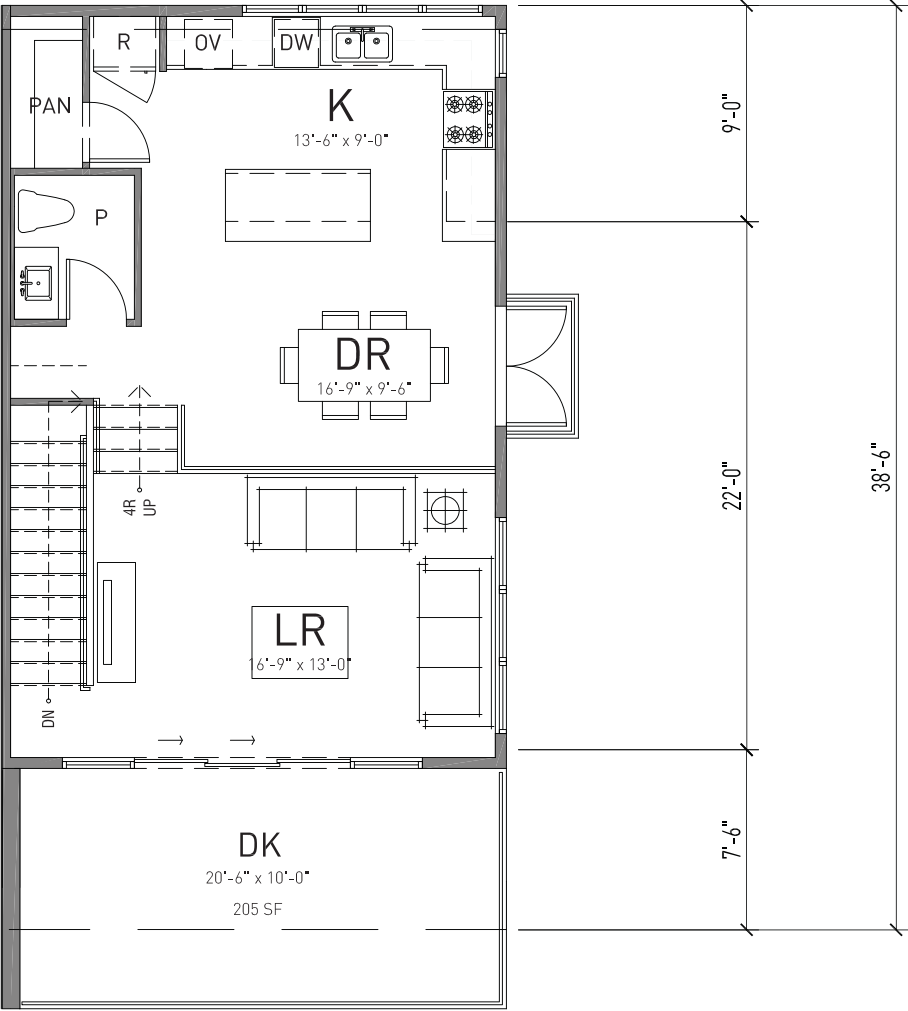
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- P5 Dunn Edwards Paint: Unspecified (DEXXXX)

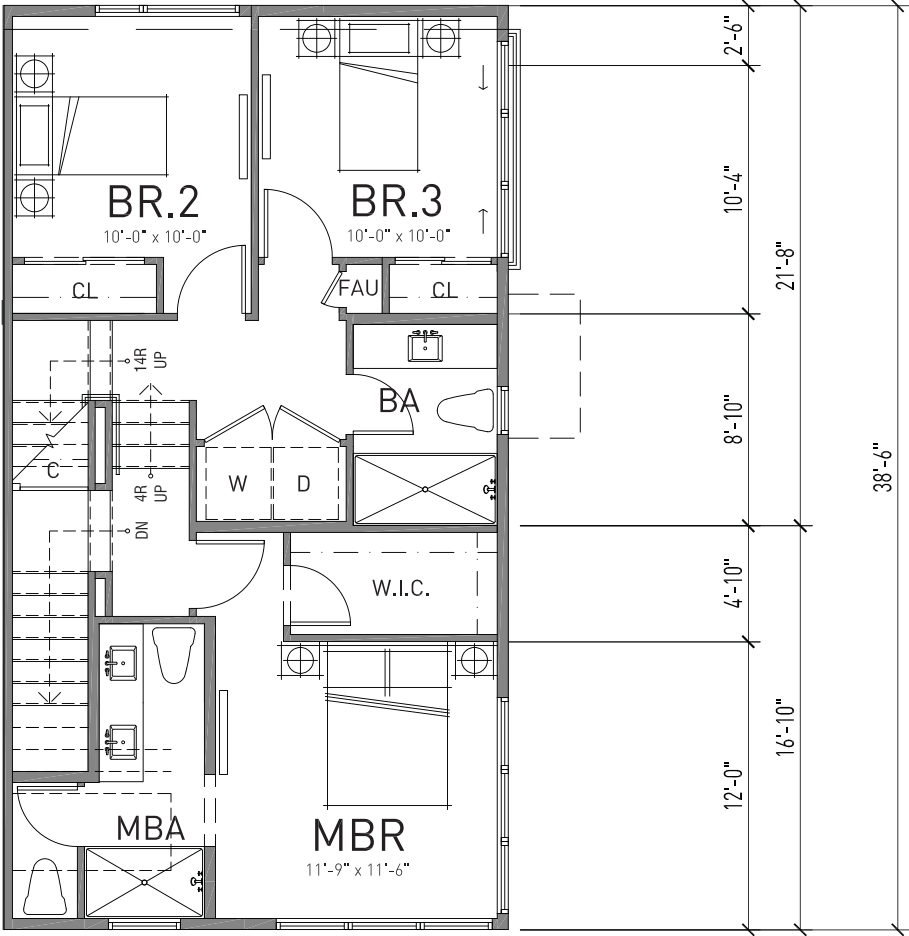
ROOM LEGEND

E	Entry	MBR	Master Bedroom	MBA	Master Bathroom	DR	Dining Room	CL	Closet	WIC	Walk-In Closet
G	Garage	P	Powder	K	Kitchen	DN	Den	C	Coat Closet	W/D	Washer/Dryer
BR	Bedroom	BA	Bathroom	LR	Living Room	DK	Deck	LN	Linen Closet	ST	Storage

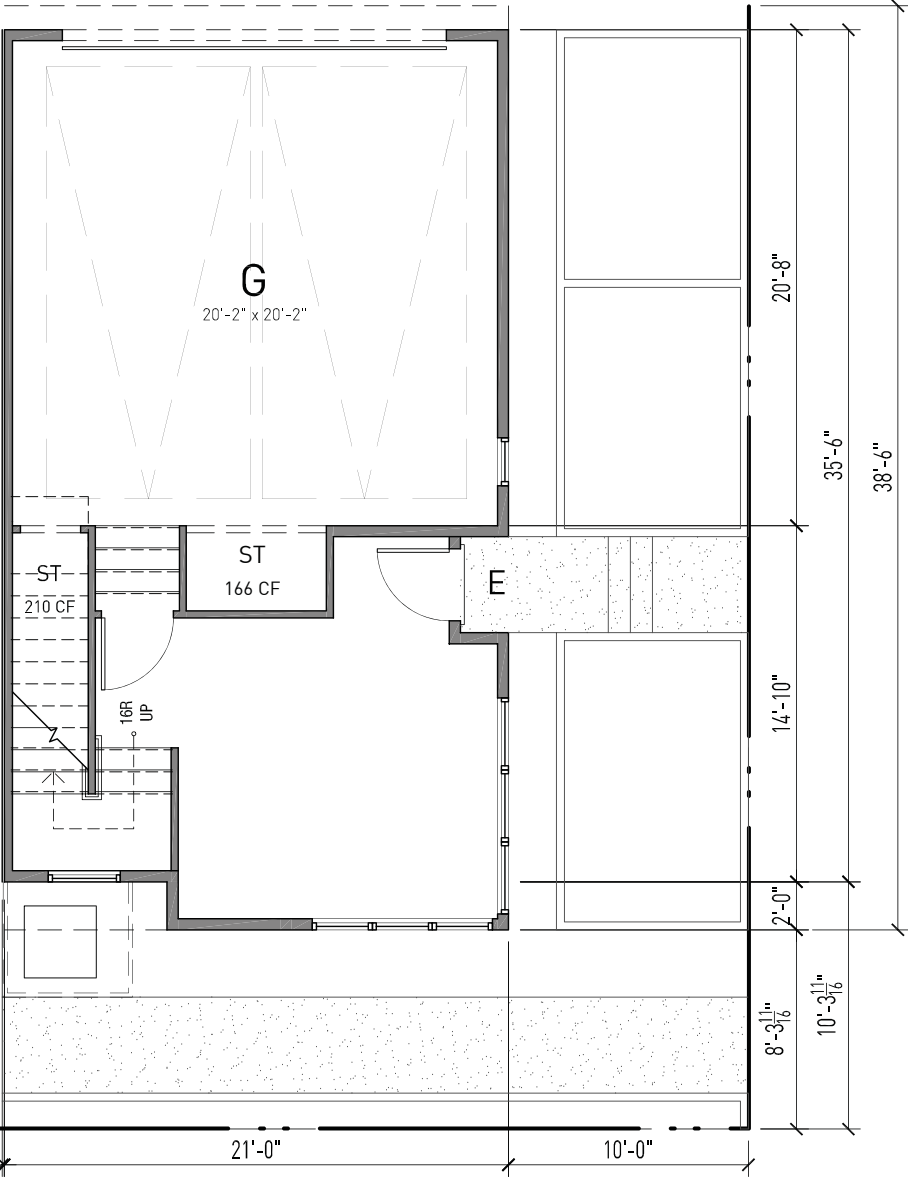
NOTE: Proposed interior stairway will have a minimum of one open wall that is not more than forty-two (42) inches in height open guard rail pursuant to HBMC Section 17.04.040 (General Definitions).



3RD FLOOR
649 SF LIVABLE



2ND FLOOR
654 SF LIVABLE



1ST FLOOR
200 SF LIVABLE
408 SF GARAGE

AIR SPACE BETWEEN UNITS

TOWNHOME - PLAN A
3BR + 2.5BA + 2-CAR GARAGE
GROSS SF: 1,565 SF LIVABLE + 408 SF GARAGE
PRIVATE STORAGE: 376 CF

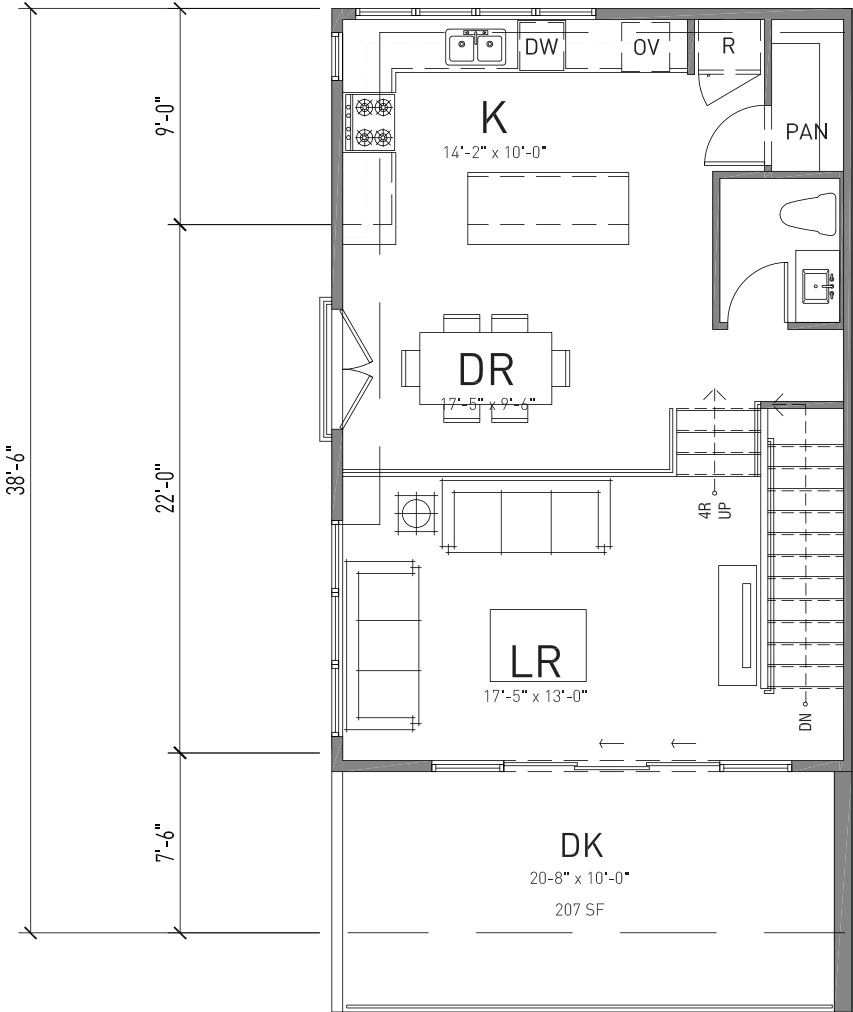


Plan A

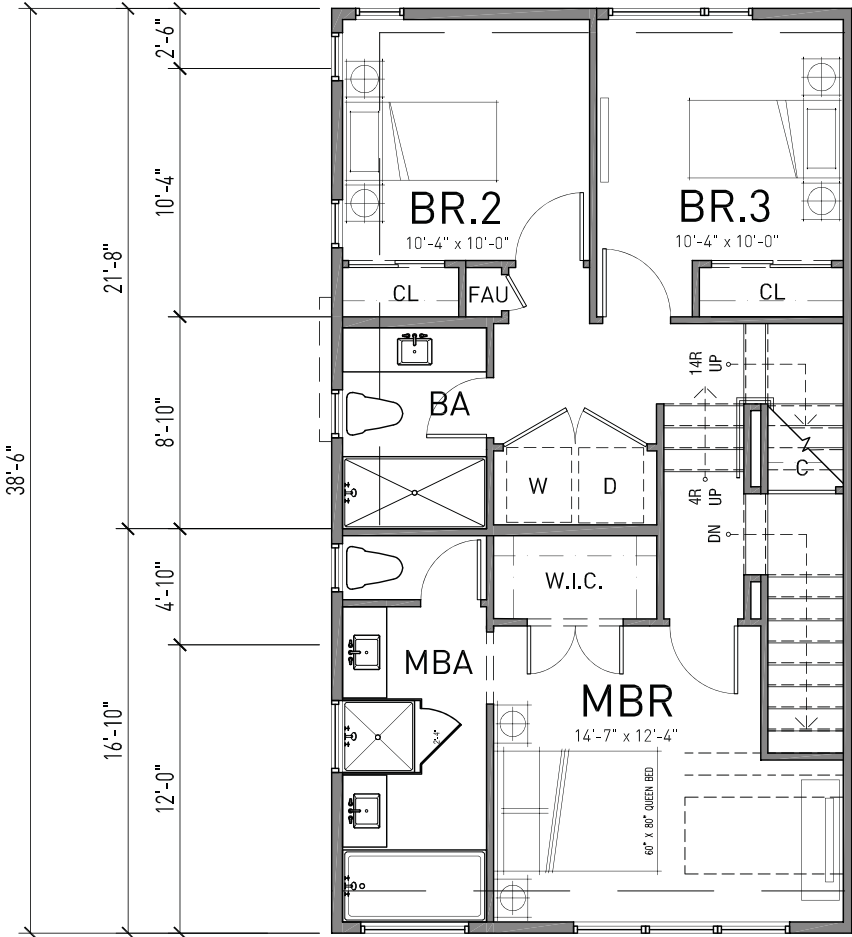
ROOM LEGEND

E	Entry	MBR	Master Bedroom	MBA	Master Bathroom	DR	Dining Room	CL	Closet	WIC	Walk-In Closet
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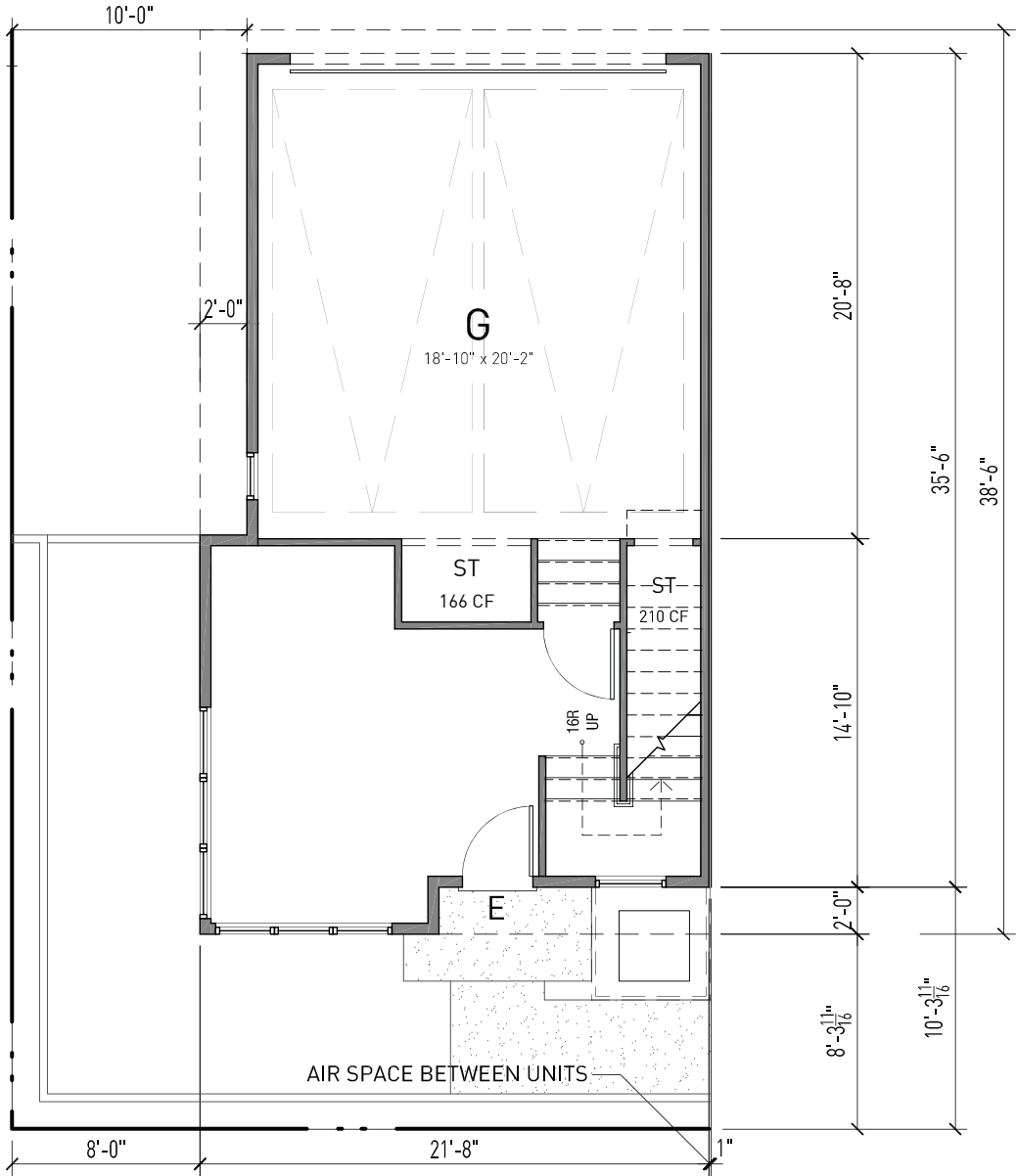
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3RD FLOOR
677 SF LIVABLE



2ND FLOOR
682 SF LIVABLE



1ST FLOOR
213 SF LIVABLE
381 SF GARAGE

TOWNHOME - PLAN B
3BR + 2.5BA + 2-CAR GARAGE
GROSS SF: 1,623 SF LIVABLE + 381 SF GARAGE
PRIVATE STORAGE: 376 CF

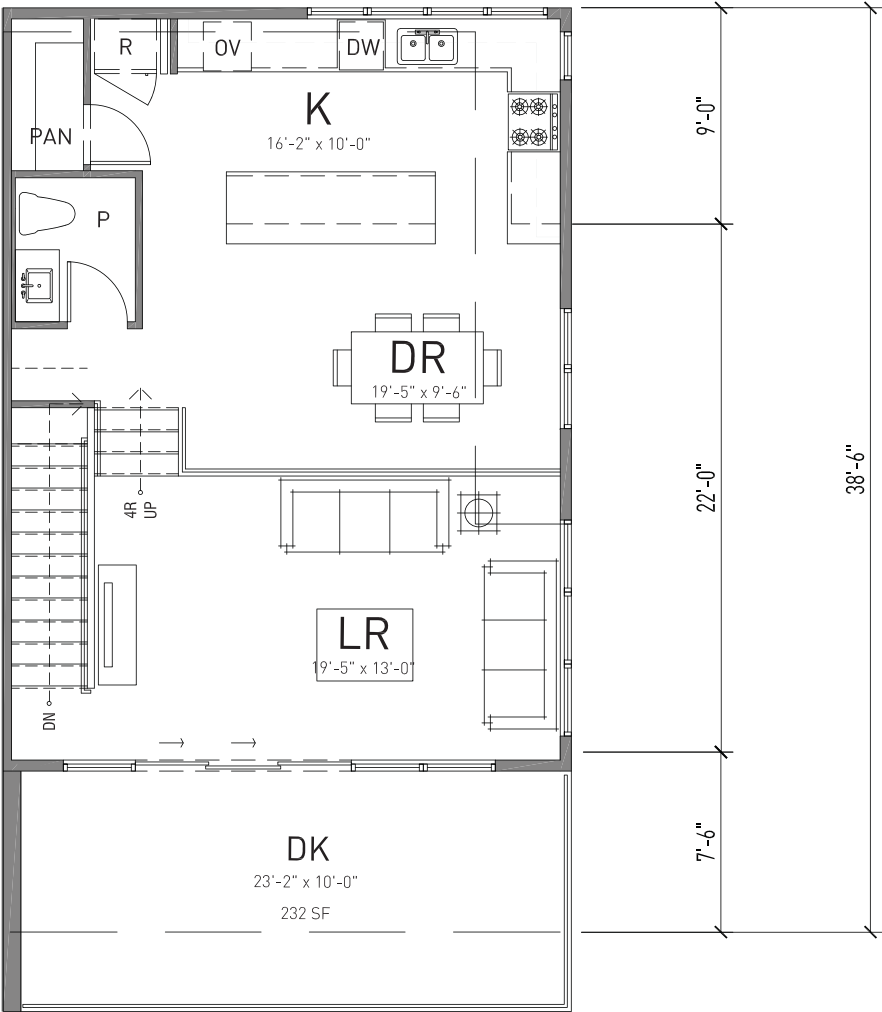


Plan B

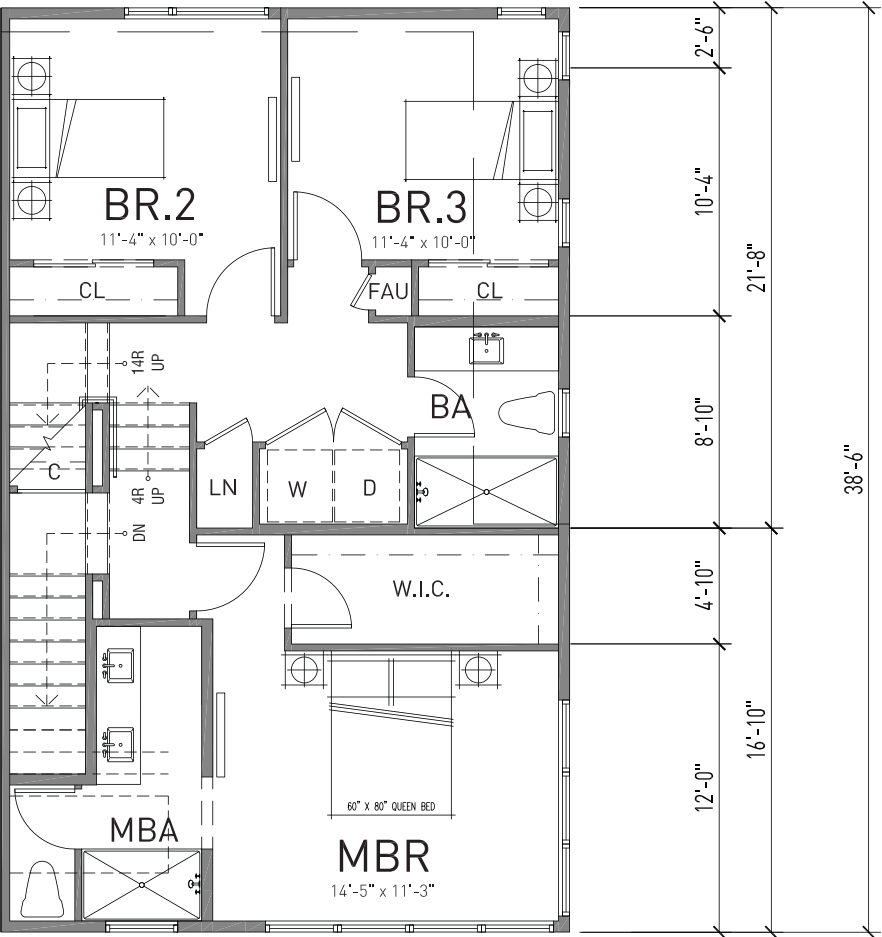
ROOM LEGEND

E	Entry	MBR	Master Bedroom	MBA	Master Bathroom	DR	Dining Room	CL	Closet	WIC	Walk-In Closet
G	Garage	P	Powder	K	Kitchen	DN	Den	C	Coat Closet	W/D	Washer/Dryer
BR	Bedroom	BA	Bathroom	LR	Living Room	DK	Deck	LN	Linen Closet	ST	Storage

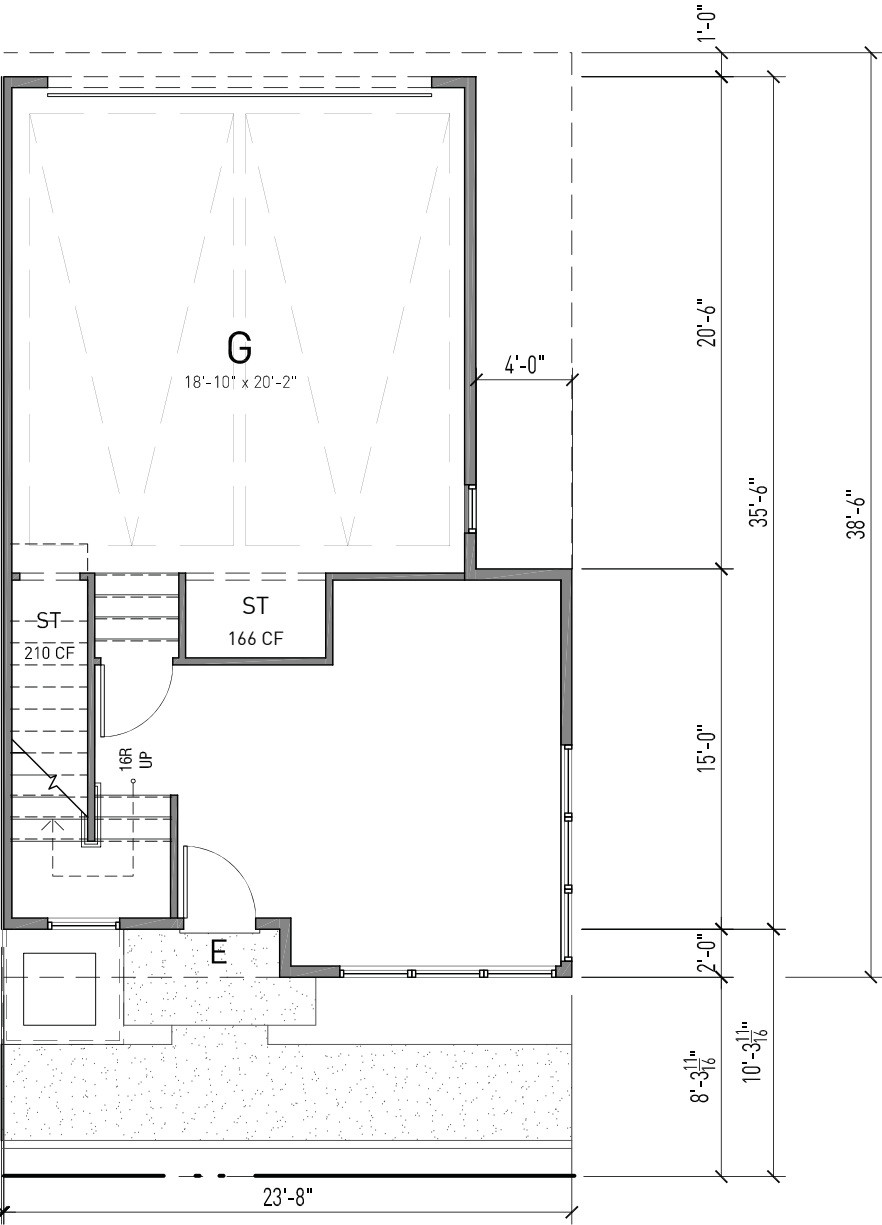
NOTE: Proposed interior stairway will have a minimum of one open wall that is not more than forty-two (42) inches in height open guard rail pursuant to HBMC Section 17.04.040 (General Definitions).



3RD FLOOR
754 SF LIVABLE



2ND FLOOR
753 SF LIVABLE



1ST FLOOR
244 SF LIVABLE
381 SF GARAGE

TOWNHOME - PLAN C

3BR + 2.5BA + 2-CAR GARAGE
GROSS SF: 1,802 SF LIVABLE + 381 SF GARAGE
PRIVATE STORAGE: 376 CF

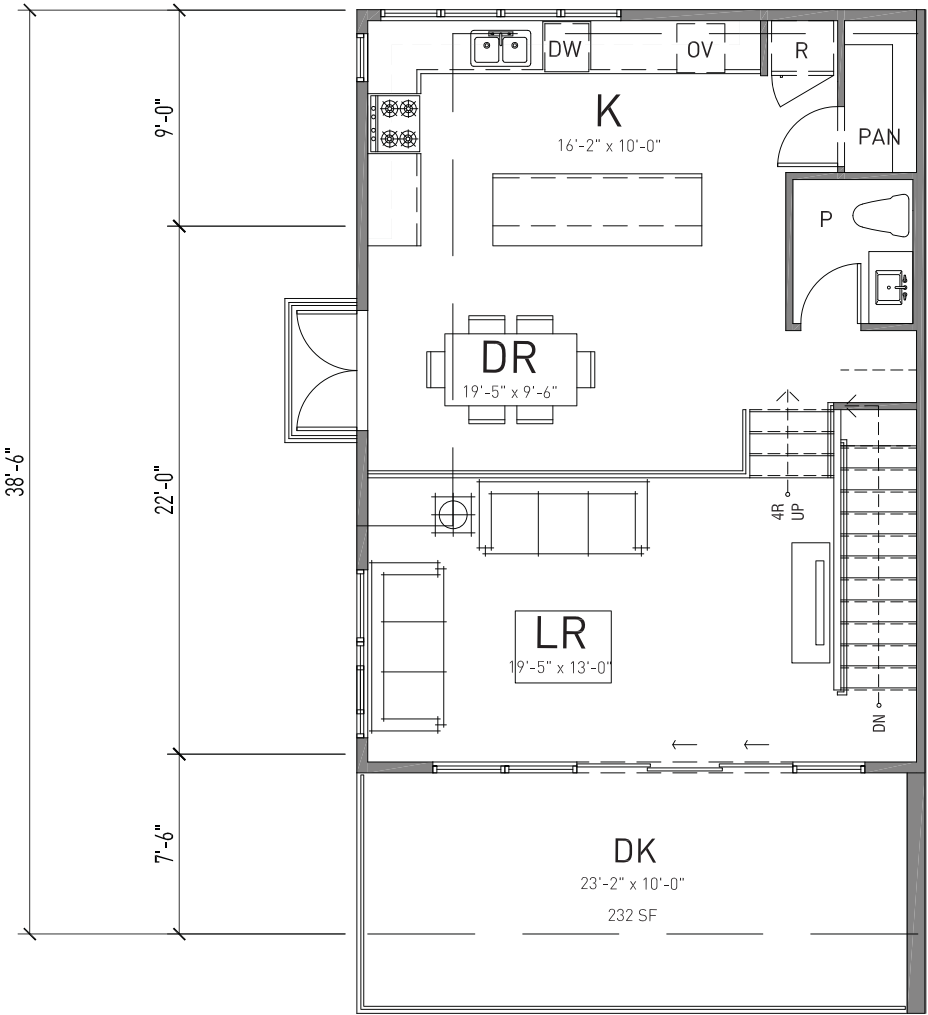


Plan C

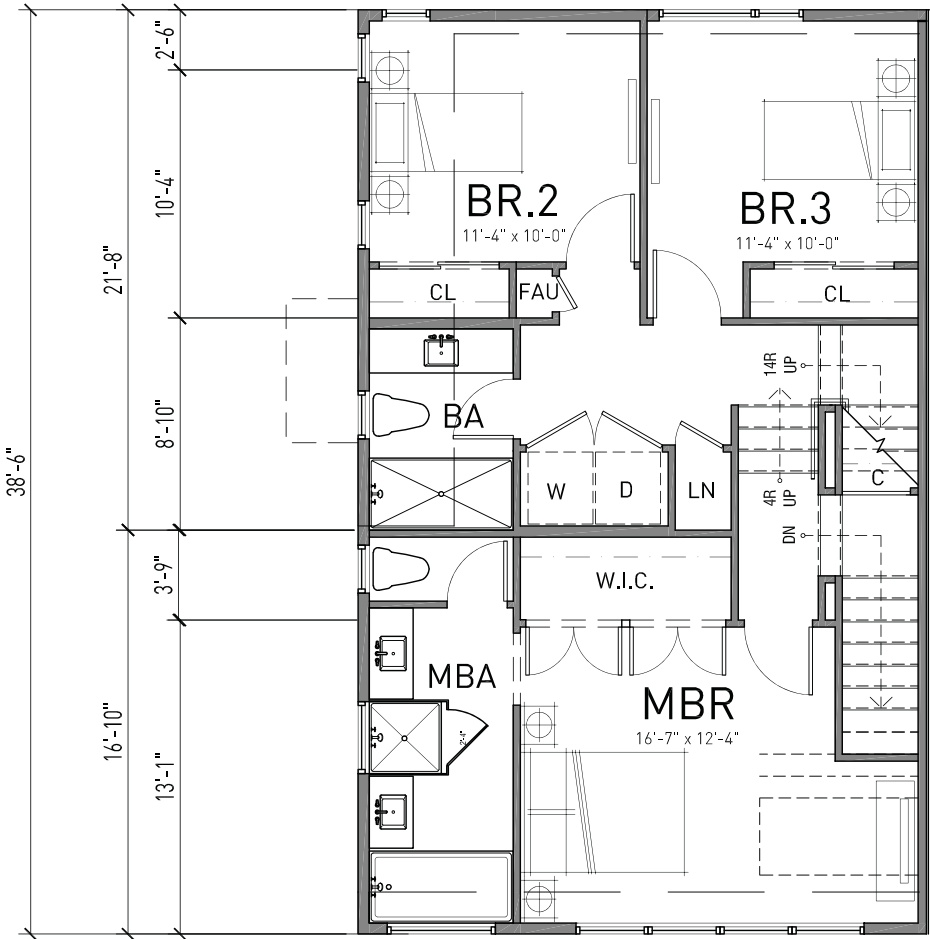
ROOM LEGEND

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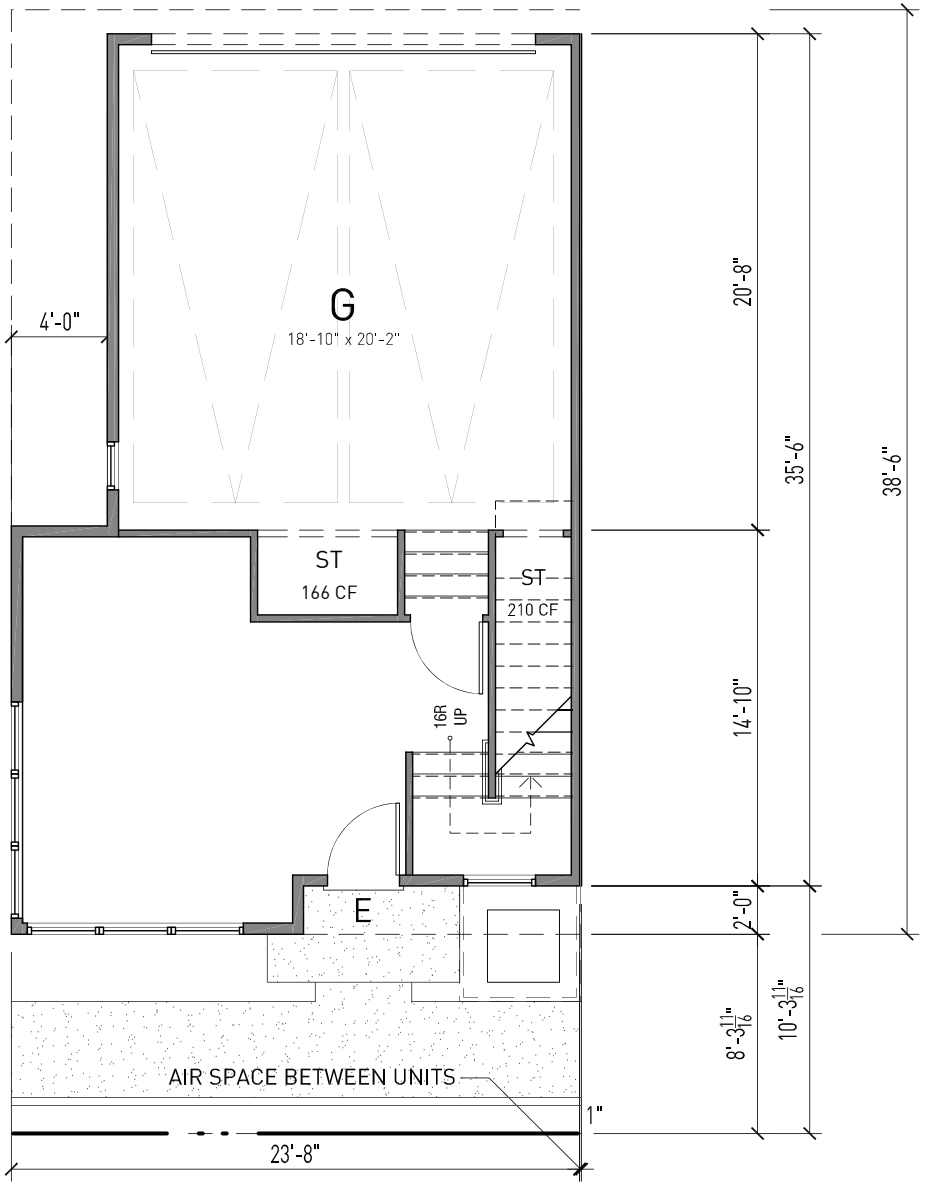
NOTE: Proposed interior stairway will have a minimum of one open wall that is not more than forty-two (42) inches in height open guard rail pursuant to HBMC Section 17.04.040 (General Definitions).



3RD FLOOR
754 SF LIVABLE



2ND FLOOR
758 SF LIVABLE



1ST FLOOR
244 SF LIVABLE
381 SF GARAGE

TOWNHOME - PLAN D
3BR + 2.5BA + 2-CAR GARAGE
GROSS SF: 1,808 SF LIVABLE + 381 SF GARAGE
PRIVATE STORAGE: 376 CF

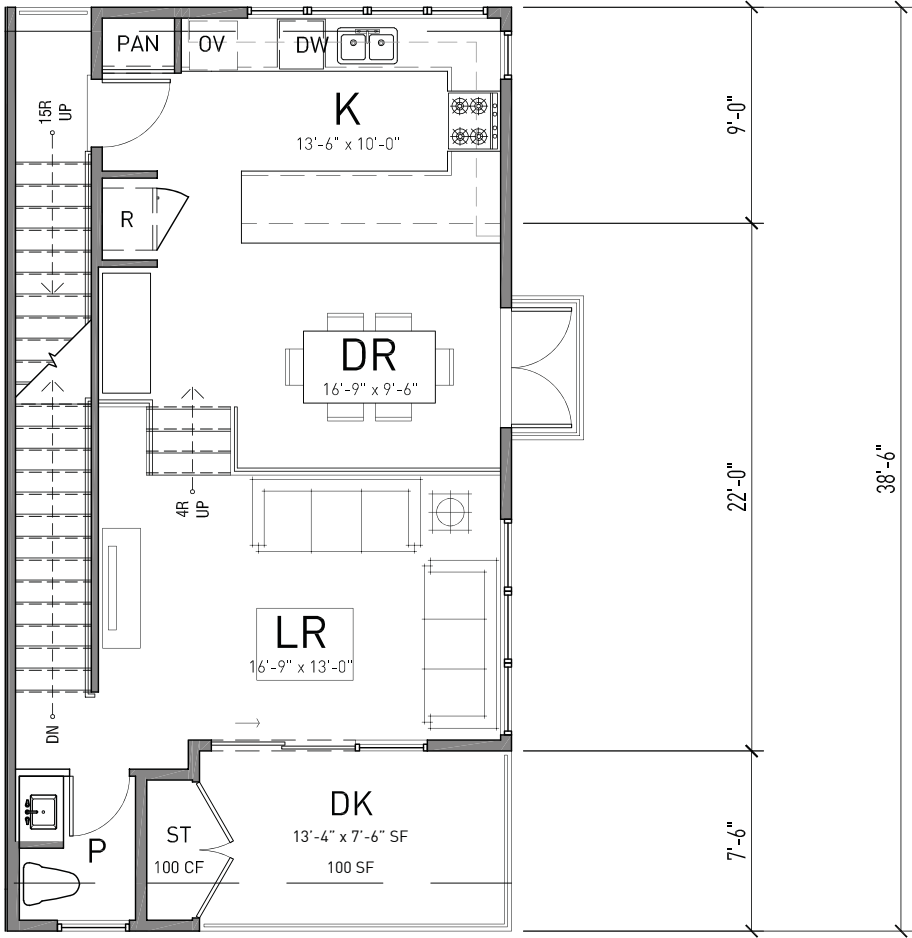


Plan D

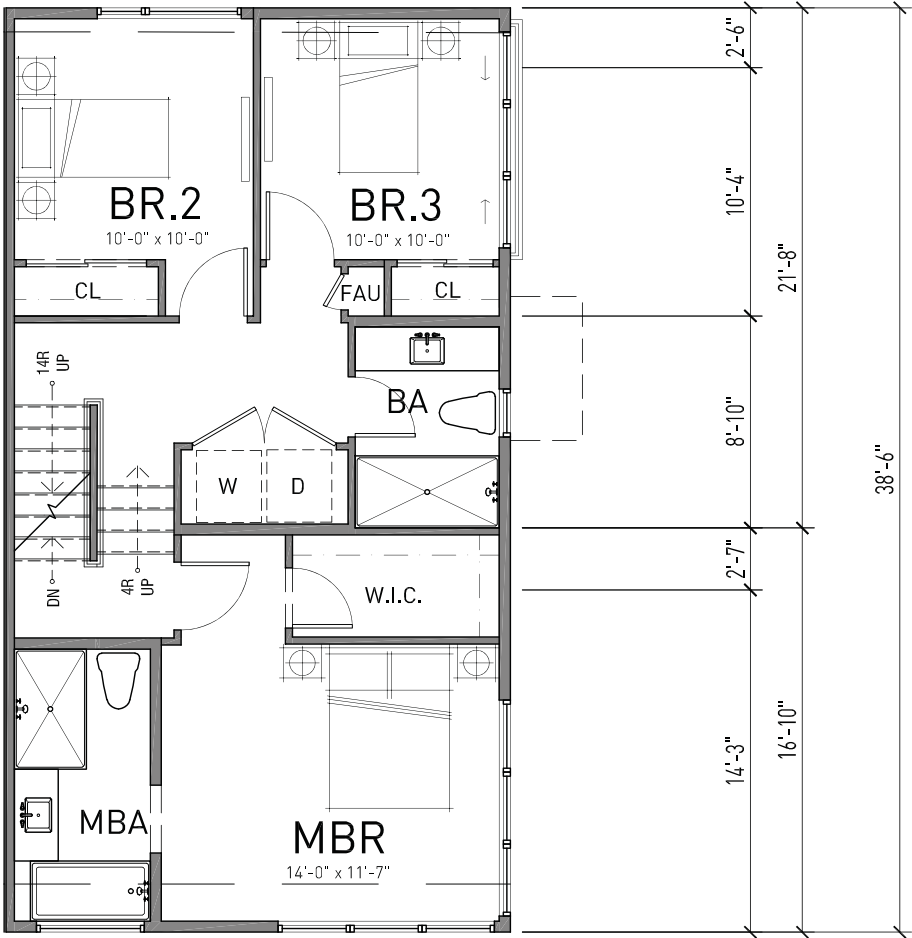
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E	Entry	MBR	Master Bedroom	MBA	Master Bathroom	DR	Dining Room	CL	Closet	WIC	Walk-In Closet
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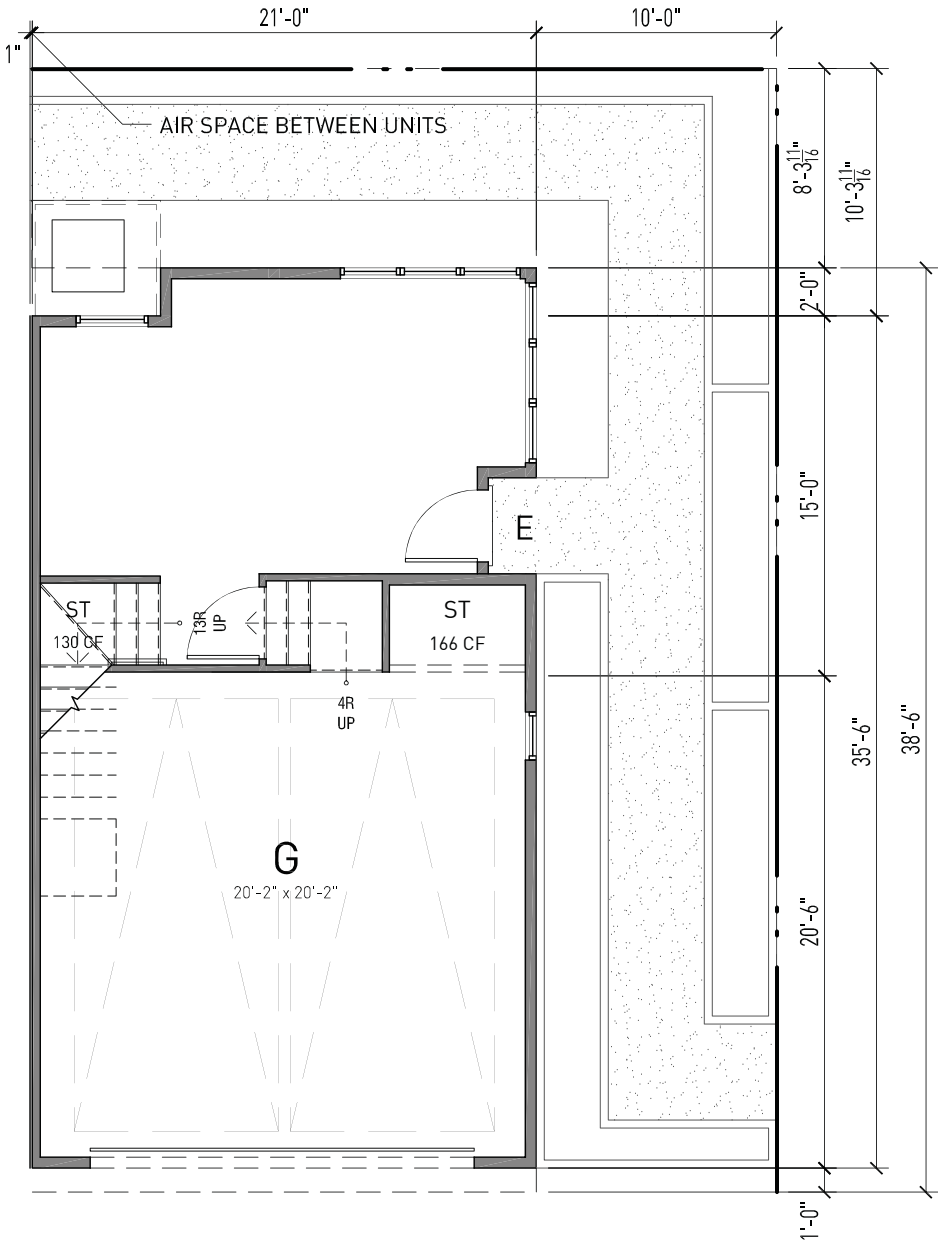
NOTE: Proposed interior stairway will have a minimum of one open wall that is not more than forty-two (42) inches in height open guard rail pursuant to HBMC Section 17.04.040 (General Definitions).



3RD FLOOR
658 SF LIVABLE



2ND FLOOR
666 SF LIVABLE



1ST FLOOR
242 SF LIVABLE
408 SF GARAGE



Plan E

TOWNHOME - PLAN E
3BR + 2.5BA + 2-CAR GARAGE
GROSS SF: 1,627 SF LIVABLE + 408 SF GARAGE
PRIVATE STORAGE: 396 CF

E

Entry

G

Garage

BR

Bedroom

MBR

Master Bedroom

P

Powder

BA

Bathroom

MBA

Master Bathroom

K

Kitchen

LR

Living Room

DR

Dining Room

DN

Den

DK

Deck

CL

Closet

C

Coat Closet

LN

Linen Closet

WIC

Walk-In Closet

W/D

Washer/Dryer

ST

Storage

NOTE:

Proposed interior stairway will have a minimum of one open wall that is not more than forty-two (42) inches in height open guard rail pursuant to HBMC Section 17.04.040 (General Definitions).

3RD FLOOR
683 SF LIVABLE

2ND FLOOR
691 SF LIVABLE

1ST FLOOR
251 SF LIVABLE
381 SF GARAGE

TOWNHOME - PLAN F
3BR + 2.5BA + 2-CAR GARAGE
GROSS SF: 1,830 SF LIVABLE + 381 SF GARAGE
PRIVATE STORAGE: 410 CF

Plan F

1st Street, Hermosa Beach, CA

HB12

cR Design Inc.

DECEMBER 23, 2021

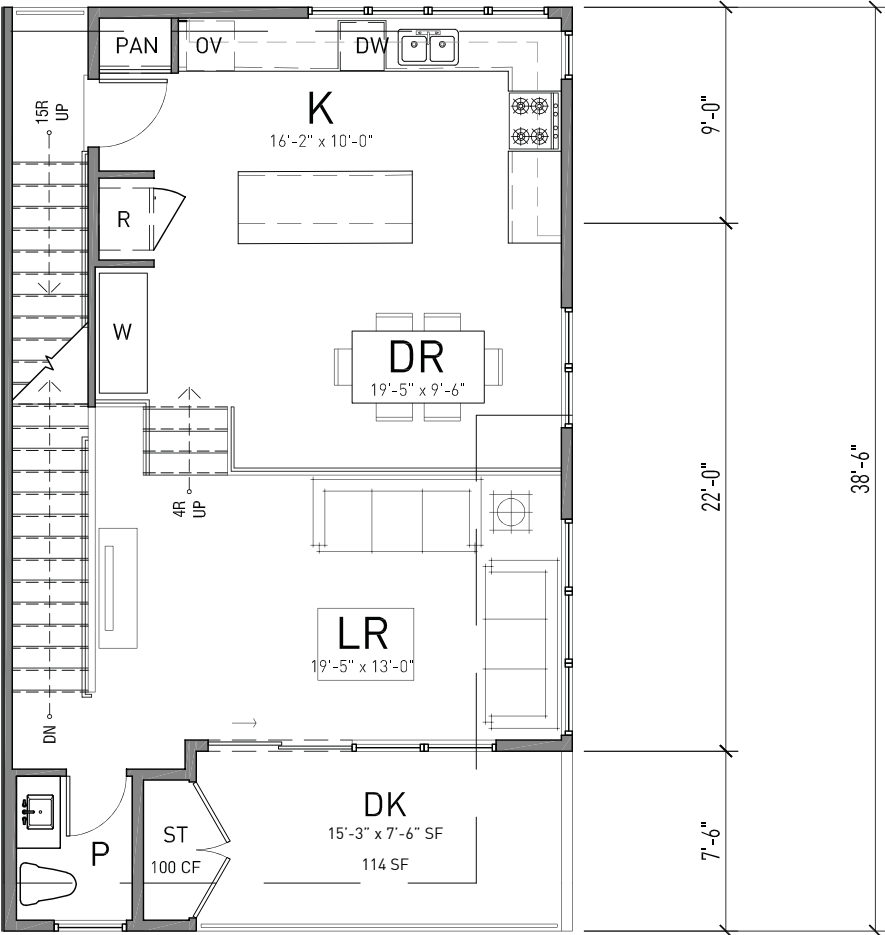
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R+S
20-01

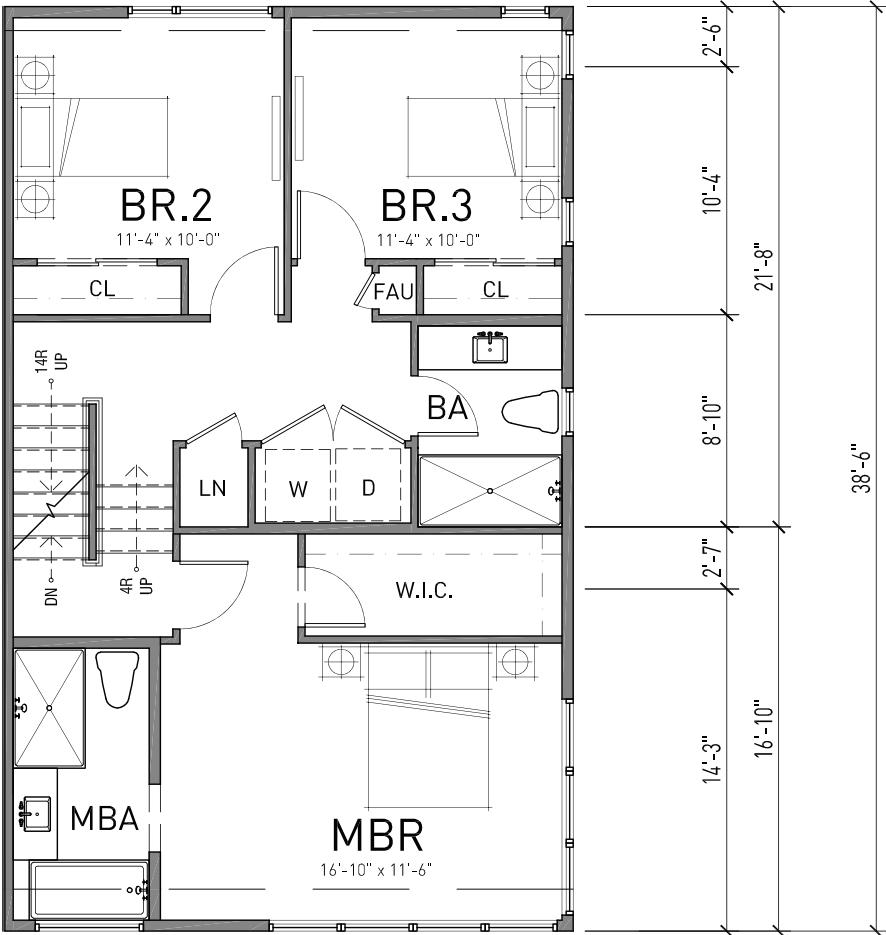
ROOM LEGEND

E	Entry	MBR	Master Bedroom	MBA	Master Bathroom	DR	Dining Room	CL	Closet	WIC	Walk-In Closet
G	Garage	P	Powder	K	Kitchen	DN	Den	C	Coat Closet	W/D	Washer/Dryer
BR	Bedroom	BA	Bathroom	LR	Living Room	DK	Deck	LN	Linen Closet	ST	Storage

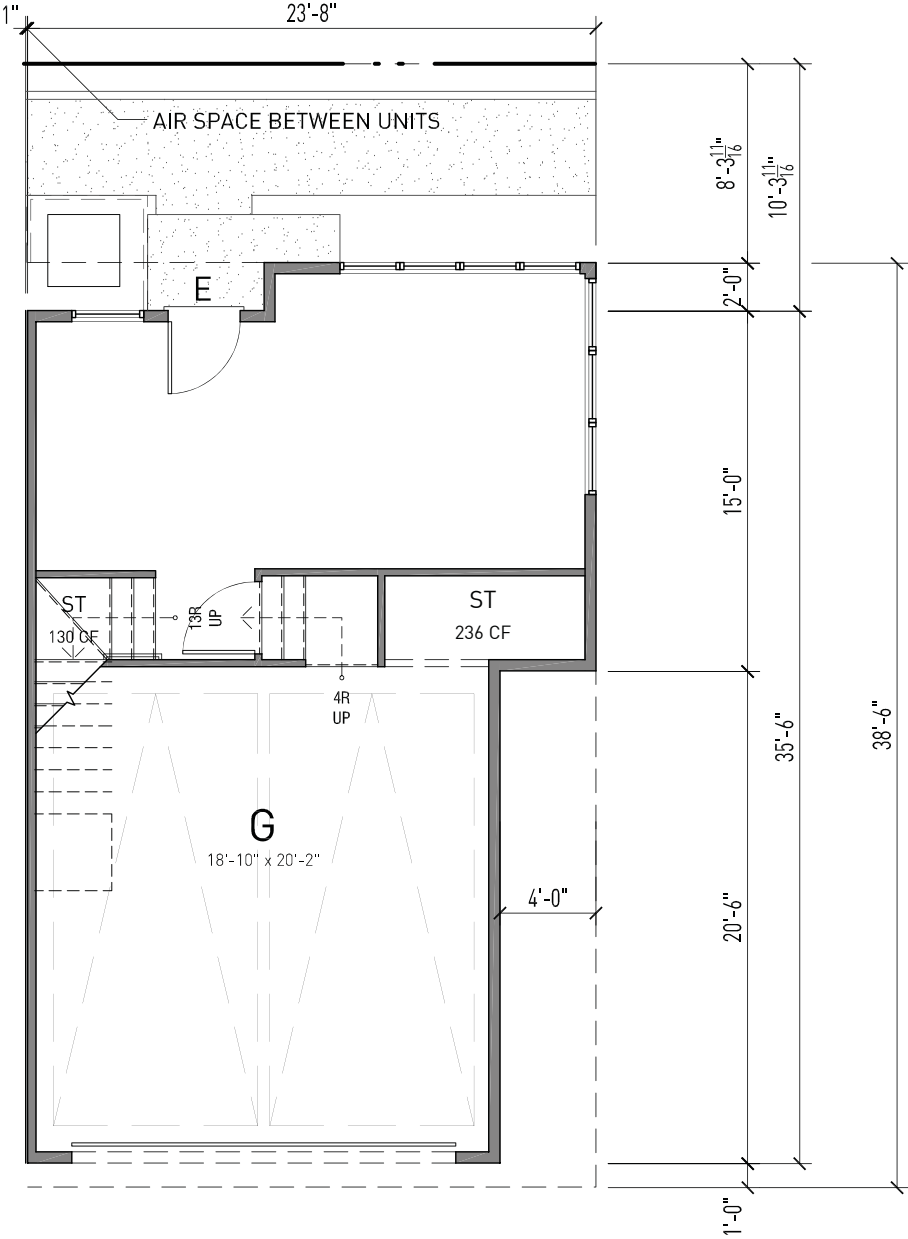
NOTE: Proposed interior stairway will have a minimum of one open wall that is not more than forty-two (42) inches in height open guard rail pursuant to HBMC Section 17.04.040 (General Definitions).



3RD FLOOR
759 SF LIVABLE



2ND FLOOR
767 SF LIVABLE



1ST FLOOR
270 SF LIVABLE
381 SF GARAGE



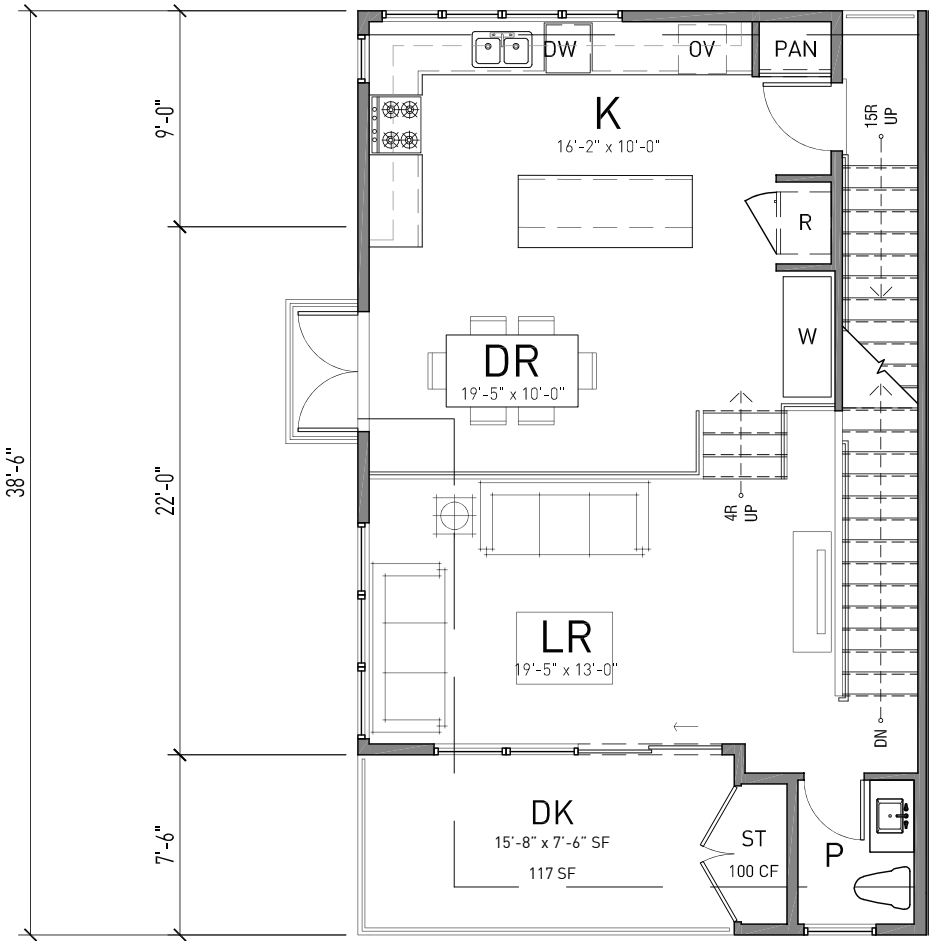
TOWNHOME - PLAN G
3BR + 2.5BA + 2-CAR GARAGE
GROSS SF: 1,862 SF LIVABLE + 381 SF GARAGE
PRIVATE STORAGE: 466 CF

Plan G

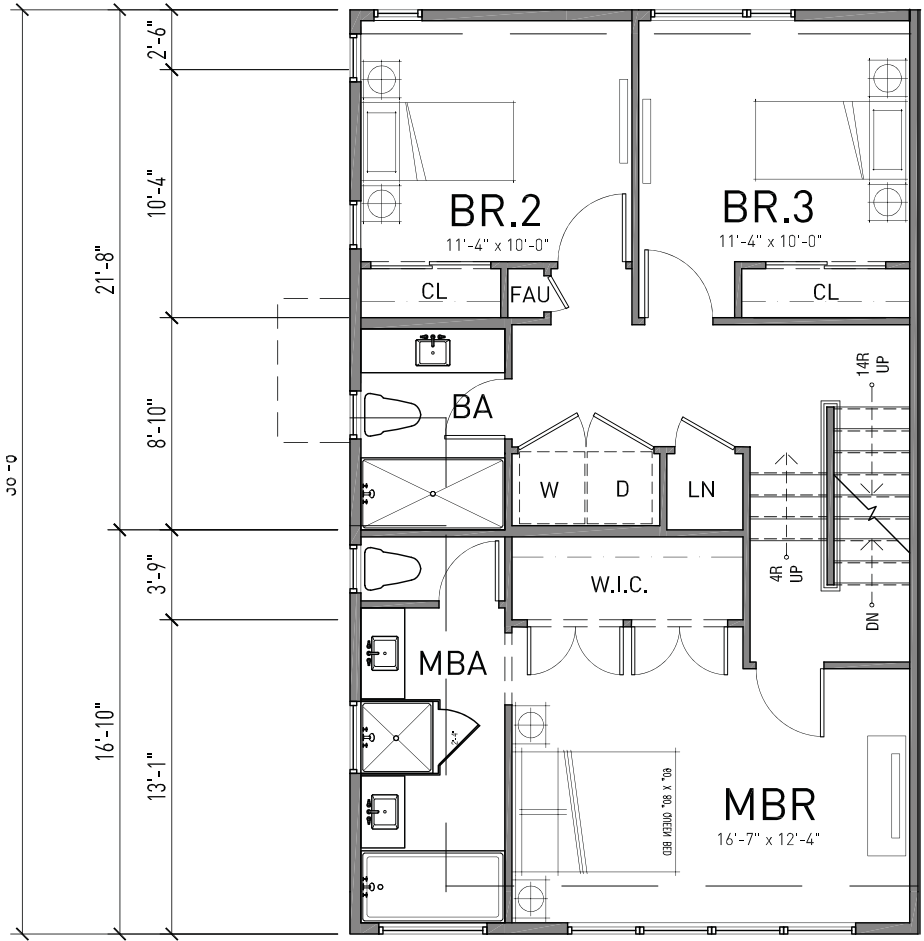
ROOM LEGEND

E	Entry	MBR	Master Bedroom	MBA	Master Bathroom	DR	Dining Room	CL	Closet	WIC	Walk-In Closet
G	Garage	P	Powder	K	Kitchen	DN	Den	C	Coat Closet	W/D	Washer/Dryer
BR	Bedroom	BA	Bathroom	LR	Living Room	DK	Deck	LN	Linen Closet	ST	Storage

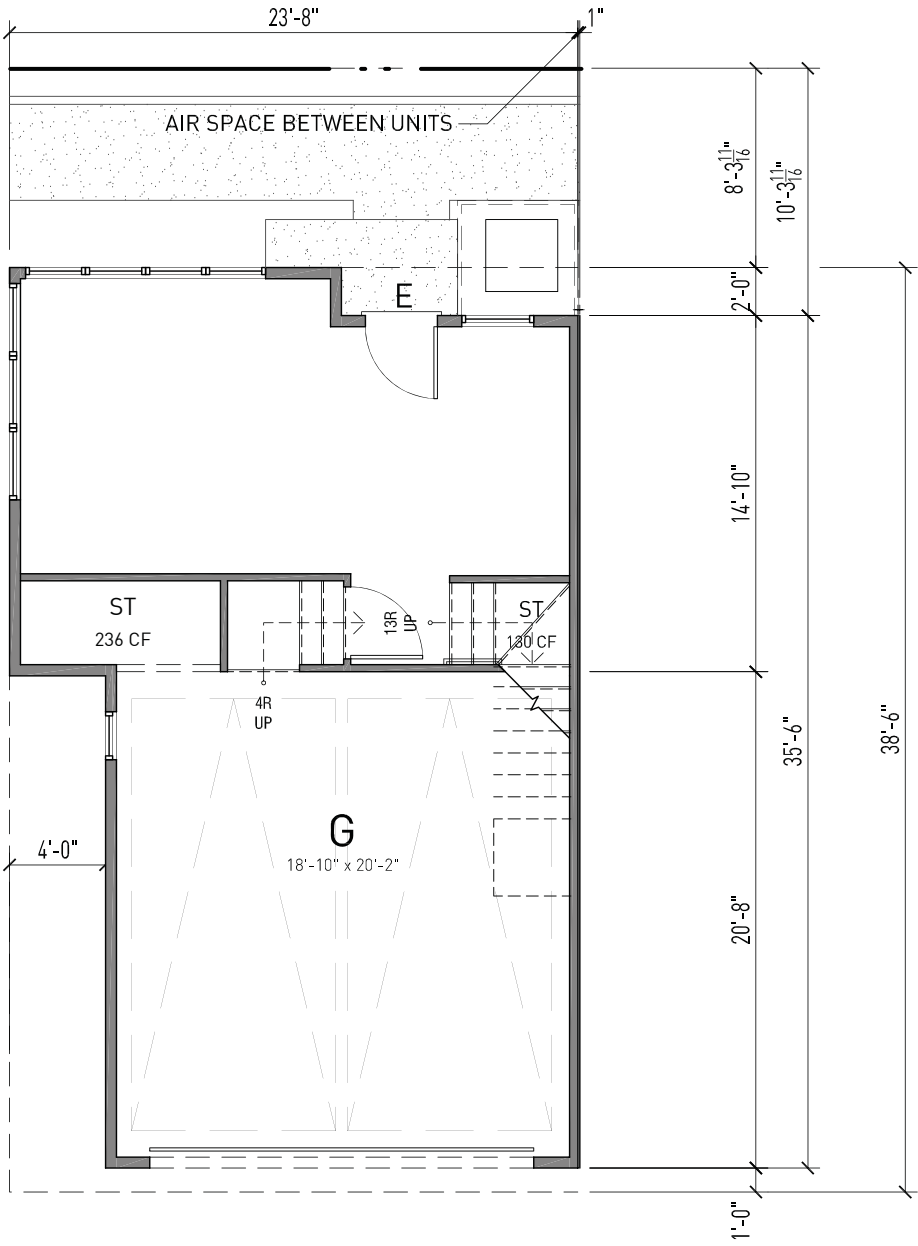
NOTE: Proposed interior stairway will have a minimum of one open wall that is not more than forty-two (42) inches in height open guard rail pursuant to HBMC Section 17.04.040 (General Definitions).



3RD FLOOR
759 SF LIVABLE



2ND FLOOR
766 SF LIVABLE

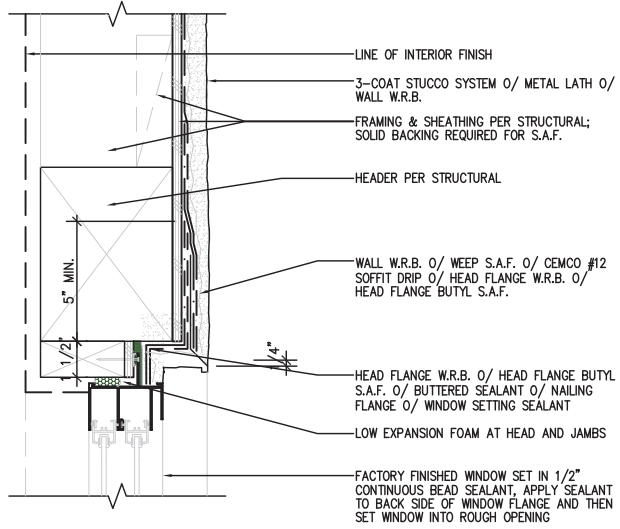


1ST FLOOR
276 SF LIVABLE
381 SF GARAGE

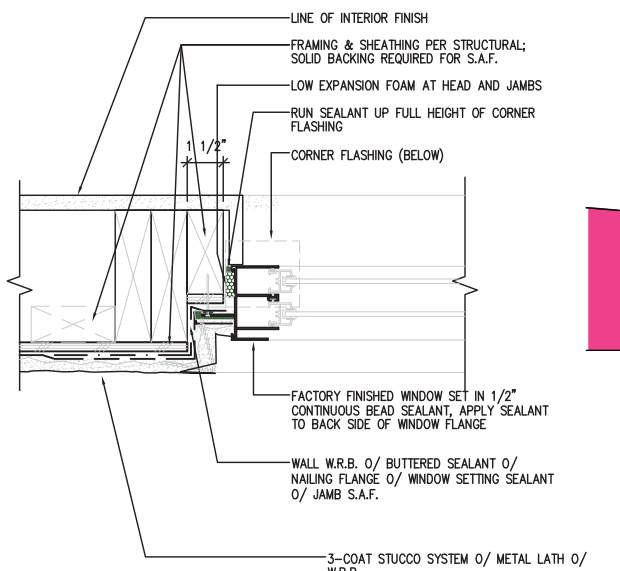
TOWNHOME - PLAN H
3BR + 2.5BA + 2-CAR GARAGE
GROSS SF: 1,861 SF LIVABLE + 381 SF GARAGE
PRIVATE STORAGE: 466 CF



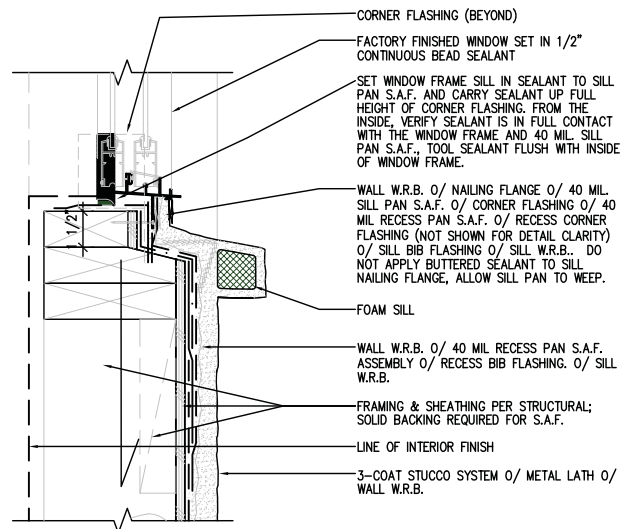
Plan H



(C) HEAD



(B) JAMB

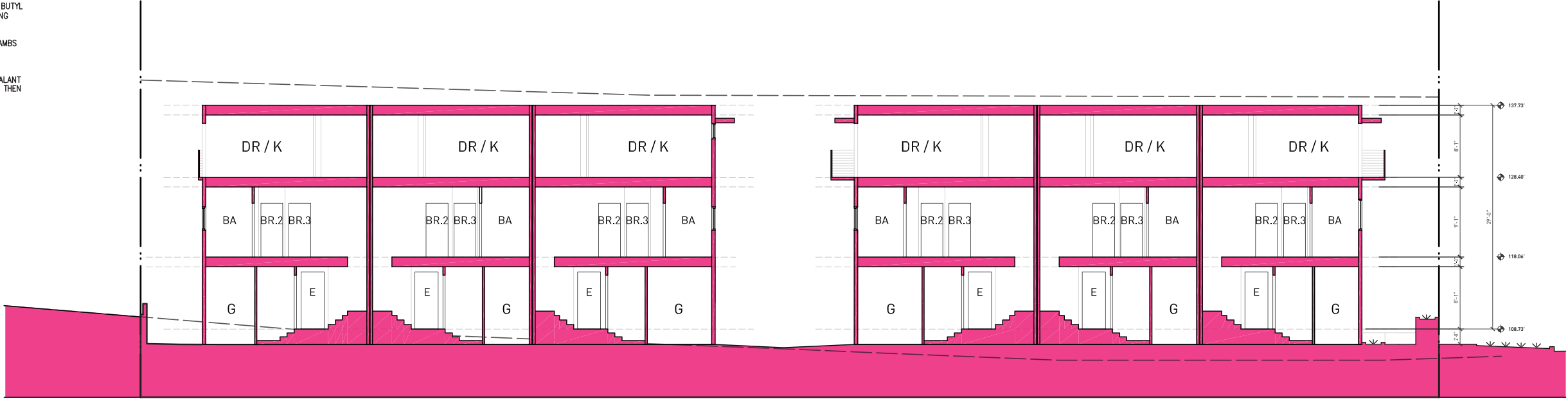


(A) SILL

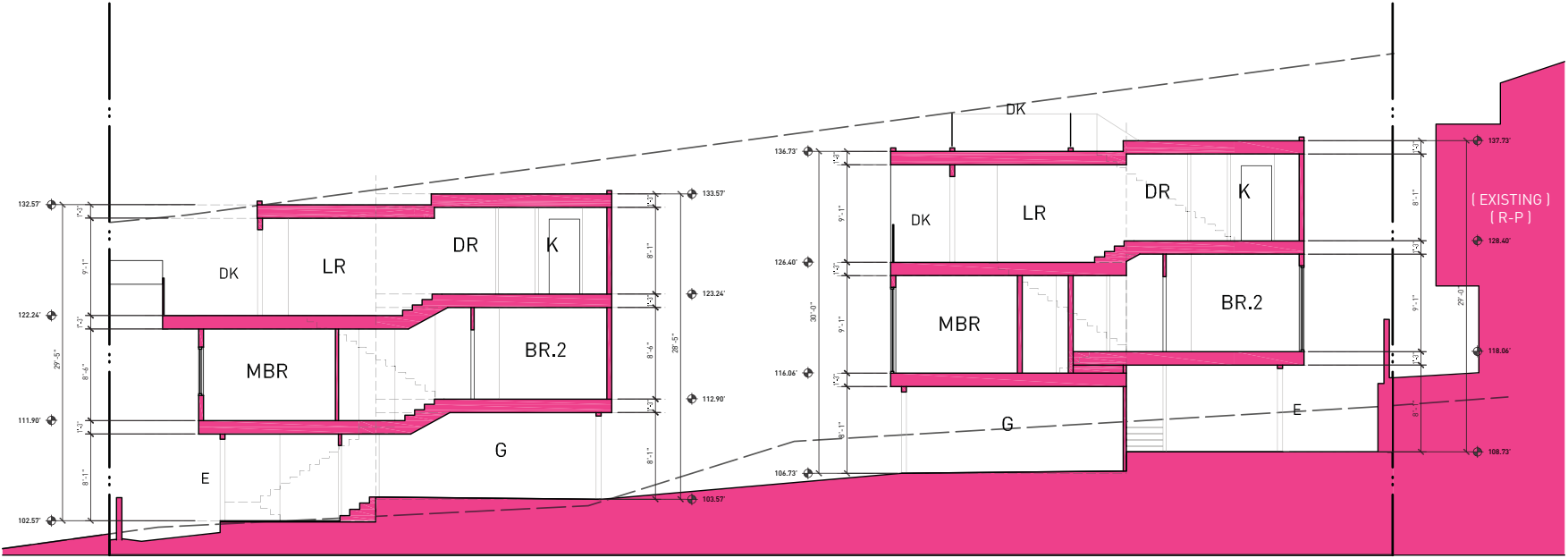
RECESSED WINDOW DETAIL

E	Entry	MBR	Master Bedroom	MBA	Master Bathroom	DR	Dining Room	CL	Closet	WIC	Walk-In Closet
G	Garage	P	Powder	K	Kitchen	DN	Den	C	Coat Closet	W/D	Washer/Dryer
BR	Bedroom	BA	Bathroom	LR	Living Room	DK	Deck	LN	Linen Closet	ST	Storage

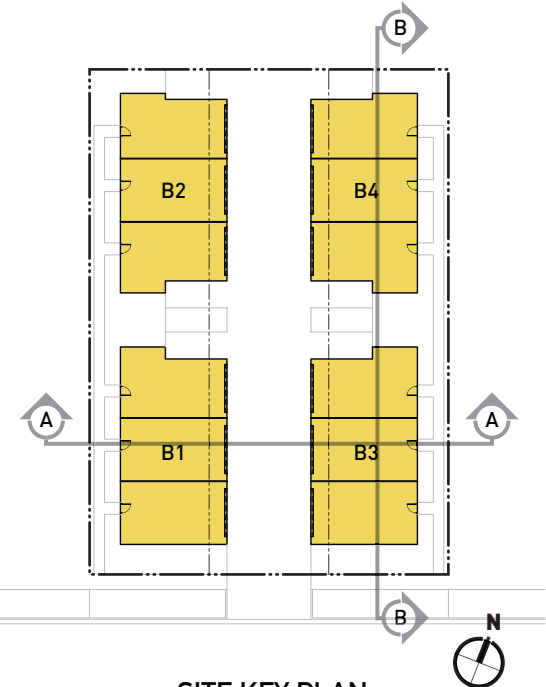
ROOM LEGEND



B.3 & B.4 - SECTION B-B



B.1 & B.3 - SECTION A-A



SITE KEY PLAN



Building Sections



1ST STREET. LOOKING NORTH - SOUTH SIDE OF SITE



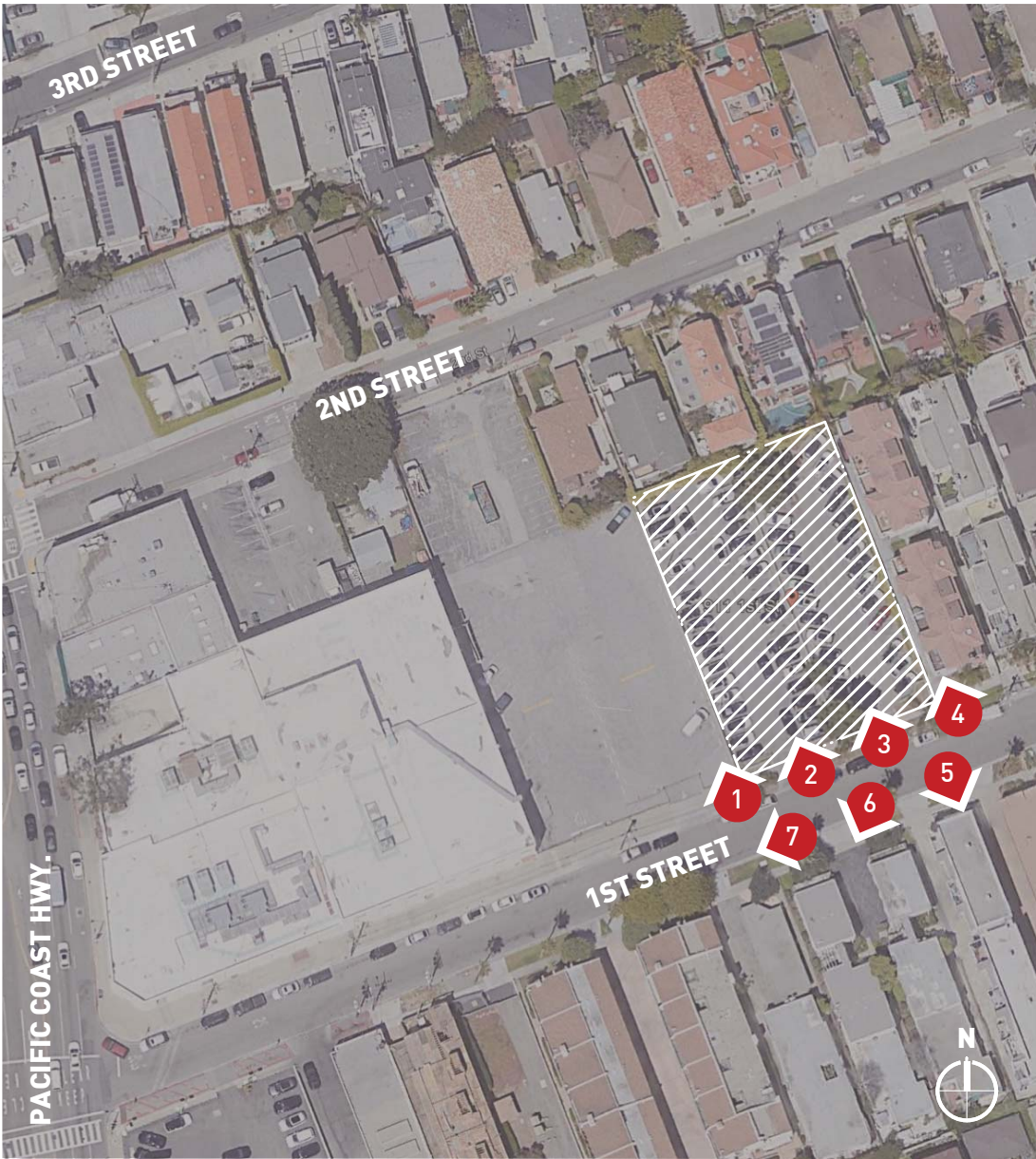
1ST STREET. LOOKING NORTH - SOUTH SIDE OF SITE



1ST STREET. LOOKING NORTH - SOUTH SIDE OF SITE



1ST STREET. LOOKING NORTH - SOUTH SIDE OF SITE



PROJECT AERIAL + KEY MAP (N.T.S.)



1ST STREET. LOOKING SOUTH - SOUTH SIDE OF SITE



1ST STREET. LOOKING SOUTH-WEST - SOUTH SIDE OF SITE



1ST STREET. LOOKING WEST

Site Photographs



Conceptual Imagery



VIEW LOOKING NORTH ON 1ST STREET - SOUTH SIDE OF SITE



AERIAL LOOKING NORTH ON 1ST STREET - SOUTH SIDE OF SITE



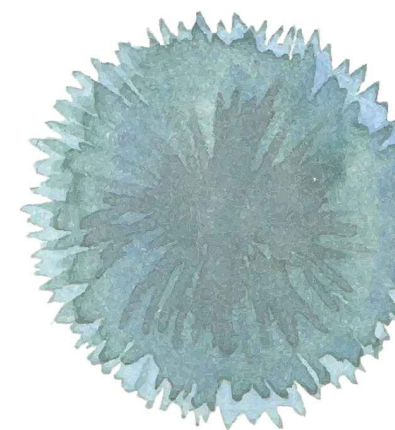
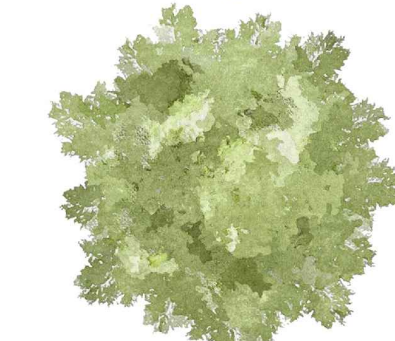
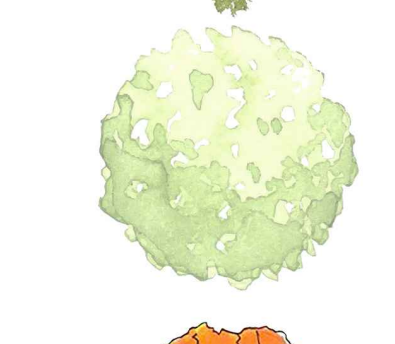
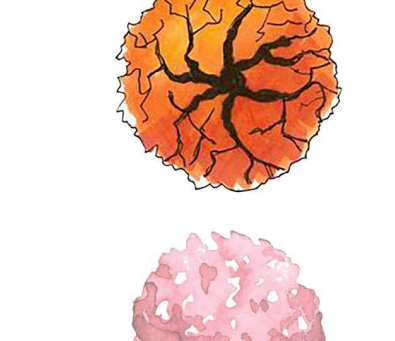
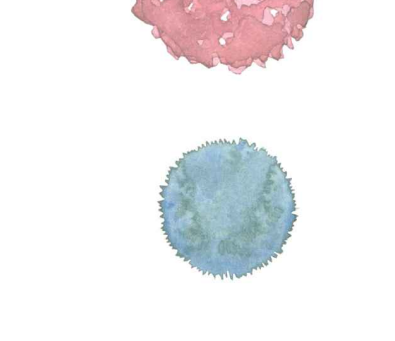
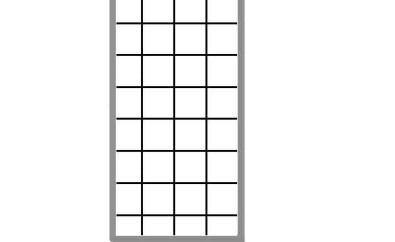
VIEW LOOKING NORTH-WEST - DRIVE COURT

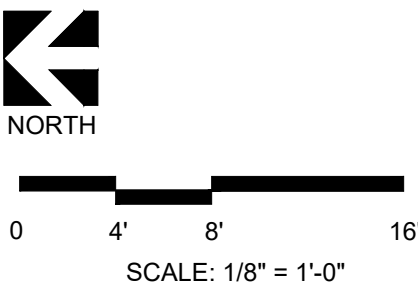


VIEW LOOKING WEST ON 1ST STREET - EAST SIDE OF SITE

3D Renderings

LEGEND

-  CANARY ISLAND PINES
-  PODOCARPUS HENKELII (RHUS)
-  SYCAMORE
-  GINKGO BILOBA
-  CREPE MYRTLE
-  CERCIS CANADENSIS FOREST PANSY
-  PODOCARPUS MAKI
-  TRASH CAN
-  SEATING AREA
-  PRECAST CONCRETE PAVERS
-  GROUND COVER / SHRUBS



DATE: 11/03/20
LANDSCAPE ARCHITECTURE & PLANNING

140 LINDEN AVENUE, SUITE 286
LONG BEACH, CALIFORNIA 90802
cwoilandarch@earthlink.net

562.989.1880

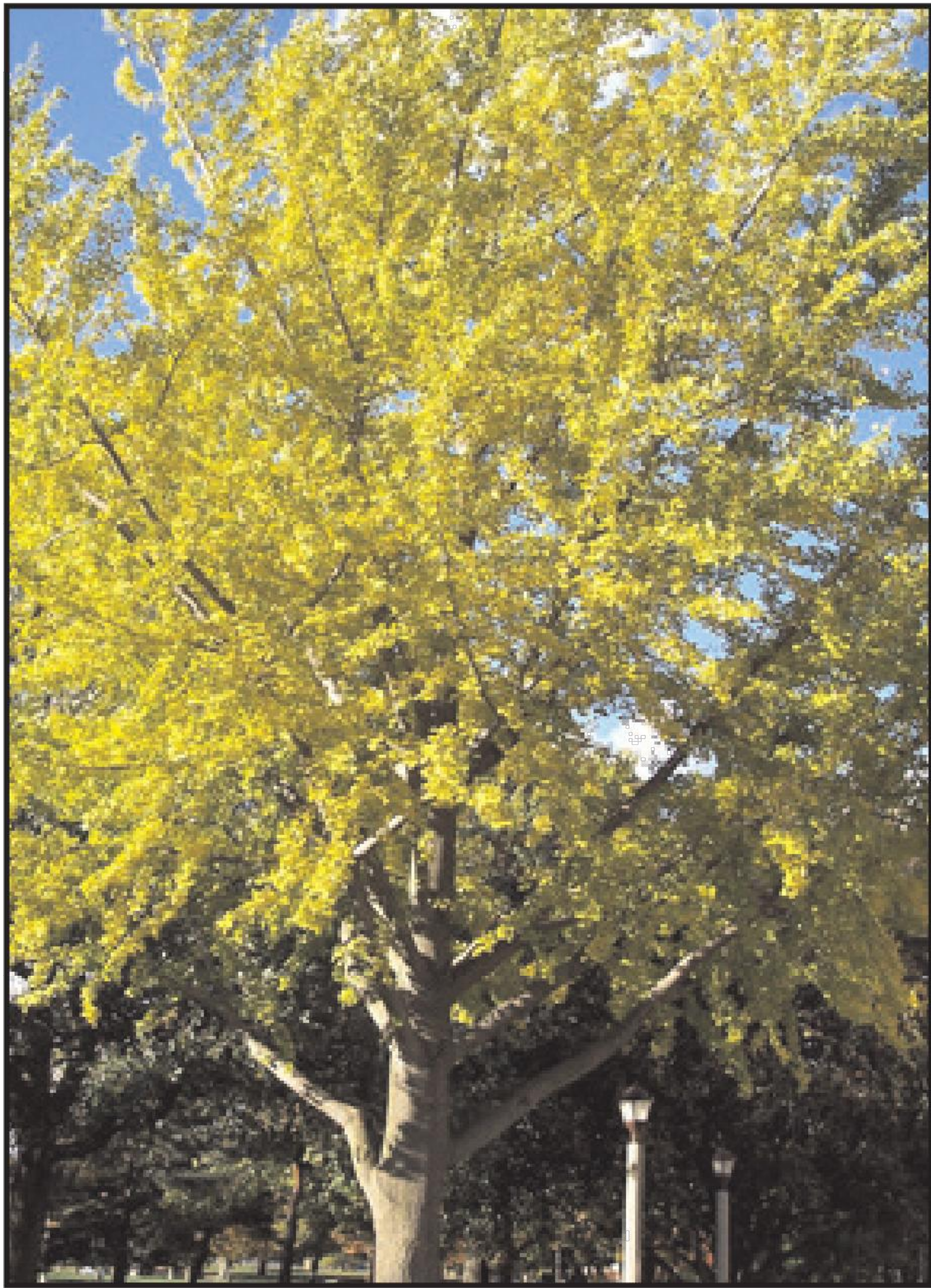
joncicchettilandscapearchitect.com

12 UNIT RESIDENTIAL - 911 1ST ST., HERMOSA BEACH, CA 90254

PRELIMINARY LANDSCAPE PLAN



CANARY ISLAND PINE



GINKGO BILOBA



PODOCARPUS MAKI



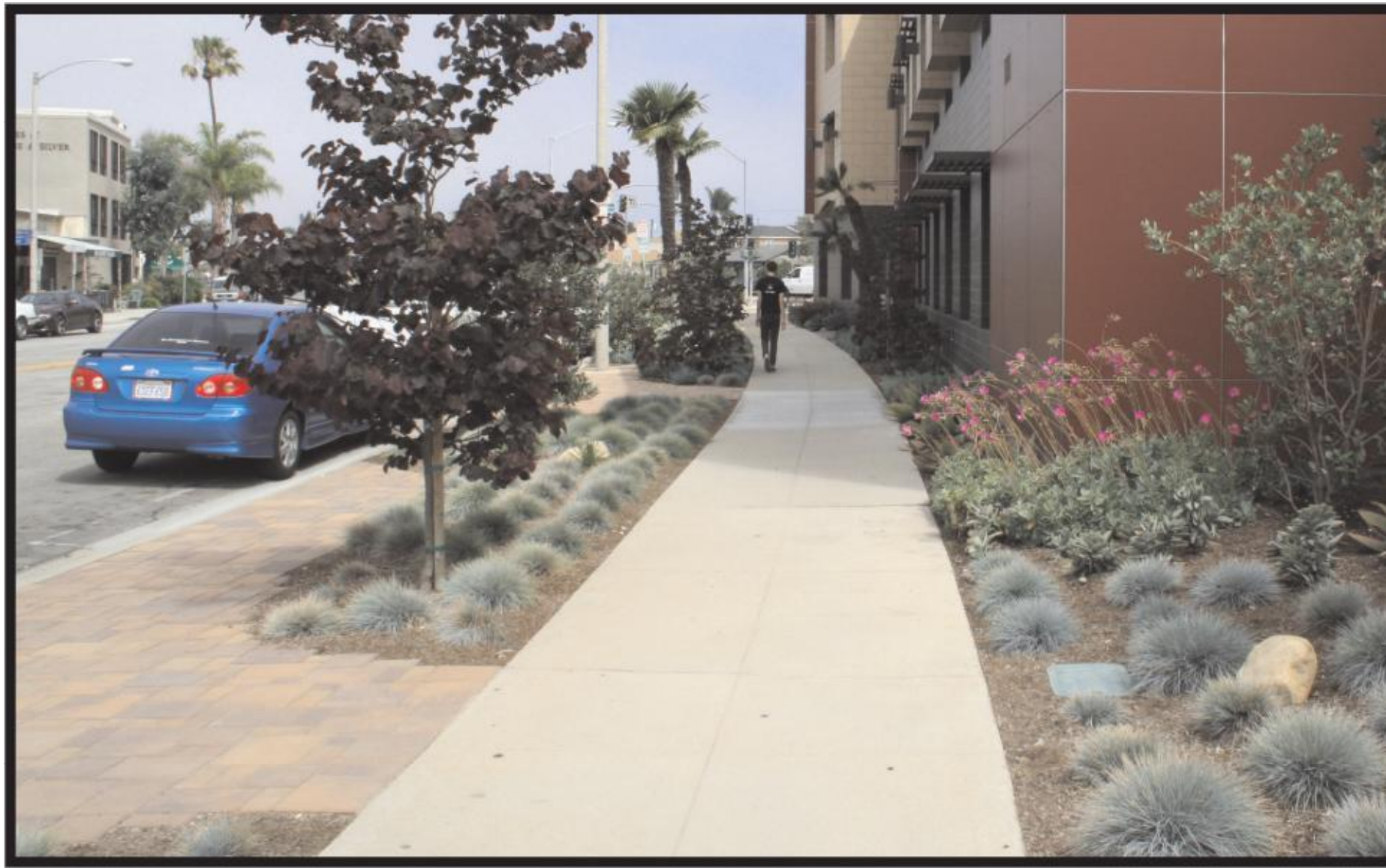
PODOCARPUS HENKELII



FOREST PANSY



CREPE MYRTLE



EXAMPLE OF PARKWAY TREATMENT



CALIFORNIA SYCAMORE



LANDSCAPE ARCHITECTURE & PLANNING

140 LINDEN AVENUE, SUITE 286
LONG BEACH, CALIFORNIA 90802
cwcclandarch@earthlink.net

562.989.1880

joncicchettilandscapearchitect.com

12 UNIT RESIDENTIAL - 911 1ST ST., HERMOSA BEACH, CA 90254

PRELIMINARY PLANT PALLETTE

SCALE: 1" = 20'

TENTATIVE

SHEET 1 OF 2 SHEET

TRACT NO. 83011

IN THE CITY OF HERMOSA BEACH
COUNTY OF LOS ANGELES
STATE OF CALIFORNIA

FOR CONDOMINIUM PURPOSES
(EXISTING CONDITIONS)

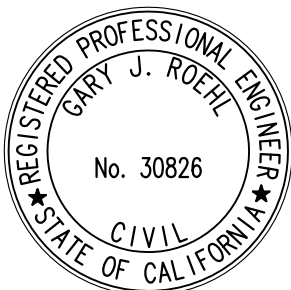
SUBDIVIDER
LUIGI SCHIAPPA DEVELOPMENT, INC
ATTN: LUIGI SCHIAPPA
2040 LOMITA BOULEVARD, SUITE 100
LOMITA, CA 90717
PHONE: 310 373-8555

LEGAL DESCRIPTION
LOTS 39, 40 AND 41,
TRAFTON HEIGHTS,
M.B. 10-72.
APN 4186-026-047

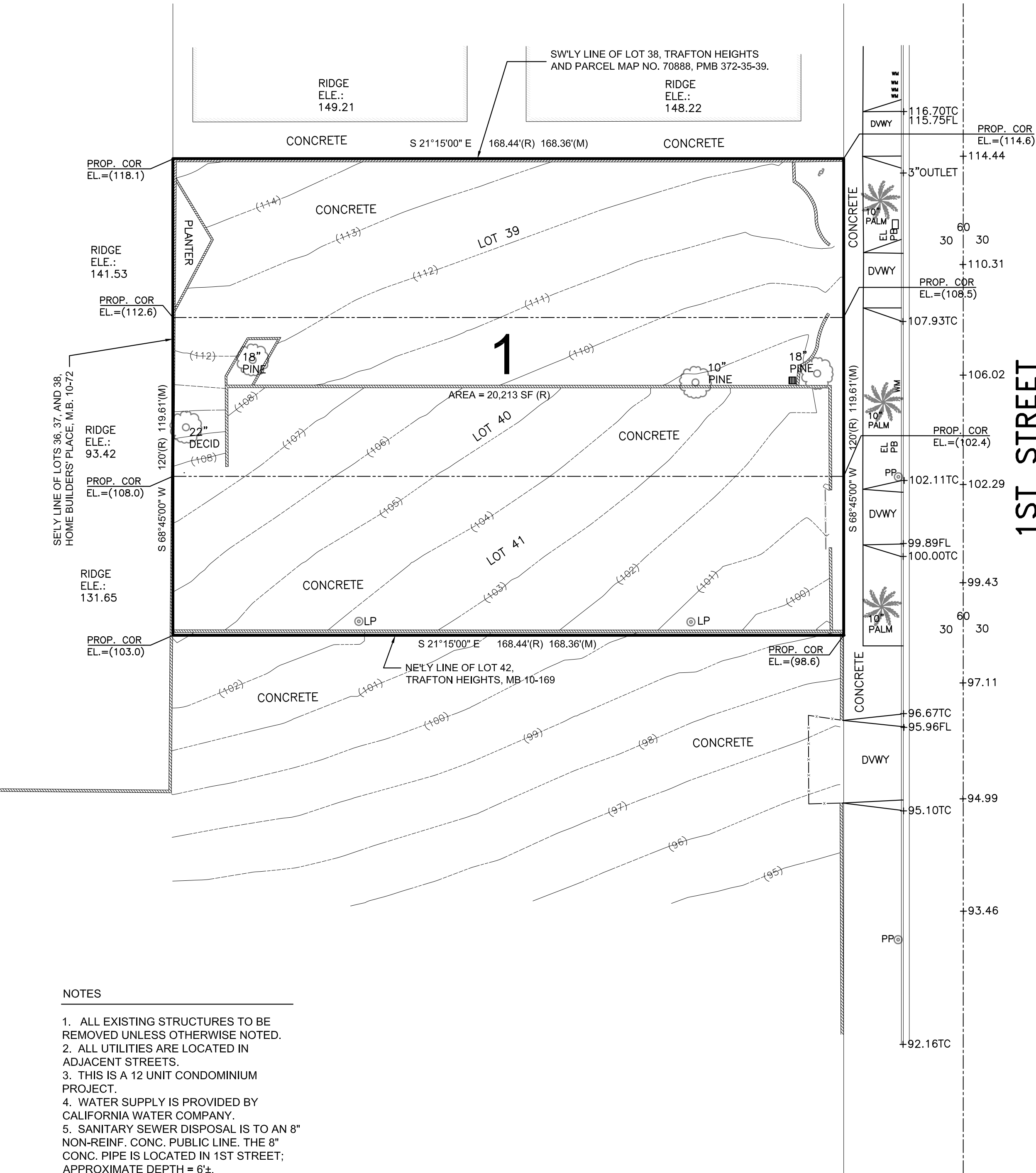
JOB ADDRESS
911 1ST STREET
HERMOSA BEACH, CA 90254

ENGINEER
DENN ENGINEERS
3914 DEL AMO BLVD., STE. 921
TORRANCE, CA 90503
310-542-9433

Gary J. Roehl DATE 6/1/2020
GARY J. ROEHL R.C.E. 30826



SPECIAL NOTE:
THIS SURVEY WAS NOT PERFORMED BY DENN ENGINEERS.
SURVEY INFORMATION WAS PROVIDED TO DENN ENGINEERS
BY THE OWNER/DEVELOPER FOR USE IN PREPARING THIS
TENTATIVE TRACT.



- NOTES
1. ALL EXISTING STRUCTURES TO BE REMOVED UNLESS OTHERWISE NOTED.
 2. ALL UTILITIES ARE LOCATED IN ADJACENT STREETS.
 3. THIS IS A 12 UNIT CONDOMINIUM PROJECT.
 4. WATER SUPPLY IS PROVIDED BY CALIFORNIA WATER COMPANY.
 5. SANITARY SEWER DISPOSAL IS TO AN 8" NON-REINF. CONC. PUBLIC LINE. THE 8" CONC. PIPE IS LOCATED IN 1ST STREET; APPROXIMATE DEPTH = 6'±.
 6. SEE SOILS REPORT FOR POTENTIAL FILL ON THIS SITE.
 7. SITE DRAINAGE IS SURFACE FLOW WITH DISCHARGE TO ADJACENT STREETS.

LEGEND	
	EXISTING BUILDING
	CONCRETE
	BRICK
	WOOD DECK
+106.76	EXISTING ELEVATION
	EXISTING CONTOUR
	BLOCK WALL
	EXISTING FENCE
BCR	BEGINNING OF CURB RET
ELY	EASTERLY
FD	FOUND
FF	FINISH FLOOR
FL	FLOW LINE
GFF	GARAGE FINISH FLOOR
GW	GUY WIRE
L&T	LEAD AND TAG
MH	MANHOLE
NLY	NORTHERLY
PC	PROPERTY CORNER
PL, P/L	PROPERTY LINE
PP	POWER POLE
S&W	SPIKE AND WASHER
S/LY	SOUTHERLY
SPK	SPIKE
STK	STAKE
TC	TOP OF CURB
TW	TOP OF WALL
TX	TOP OF DWY APRON
WLY	WESTERLY
WM	WATER METER
NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.	
BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFF-SET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT: (310) 542-9433, M-F 8:00 AM TO 5:00 PM.	

TRACT NO. 83011

IN THE CITY OF HERMOSA BEACH
COUNTY OF LOS ANGELES
STATE OF CALIFORNIA

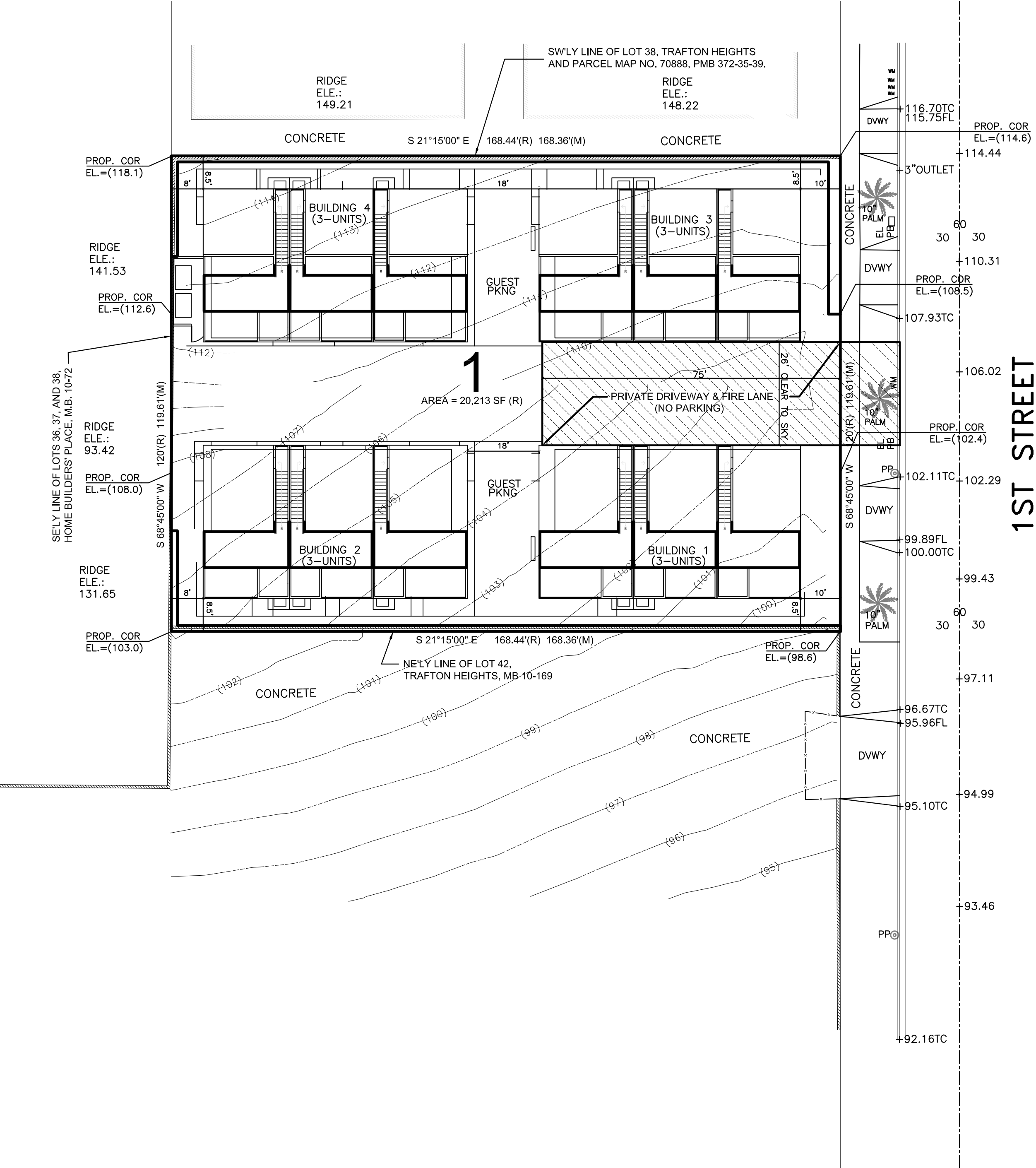
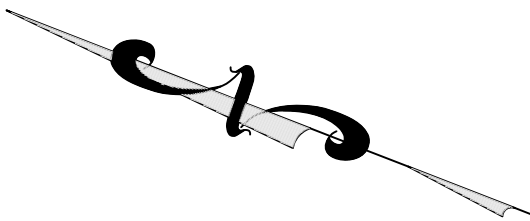
FOR CONDOMINIUM PURPOSES
(PROPOSED)



ENGINEER
DENN ENGINEERS

3914 DEL AMO BLVD., STE. 921
TORRANCE, CA 90503
310-542-9433

Gary J. Roehl
GARY J. ROEHL
DATE 6/1/2020
R.C.E. 30826



20-006