

Project Summary:

Job Address:	435 8th St. Hermosa Beach, CA 90254
Zone:	R-3
Building Type:	Single-Family Residence w/ attached Garage
Occupancy Group:	R3/U
Construction Type:	Type V-B
Number of Stories:	3-Stories over Basement
Lot Size:	1,009 S.F.
Legal Description:	APN# 4187-014-011 The Southwest 25 feet of the Northeast 65 feet of Lot 10 in Block B of Tract No. 1677 M.B. 20-184
Project Description:	New 3-story over basement SFR with attached 2-car Garage + ADU

Project Data:

PROJECT SUMMARY

PROJECT LOCATION:	435 8th Street
LEGAL DESCRIPTION:	Southwest 25 feet of the Northeast 65 feet of Lot 10 in Block B of Tract No. 1677
ASSESSOR PARCEL NO.:	4187-014-011
ZONING:	R-3
SCOPE OF WORK:	New 3-story over basement SFR with attached 2-car garage + ADU

GENERAL BUILDING INFORMATION (NOTE: FOR ADDITION AND REMODEL PROJECTS, PLEASE PROVIDE INFORMATION FOR EXISTING AREA AND ADDED AREA.)

BASEMENT (ADU)	495 sf	
GARAGE (INTERIOR DIMENSIONS)	18'-0" x 20'-3"	
1ST LEVEL LIVING AREA	50 sf	
2ND LEVEL LIVING AREA	525 sf	
DECKS/BALCONIES	0 sf	
3RD LEVEL LIVING AREA	400 sf	
DECKS/BALCONIES	82 sf	(roof deck 260 sf)
TOTAL LIVING AREA	975 sf	
TOTAL DECKS/BALCONIES	342 sf	
NO. OF BEDROOMS	2	
NO. OF BATHROOMS	3	

ZONING INFORMATION		REQUIRED	PROVIDED
AREA:			
LOT AREA		1,320 sf	1,010 sf
LOT COVERAGE		655 sf (65% max)	577 sf (57%)
YARDS:			
FRONT		5'-0"	5'-0" & 9'-0"
SIDE		3'-0"	3'-0" & 3'-0"
REAR		5'-0"	5'-0"
PARKING AND DRIVEWAYS:			
NUMBER OF SPACES		2	2
GUEST SPACES		1	1
PARKING SETBACK		17'-0"	9'-0"
PARKING STALL DIMENSION		8'-6" x 20'-0"/9'-0" x 22'-0"	9'-0" x 20'-0"/9'-0" x 22'-0"
TURNING AREA			
DRIVEWAY WIDTH		9'-0"	16'-4"
DRIVEWAY MAXIMUM SLOPE		12.5%	8%
OPEN SPACE:			
ON GRADE			0 sf
DECKS/BALCONIES			182 sf
TOTAL		300 sf	182 sf

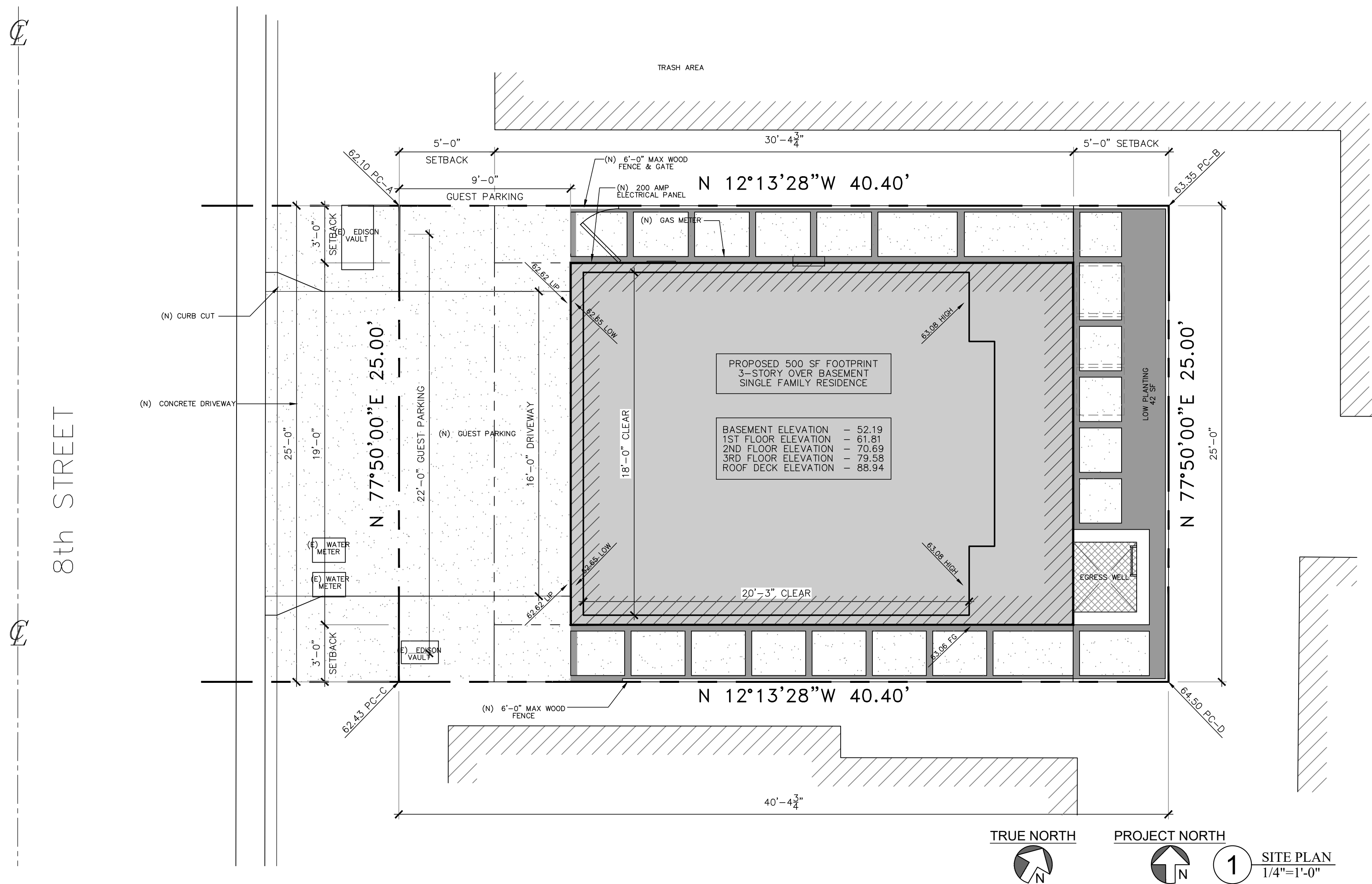
BASEMENT QUALIFICATION CALCULATION
(REQUIRED FOR ALL PROJECTS PROPOSING TWO STORIES AND BASEMENT)

1ST LEVEL F.F. ELEVATION	63.10
LINEAL FEET (LF) OF PERIMETER	98.75'
LF OF PERIMETER <6' FROM GRADE TO F.F. ABOVE	98.75'
% OF PERIMETER < 6' to FF ABOVE	100%

Contacts:

Owner	Architect
Shad & Jazmin Peck 435 8th St. Hermosa Beach, CA 90254	Josh Tully Architects 703 Pier Ave, Suite B #182 Hermosa Beach, CA 90254 T: 310.480.2429
Civil Engineer	Structural Engineer
Energy Consultant	Surveyor
	Eagle Eye Land Surveying 1311 Manhattan Beach Blvd. #4 Manhattan Beach, CA 90266 T: 310.955.8901




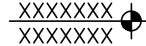
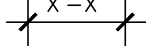
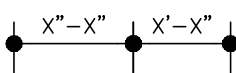
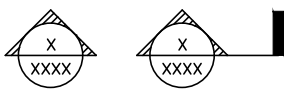
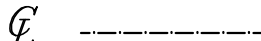

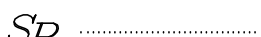
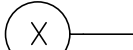
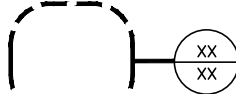
PECK RESIDENCE



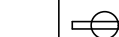




























* Not a part of this submittal

Plans shall comply with Title 24 energy efficiency requirements and all mandatory measures

SYMBOLS:

FLOOR PLAN SYMBOLS LEGEND:	
	WINDOW TYPE INDICATION
	DOOR TYPE INDICATION
	ROOMNAME AND NUMBER INDICATION
	ELEVATION HEIGHT
	DIMENSION TO FRAMED CONSTRUCTION
	DIMENSION TO FINISH
	ELEVATION / SECTION REFERENCE
	CENTER LINE INDICATION
	PROPERTY LINE INDICATION
	SETBACK LINE INDICATION
	GRID LINE INDICATION
	DETAIL REFERENCE

REFLECTED CEILING PLAN SYMBOLS LEGEND:

E	EXISTING	EXISTING	UNDER CABINET LIGHT	
EL	EXISTING LOCATION, NEW FIXTURE		TRACK LIGHTING	
FL	FLUORESCENT		EXTERIOR FLOOD LIGHT	
WP	WATERPROOF		CABLE TV	12" A.F.F.
LV	LOW VOLTAGE		TELEPHONE	12" A.F.F.
HE	HIGH EFFICACY		DATA CABLE (INTERNET)	12" A.F.F.
GD	GARBAGE DISPOSAL		SATELLITE	12" A.F.F.
GFI	GROUND FAULT INTERRUPTER		COM (CATS) (NETWORK)	12" A.F.F.
AFI	ARC FAULT INTERRUPTER		SECURITY SYSTEM	42" A.F.F.
AGDO	AUTOMATIC GARAGE DOOR OPENER		WALL SWITCH	42" A.F.F.
	EXHAUST FAN		WALL SWITCH W/ DIMMER CONTROL	42" A.F.F.
	RECESSED DOWNLIGHT		3 WAY WALL SWITCH	42" A.F.F.
	EMERGENCY LIGHT WITH BACK-UP BATTERY		4 WAY WALL SWITCH	42" A.F.F.
	DIRECTIONAL RECESSED DOWNLIGHT		DUPLEX OUTLET	12" A.F.F.
	WALL SCONCE		DUPLEX OUTLET/ SWITCH CONTROL	12" A.F.F.
	MOTION SENSOR WITH INTEGRAL PHOTO CONTROL		QUAD OUTLET	12" A.F.F.
	WALL MOUNTED FIXTURE		GAS LINE	12" A.F.F.
	CEILING MOUNTED FIXTURE		HOSE BIB	12" A.F.F.
	PENDANT FIXTURE		120-VOLT HARD WIRED & INTERCONNECTED SMOKE DETECTOR (WITH 9-VOLT BATTERY BACK-UP)	
	STRIP LIGHTING		INTERCONNECTED HEAT DETECTOR RATED 190 F OR ABOVE	

Sheet Index:

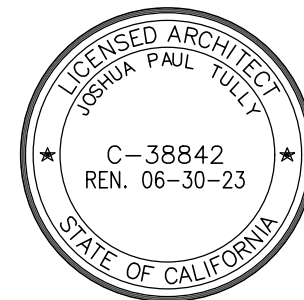
Architectural:

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A1.1a	Landscape + Irrigation Notes
A1.1b	Green Building Notes
A1.1c	Green Building Notes
A1.2	Survey
A1.4	Site Plan
A1.5	Lot Coverage
A2.0	Floor Plans
A2.1	Floor Plans
A2.2	Roof Plan
A3.0	Exterior Elevations
A3.1	Exterior Elevations
A4.0	Building Sections

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PECK
RESIDENCE

435 8th Street
Hermosa Beach, CA 90254

Project Name :

Project Address :

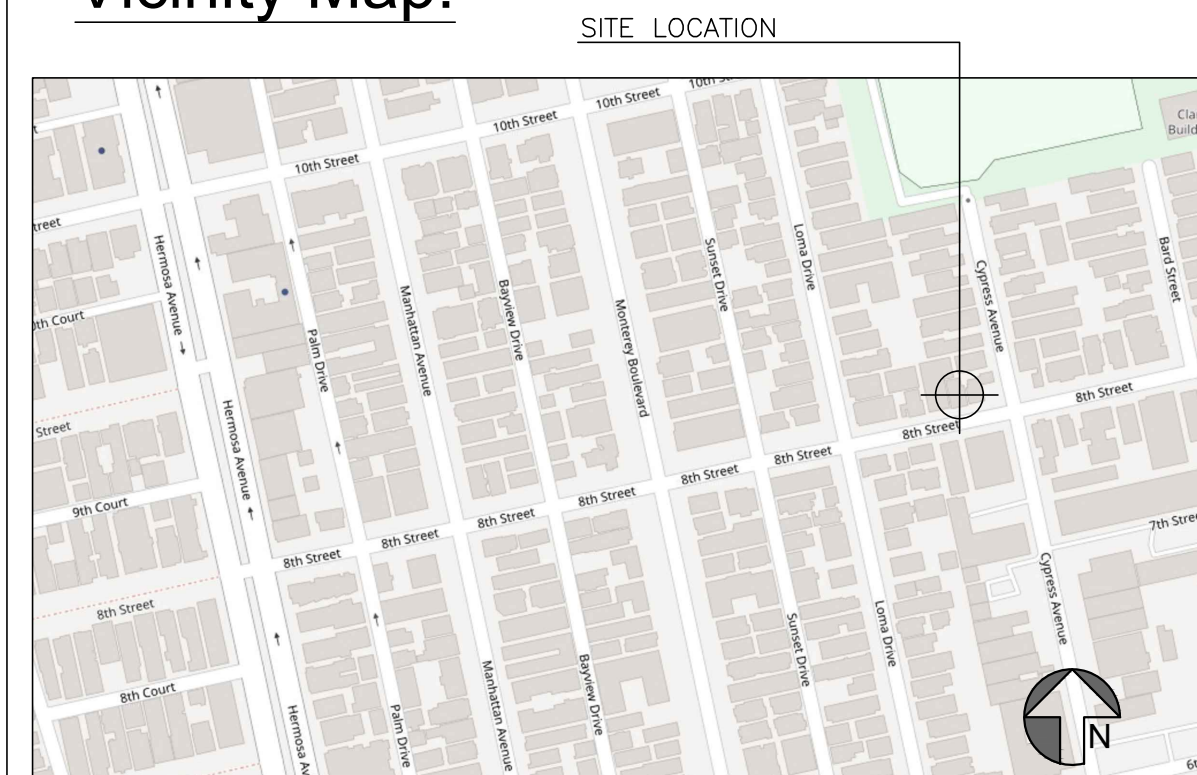
Revisions :

No.	Date	Description
	12.01.2023	Planning Commission Submittal

All New Work Shall Comply With:

2022 California Building Code
2022 California Plumbing Code
2022 California Mechanical Code
2022 California Electrical Code
2022 California Residential Code
2022 California Green Building Standard Code
2022 California Energy Code

Vicinity Map:



Sheet Title :

COVER SHEET

Assessor Parcel No.: 4187-014-011

Scale: AS NOTED

Issue Date: 12.05.2023

Drawn: JPT Checked:

Sheet Number :

A-1.0

8.60. 060 STANDARDS FOR NEW LANDSCAPE.

- "NEW LANDSCAPE" AS DEFINED IN SECTION 8.60.040 SHALL BE DESIGNED AND MANAGED TO USE THE MINIMUM AMOUNT OF WATER REQUIRED TO MAINTAIN PLANT HEALTH. NEW LANDSCAPE SHALL COMPLY WITH ALL OF THE REQUIREMENTS IN SECTIONS 492.6 THROUGH 492.15 OF THE MODEL EFFICIENT ORDINANCE AND THE FOLLOWING, WHICHEVER IS MORE RESTRICTIVE, UNLESS AN EXCEPTION IS GRANTED PURSUANT TO SECTION 8.60.050(D).
- A. PLANT MATERIAL.
- 1. PLANT SPECIES AND LANDSCAPE DESIGN SHALL BE ADAPTED TO THE CLIMATE, SOILS, TOPOGRAPHICAL CONDITIONS, AND SHALL BE ABLE TO WITHSTAND EXPOSURE TO LOCALIZED URBAN CONDITIONS SUCH AS PAVEMENT HEAT RADIATION, VEHICLE EMISSIONS AND DUST, AND URBAN RUNOFF. WATER CONSERVING PLANT AND TURF SPECIES SHALL BE USED.
 - 2. PLANT SPECIES OR SPECIFICATIONS SHALL COMPLY WITH ANY OFFICIAL LIST OF SPECIES, GUIDELINES OR REGULATIONS ADOPTED BY THE CITY TO THE EXTENT THAT SUCH LISTS, GUIDELINES OR REGULATIONS DO NOT CONFLICT WITH THIS CHAPTER
 - 3. 'PLANTS LISTED IN THE CURRENT INVASIVE PLANT INVENTORY FOR THE SOUTHWEST REGION BY THE CALIFORNIA INVASIVE PLANT COUNCIL OR SIMILAR SOURCE ACCEPTABLE THE COMMUNITY DEVELOPMENT DIRECTOR ARE PROHIBITED, EXCEPT FOR KNOWN NON-FRUITING, NON-INVASIVE, STERILE VARIETIES OR CULTIVARS. PLANTS KNOWN TO BE SUSCEPTIBLE TO DISEASE OR PESTS IN THIS CLIMATE ZONE SIX (6) SHALL NOT BE USED.
 - 4. THE LANDSCAPE AREA OF PROJECTS PROPOSING EXCLUSIVELY COMMERCIAL OR INDUSTRIAL USES SHALL BE DESIGNED USING EXCLUSIVELY WATER CONSERVING PLANTS. SINGLE FAMILY RESIDENTIAL, MULTI-FAMILY RESIDENTIAL, MIXED USE AND INSTITUTIONAL USE PROJECTS SHALL BE DESIGNED WITH NOT MORE THAN TWENTY (20) PERCENT OF THE TOTAL LANDSCAPED AREA IN TURF OR HIGH WATER USE PLANTS IN THE WATER USE CLASSIFICATION FOR LANDSCAPE SPECIES (WUCOLS). TURF MAY BE USED AS A BIO-SWALE OR BIO-FILTER OR FOR FUNCTIONAL PURPOSES SUCH AS ACTIVE RECREATIONAL AREAS AS DETERMINED BY THE COMMUNITY DEVELOPMENT DIRECTOR. PUBLIC AGENCIES SHALL BE EXEMPT FROM THIS REQUIREMENT.
 - 5. TURF SHALL NOT BE ALLOWED ON SLOPES GREATER THAN TWENTY (20) PERCENT. WHERE THE TOE OF THE SLOPE IS ADJACENT TO AN IMPERMEABLE SURFACE, ALTERNATIVES TO TURF SHOULD BE CONSIDERED ON SLOPES EXCEEDING TWENTY (20) PERCENT, MEANING ONE (1) FOOT OF VERTICAL ELEVATION CHANGE FOR EVERY FIVE (5) FEET OF HORIZONTAL LENGTH. APPROVED TURF AREAS MAY BE WATERED AT 1.0 OF THE REFERENCE EVAPOTRANSPIRATION (ETO).
 - 6. 'PLANTED AREAS SHALL BE COVERED WITH A MINIMUM OF TWO (2) INCHES OF ORGANIC MULCH, EXCEPT IN AREAS COVERED BY GROUNDCOVERS OR WITHIN TWENTY-FOUR (24) INCHES OF THE BASE OF A TREE, OR WHERE A REDUCED APPLICATION IS INDICATED. ADDITIONAL MULCH MATERIAL SHALL BE ADDED FROM TIME TO TIME AS NECESSARY TO MAINTAIN THE REQUIRED DEPTH OF MULCH.
 - 7. SPECIES AND LANDSCAPE DESIGN SHALL COMPLEMENT AND TO THE EXTENT FEASIBLE IN COMPLIANCE WITH THIS CHAPTER BE PROPORTIONAL TO THE SURROUNDINGS AND STREETScape AND INCORPORATE DECIDUOUS TREES TO SHADE WEST AND SOUTH EXPOSURES. LANDSCAPING SHALL NOT INTERFERE WITH SAFE SIGHT DISTANCES FOR VEHICULAR TRAFFIC, THE VISION CLEARANCE IN SECTION 17.46.060, HEIGHT RESTRICTIONS FOR HEDGES IN 17.46.130, PEDESTRIAN OR BICYCLE WAYS, OR OVERHEAD UTILITY LINES OR LIGHTING.
- B. WATER FEATURES, POOLS AND SPAS.
- 1. RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES. WHERE AVAILABLE, RECYCLED WATER SHALL BE USED AS A SOURCE FOR DECORATIVE WATER FEATURES.
 - 2. POOLS AND SPAS SHALL BE EQUIPPED WITH A COVER AND COVERED OVERNIGHT AND DAILY WHEN USE IS CONCLUDED.
- C. GRADING AND RUNOFF. LANDSCAPE DESIGN SHALL MINIMIZE SOIL EROSION AND RUNOFF.
- 1. GRADING PLANS SHALL AVOID DISRUPTION OF NATURAL DRAINAGE PATTERNS TO THE EXTENT FEASIBLE.
 - 2. GRADING PLANS SHALL DEMONSTRATE THAT NORMAL RAINFALL AND IRRIGATION WILL REMAIN WITHIN THE PROPERTY LINES AND NOT DRAIN ONTO IMPERMEABLE SURFACES, WALKWAYS, SIDEWALKS, STREETS, ALLEYS, GUTTERS, OR STORM DRAINS.
 - 3. PLANS AND CONSTRUCTION SHALL PROTECT AGAINST SOIL COMPACTION WITHIN LANDSCAPE AREAS.
 - 4. STORMWATER BEST MANAGEMENT PRACTICES TO MINIMIZE RUNOFF, TO INCREASE ON-SITE RETENTION AND INFILTRATION, AND CONTROL POLLUTANTS SHALL BE INCORPORATED INTO PROJECT PLANS. RAIN GARDENS, CISTERNS, SWALES, STRUCTURAL SOIL, PERMEABLE PAVEMENT, CONNECTED LANDSCAPE AREAS, AND OTHER LANDSCAPE FEATURES AND PRACTICES THAT INCREASE ONSITE RAINWATER CAPTURE, STORAGE AND INFILTRATION, EMPHASIZING NATURAL APPROACHES OVER TECHNOLOGY-BASED APPROACHES THAT REQUIRE ONGOING MAINTENANCE, SHALL BE CONSIDERED DURING PROJECT DESIGN. PLANS AND PRACTICES SHALL COMPLY WITH CHAPTER 8.44.
- D. IRRIGATION SYSTEMS.
- 1. AN AUTOMATIC IRRIGATION SYSTEM USING EITHER EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA, WITH A RAIN SHUT-OFF SENSOR, SHALL BE INSTALLED. DRIP IRRIGATION EMITTERS SHALL EMIT NO MORE THAN TWO (2) GALLONS PER HOUR.
 - 2. AN AVERAGE LANDSCAPE IRRIGATION EFFICIENCY OF 0.71 SHALL BE USED FOR THE PURPOSE OF DETERMINING MAXIMUM APPLIED WATER ALLOWANCE. IRRIGATION SYSTEMS SHALL BE DESIGNED, MAINTAINED, AND MANAGED TO MEET OR EXCEED THIS EFFICIENCY. LANDSCAPES USING RECYCLED WATER ARE CONSIDERED SPECIAL LANDSCAPE AREAS, WHERE THE ET ADJUSTMENT FACTOR SHALL NOT EXCEED 1.0.
 - 3. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT WATER WASTE RESULTING IN RUNOFF, OVERSPRAY, OR SIMILAR CONDITIONS WHERE IRRIGATION WATER PONDS OR FLOWS ONTO NON-IRRIGATED AREAS, WALKWAYS, SIDEWALKS, STREETS, ALLEYS, GUTTERS, STORM DRAINS, ADJACENT PROPERTY, OR SIMILAR UNTARGETED AREAS. RUNOFF TO OTHER PERMEABLE OR IMPERMEABLE SURFACES SHALL NOT BE ALLOWED.
 - 4. NARROW OR IRREGULARLY SHAPED AREAS, INCLUDING TURF LESS THAN EIGHT (8) FEET IN WIDTH IN ANY DIRECTION, SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR LOW VOLUME ABOVE-GROUND IRRIGATION SYSTEM.
 - 5. OVERHEAD IRRIGATION SHALL NOT BE PERMITTED WITHIN TWO (2) FEET OF ANY IMPERMEABLE SURFACE. DRIP, DRIP LINE, OR OTHER LOW FLOW NON-SPRAY TECHNOLOGY SHALL BE USED.
 - 6. ALL SPRINKLERS SHALL HAVE MATCHED PRECIPITATION RATES WITHIN EACH VALVE AND CIRCUIT. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO INCLUDE OPTIMUM DISTRIBUTION UNIFORMITY, HEAD TO HEAD SPACING, AND SETBACKS FROM SIDEWALKS, PAVEMENT AND IMPERMEABLE SURFACES.
 - 7. ALL IRRIGATION SYSTEMS SHALL PROVIDE BACKFLOW PREVENTION DEVICES IN ACCORDANCE WITH THE CURRENT EDITION OF THE CALIFORNIA BUILDING/PLUMBING CODE AND CHECK VALVES AT THE LOW END OF IRRIGATION LINES TO PREVENT UNWANTED DRAINING OF IRRIGATION LINES. PRESSURE REGULATORS MAY BE REQUIRED IF THE PRESSURE AT THE SPRINKLER HEAD EXCEEDS THE MANUFACTURER'S RECOMMENDED OPTIMAL OPERATING PRESSURE.
 - 8. RECLAIMED WATER AND GRAYWATER IRRIGATION SYSTEMS SHALL BE USED WHEN REASONABLY FEASIBLE AND SHALL CONFORM TO THE CURRENT EDITION OF THE CALIFORNIA BUILDING/PLUMBING CODE, AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL LAWS.
- E. IRRIGATION SYSTEM HYDROZONES.
- 1. THE IRRIGATION SYSTEM SHALL CONFORM TO THE HYDROZONES OF THE LANDSCAPE DESIGN PLAN.
 - 2. EACH HYDROZONE SHALL HAVE PLANT MATERIALS WITH SIMILAR WATER USE, WITH THE EXCEPTION OF HYDROZONES WITH PLANTS OF MIXED WATER USE WHERE THE PLANT FACTOR OF THE HIGHER WATER USING PLANT IS USED FOR CALCULATIONS. NO HYDROZONE SHALL MIX HIGH AND LOW WATER USE PLANTS.
 - 3. SPRINKLER HEADS AND OTHER EMISSION DEVICES SHALL BE APPROPRIATE FOR THE PLANT TYPE WITHIN THAT HYDROZONE. WHERE FEASIBLE, TREES SHALL BE PLACED ON SEPARATE VALVES FROM TURF, SHRUBS AND GROUNDCOVERS.
 - 4. NO LANDSCAPE PLAN OR RESTRICTION OF ANY TYPE, INCLUDING THOSE APPLICABLE TO COMMON INTEREST DEVELOPMENTS SUCH AS CONDOMINIUMS, SHALL PROHIBIT OR INCLUDE CONDITIONS THAT HAVE THE EFFECT OF PROHIBITING NATIVE OR WATER CONSERVING PLANTS.
- F. LANDSCAPE AND IRRIGATION MAINTENANCE.
- 1. ALL LANDSCAPE AND RELATED ELEMENTS SHALL BE DESIGNED AND PROPERLY MAINTAINED TO INSURE LONG-TERM HEALTH AND SHALL MAINTAIN CONFORMANCE WITH THE REQUIREMENTS OF THIS CHAPTER.
 - 2. IRRIGATION SCHEDULING SHALL BE REGULATED BY AUTOMATIC IRRIGATION CONTROLLERS.
 - 3. WATERING HOURS AND DURATION SHALL BE SCHEDULED COMPLIANT WITH THE REQUIREMENTS OF CHAPTER 8.56.
 - 4. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE, BUT NOT BE LIMITED TO, ROUTINE INSPECTION, ADJUSTMENT AND REPAIR OF THE IRRIGATION SYSTEM, AERATING AND DETHATCHING TURF AREAS, REPLENISHING MULCH, FERTILIZING, PRUNING, WEEDING AND REMOVING ANY OBSTRUCTION TO EMISSION DEVICES.
 - 5. REPAIR OF ALL IRRIGATION EQUIPMENT SHALL BE PROMPTLY UNDERTAKEN, USING THE ORIGINALLY INSTALLED COMPONENTS, OR EQUIVALENT OR ENHANCED COMPONENTS COMPATIBLE WITH THE IRRIGATION SYSTEM.
 - 6. LANDSCAPE AREAS SHALL BE PERMANENTLY MAINTAINED AND KEPT FREE OF WEEDS, DEBRIS AND LITTER; PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION AND DISEASED OR DEAD PLANT MATERIALS SHALL BE REPLACED, IN KIND, PURSUANT TO THE APPROVED PLANS WITHIN THIRTY (30) DAYS. ALTERNATIVELY, DISEASED OR DEAD PLANT MATERIALS MAY BE REPLACED WITH PLANT MATERIALS THAT HAVE LOW WATER NEEDS, AS RATED IN THE CURRENT EDITION OF THE WATER USE CLASSIFICATION OF LANDSCAPE SPECIES.
 - 7. THE USE, STORAGE AND DISPOSAL OF ALL LANDSCAPE AND LAWN CARE PRODUCTS SHALL COMPLY WITH ALL MANUFACTURER'S SPECIFICATIONS AND APPLICABLE LAWS, AND MINIMIZE THE DISCHARGE OF POLLUTANTS TO THE ENVIRONMENT.
- G. NOTWITHSTANDING THE REQUIREMENTS OF THIS SECTION, LANDSCAPE DESIGN AND MAINTENANCE SHALL ADDITIONALLY COMPLY WITH THE REQUIREMENTS OF CHAPTERS 8.44 AND 8.56, TITLE 17 (ZONING), ANY OTHER APPLICABLE PROVISIONS OF THIS CODE, AND THE REQUIREMENTS OF A DEVELOPMENT PERMIT, WHICHEVER IS MORE RESTRICTIVE.

8.56. 070 WATER CONSERVATION REQUIREMENTS.

- THE FOLLOWING WATER CONSERVATION REQUIREMENTS SHALL APPLY TO ALL PERSONS:
- A. LANDSCAPING.
- 1. WATERING HOURS AND DURATION. NO LAWN OR LANDSCAPED AREA SHALL BE IRRIGATED OR WATERED BY ANY MEANS BETWEEN THE HOURS OF 9:00 A.M. AND 6:00 P.M. ON ANY DAY. ABOVE-GROUND SPRAY IRRIGATION OR WATERING SHALL NOT EXCEED FIFTEEN (15) MINUTES PER IRRIGATION STATION OR AREA. THIS PROVISION SHALL NOT APPLY TO DRIP IRRIGATION SYSTEMS, USE OF A HAND-HELD BUCKET OR SIMILAR CONTAINER, USE OF A HAND-HELD HOSE EQUIPPED WITH A POSITIVE ACTION QUICK-RELEASE SHUTOFF VALVE OR NOZZLE, IRRIGATION NECESSARY TO ESTABLISH NEWLY PLANTED LOW WATER USAGE PLANTS, OR WATER EXPENDED FOR LIMITED PERIODS OF TIME NECESSARY FOR IRRIGATION SYSTEM MAINTENANCE OR LEAK REPAIR.
 - 2. OVER-WATERING: NO LAWN OR LANDSCAPED AREA SHALL BE IRRIGATED OR WATERED TO THE POINT WHERE EXCESS WATER PONDS, SPRAYS OR RUNS OFF THE LAWN OR LANDSCAPED AREA ONTO ANY WALKWAYS, SIDEWALKS, DRIVEWAYS, STREETS, ALLEYS OR STORM DRAINS.
 - 3. IRRIGATION DURING RAINFALL: NO LAWN OR LANDSCAPED AREA SHALL BE IRRIGATED OR WATERED DURING RAINFALL OR WITHIN 24 HOURS AFTER MEASURABLE RAINFALL.
 - 4. LANDSCAPE MAINTENANCE: ALL LAWNS AND LANDSCAPING SHALL BE REGULARLY MAINTAINED TO REDUCE WATER USE BY SUCH METHODS AS AERATING, THATCHING AND MULCHING.
 - 5. LANDSCAPE IRRIGATION SYSTEM MAINTENANCE: LANDSCAPE IRRIGATION SYSTEMS SHALL BE REGULARLY INSPECTED, MAINTAINED AND REPAIRED TO ELIMINATE LEAKS, REMOVE OBSTRUCTIONS TO WATER EMISSION DEVICES AND ELIMINATE OVER SPRAYING.
- B. POOLS AND SPAS. NEW POOLS AND SPAS SHALL BE EQUIPPED WITH A COVER. NOT LATER THAN JULY 1, 2012, ALL EXISTING POOLS AND SPAS SHALL BE CONSTRUCTED, INSTALLED OR EQUIPPED WITH A COVER. POOLS AND SPAS SHALL BE COVERED OVERNIGHT AND DAILY WHEN USE IS CONCLUDED.
- C. WATER FOUNTAINS AND DECORATIVE WATER FEATURES. NO PERSON SHALL OPERATE A FOUNTAIN OR OTHER DECORATIVE WATER FEATURE THAT DOES NOT RECYCLE OR RE-CIRCULATE THE WATER UTILIZED BY THE DEVICE.
- D. CLEANING. NO PERSON SHALL USE WATER TO WASH OR CLEAN ANY SIDEWALKS, WALKWAYS, PATIOS, DRIVEWAYS, ALLEYS, PARKING OR SIMILAR AREAS, WHETHER PAVED OR UNPAVED; HOWEVER, USE OF WATER BROOMS OR PRESSURE WASHERS OR SIMILAR LOW FLOW TECHNOLOGY, OR WATER RECYCLING SYSTEMS TO CLEAN THESE SURFACES, IS PERMITTED. IN NO CASE SHALL SUCH WATER RUN OFF THE PROPERTY OR DRAIN ONTO ANY WALKWAYS, SIDEWALKS, STREETS, ALLEYS OR STORM DRAINS.
- E. CAR WASHING. NO PERSON SHALL USE WATER TO WASH OR CLEAN ANY MOTORIZED OR UN-MOTORIZED VEHICLE, INCLUDING, BUT NOT LIMITED TO, AN AUTOMOBILE, TRUCK, BOAT, VAN, BUS, MOTORCYCLE, TRAILER OR SIMILAR VEHICLE, EXCEPT BY USE OF A BUCKET OR SIMILAR CONTAINER OR A HAND-HELD HOSE EQUIPPED WITH A POSITIVE ACTION QUICK-RELEASE SHUTOFF VALVE OR NOZZLE. THIS SUBSECTION SHALL NOT APPLY TO ANY COMMERCIAL CAR WASHING FACILITY THAT USES A WATER RECYCLING SYSTEM TO CAPTURE OR REUSE WATER.
- F. WASTE AND LEAKS. NO PERSON SHALL:
- 1. CAUSE, PERMIT OR ALLOW WATER TO LEAK FROM ANY EXTERIOR OR INTERIOR PIPE, HOSE OR PLUMBING FIXTURE.
 - 2. CAUSE, PERMIT OR ALLOW WATER TO FLOW FROM ANY SOURCE ON PRIVATE OR PUBLIC PROPERTY ONTO WALKWAYS, SIDEWALKS, STREETS, ALLEYS OR STORM DRAINS, EXCEPT AS A RESULT OF RAINFALL OR PUMPING EXCESSIVE GROUNDWATER INFILTRATION, SUCH AS BY MEANS OF A SUMP PUMP.
 - 3. THE USE OF WATER FOR CLEANING, WASHING AND OTHER USES SHALL BE PERFORMED IN AN EFFICIENT MANNER TO REDUCE WASTE AND TOTAL WATER USE.
- G. ALL COMMERCIAL ESTABLISHMENTS
- 1. SINGLE PASS COOLING SYSTEMS. SINGLE-PASS COOLING SYSTEMS SHALL NOT BE INSTALLED IN NEW COMMERCIAL BUILDINGS. WHEN SINGLE PASS COOLING SYSTEMS IN EXISTING BUSINESSES ARE REPLACED, SINGLE PASS COOLING SYSTEM SHALL NOT BE INSTALLED AS A REPLACEMENT.
 - 2. TOILETS. NEW COMMERCIAL ESTABLISHMENTS SHALL INSTALL AND USE ONLY WATER-EFFICIENT TOILETS. ALL EXISTING COMMERCIAL ESTABLISHMENTS SHALL INSTALL AND USE ONLY WATER-EFFICIENT TOILETS BY JANUARY 1, 2014.
- H. EATING AND DRINKING ESTABLISHMENTS. THE FOLLOWING PROVISIONS SHALL ALSO APPLY TO ALL RESTAURANTS, CAFES, SNACK SHOPS, BARS, OTHER EATING AND DRINKING ESTABLISHMENTS, AND FOOD CATERING BUSINESSES:
- 1. ALL ESTABLISHMENTS SHALL ONLY PROVIDE DRINKING WATER TO CUSTOMERS UPON REQUEST.
 - 2. ALL ESTABLISHMENTS SHALL INSTALL AND USE LOW-FLOW PRE-RINSE DISHWASHING SPRAY NOZZLES BY JULY 1, 2011.
 - 3. ALL ESTABLISHMENTS SHALL USE LOW-FLOW TECHNOLOGIES FOR WASHING AND CLEANING FLOORS AND SURFACES, SUCH AS USING A HAND-HELD BUCKET OR SIMILAR CONTAINER AND MOP, WATER BROOMS OR PRESSURE WASHERS.
 - 4. NEW ESTABLISHMENTS SHALL INSTALL AND USE WATER-EFFICIENT DISHWASHING MACHINES OR SYSTEMS. WHEN DISHWASHING MACHINES IN EXISTING BUSINESSES ARE REPLACED, WATER-EFFICIENT DISHWASHING MACHINES OR SYSTEMS SHALL BE INSTALLED. ALL EXISTING ESTABLISHMENTS SHALL INSTALL AND USE ONLY WATER-EFFICIENT DISHWASHING MACHINES OR SYSTEMS BY JANUARY 1, 2014.
- I. HOTELS AND MOTELS. THE FOLLOWING PROVISIONS SHALL APPLY TO ALL HOTELS, MOTELS, HOSTELS, BED AND BREAKFAST AND SIMILAR TEMPORARY ACCOMMODATION ESTABLISHMENTS:
- 1. ALL ESTABLISHMENTS SHALL PROVIDE CUSTOMERS THE OPTION OF CHOOSING NOT TO HAVE TOWELS AND LINENS LAUNDERED DAILY AND SHALL PROMINENTLY DISPLAY NOTICE OF THIS OPTION IN EACH BATHROOM AND SLEEPING ROOM USING CLEAR AND EASILY UNDERSTOOD LANGUAGE.
 - 2. ALL ESTABLISHMENTS THAT PROVIDE ON-PREMISES FACILITIES FOR LAUNDERING TOWELS OR LINENS SHALL COMPLY WITH SUBSECTION J OF THIS SECTION.
 - 3. ALL ESTABLISHMENTS THAT PROVIDE FOOD SERVICES SHALL COMPLY WITH SUBSECTION H OF THIS SECTION.
- J. LAUNDRY BUSINESSES. NEW COMMERCIAL LAUNDRY BUSINESSES SHALL INSTALL AND USE WATER RECYCLING SYSTEMS. WHEN WASHING MACHINES IN EXISTING BUSINESSES ARE REPLACED, WATER-EFFICIENT LAUNDRY WASHING OR WATER RECYCLING SYSTEMS SHALL BE INSTALLED. ALL EXISTING LAUNDRY BUSINESSES SHALL INSTALL AND USE ONLY WATER-EFFICIENT LAUNDRY WASHING MACHINES OR WATER RECYCLING SYSTEMS BY JANUARY 1, 2014.
- K. COMMERCIAL CAR WASH FACILITIES. NEW COMMERCIAL CONVEYOR-TYPE CAR WASH FACILITIES SHALL INSTALL WATER RECYCLING SYSTEMS. ALL EXISTING CONVEYOR CAR WASH SYSTEMS SHALL INSTALL AND OPERATE ONLY WATER RECYCLING SYSTEMS BY JANUARY 1, 2012. ALL EXISTING COMMERCIAL CAR WASH OPERATIONS, INCLUDING THOSE ACCESSORY TO ANOTHER USE, SHALL USE HIGH PRESSURE, LOW VOLUME WASH SYSTEMS, BUCKET OR SIMILAR CONTAINER, AND/OR A HAND-HELD HOSE EQUIPPED WITH A POSITIVE ACTION QUICK-RELEASE SHUTOFF VALVE OR NOZZLE, OR SIMILAR LOW-FLOW DEVICE BY JANUARY 1, 2012.
- L. EXCEPTIONS. THE PROVISIONS OF THIS SECTION ARE NOT APPLICABLE TO USES OF WATER THAT ARE NECESSARY TO PROTECT PUBLIC HEALTH AND SAFETY OR FOR ESSENTIAL GOVERNMENTAL SERVICES WHEN SUCH USES OF WATER CANNOT BE REDUCED, SUCH AS FOR FIRE-FIGHTING AND OTHER SIMILAR EMERGENCY SERVICES.

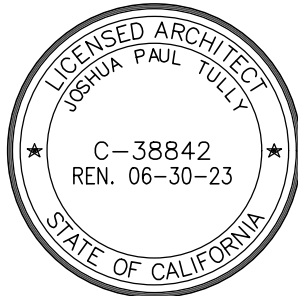
8.60. 070 STANDARDS FOR SMALL LANDSCAPE AREAS.

- "SMALL LANDSCAPE AREAS" AS DEFINED IN SECTION 8.60.040 ARE SUBJECT TO THE PROVISIONS IN THIS SECTION AND ARE OTHERWISE EXEMPT FROM THIS CHAPTER
- A. PROCEDURES. PRIOR TO ISSUANCE OF A PERMIT FOR CONSTRUCTION, THE APPLICANT SHALL PROVIDE INFORMATION SUBSTANTIATING COMPLIANCE WITH THIS SECTION TO THE SATISFACTION OF THE COMMUNITY DEVELOPMENT DIRECTOR. THE PLANNING COMMISSION MAY IMPOSE ADDITIONAL MEASURES OR CONDITIONS ON DISCRETIONARY PLANNING ENTITLEMENTS TO FURTHER THE PURPOSES OF THIS CHAPTER. NO BUILDING OR OTHER EQUIVALENT CONSTRUCTION PERMIT SHALL BE ISSUED A PERMANENT CERTIFICATE OF OCCUPANCY UNTIL THE COMMUNITY DEVELOPMENT DIRECTOR DETERMINES THE PROJECT COMPLIES WITH THE STANDARDS IN THIS SECTION. IN THE CASE OF ANY DECISION TO DENY A PERMIT ISSUANCE OR CERTIFICATE OF OCCUPANCY, THE APPLICANT MAY MODIFY AND RESUBMIT THE APPLICATION, APPLY FOR AN EXCEPTION FROM STANDARDS, OR APPEAL THE DECISION IN ACCORDANCE WITH SUBSECTIONS D OR E OF SECTION 8.60.050.
- B. STANDARDS. SMALL LANDSCAPE AREAS SHALL COMPLY WITH THE FOLLOWING STANDARDS. PROVISIONS THAT ARE ENCOURAGED BUT NOT REQUIRED ARE INDICATED WITH WORDS SUCH AS 'SHOULD.'
- 1. PLANT SPECIES AND LANDSCAPE DESIGN SHALL BE ADAPTED TO THE CLIMATE, SOILS, TOPOGRAPHICAL CONDITIONS, AND SHALL BE ABLE TO WITHSTAND EXPOSURE TO LOCALIZED URBAN CONDITIONS SUCH AS PAVEMENT HEAT RADIATION, VEHICLE EMISSIONS AND DUST, AND URBAN RUNOFF. WATER CONSERVING PLANT AND TURF SPECIES SHALL BE USED. WHERE PRACTICAL, SUCH AS IN AREAS EXCEEDING FOUR HUNDRED (400) SQUARE FEET OF CONTIGUOUS LANDSCAPE, PLANTINGS SHOULD BE ARRANGED BY HYDROZONES.
 - 2. PLANT SPECIES OR SPECIFICATIONS SHALL COMPLY WITH ANY OFFICIAL LIST OF SPECIES, GUIDELINES OR REGULATIONS ADOPTED BY THE CITY TO THE EXTENT THAT SUCH LISTS, GUIDELINES OR REGULATIONS DO NOT CONFLICT WITH THIS CHAPTER.
 - 3. PLANTS LISTED IN THE CURRENT INVASIVE PLANT INVENTORY FOR THE SOUTHWEST REGION BY THE CALIFORNIA INVASIVE PLANT COUNCIL OR SIMILAR RECOGNIZED AUTHORITY ACCEPTABLE TO THE COMMUNITY DEVELOPMENT DIRECTOR ARE PROHIBITED, EXCEPT FOR KNOWN NON-FRUITING, NON-INVASIVE, STERILE VARIETIES OR CULTIVARS. PLANTS KNOWN TO BE SUSCEPTIBLE TO DISEASE OR PESTS IN THIS CLIMATE ZONE SIX (6) SHOULD NOT BE PLANTED.
 - 4. THE LANDSCAPE AREA OF PROJECTS PROPOSING EXCLUSIVELY COMMERCIAL, INDUSTRIAL OR INSTITUTIONAL USES SHALL BE DESIGNED USING EXCLUSIVELY WATER CONSERVING PLANTS. TURF MAY BE USED AS A BIO-SWALE OR BIO-FILTER OR FOR FUNCTIONAL PURPOSES SUCH AS ACTIVE RECREATIONAL AREAS AS DETERMINED BY THE COMMUNITY DEVELOPMENT DIRECTOR. TURF SHALL NOT BE ALLOWED ON SLOPES GREATER THAN TWENTY (20) PERCENT. DECIDUOUS TREES SHOULD BE USED TO SHADE WEST AND SOUTH EXPOSURES.
 - 5. PLANTED AREAS SHALL BE COVERED WITH A MINIMUM OF TWO (2) INCHES OF ORGANIC MULCH, EXCEPT IN AREAS COVERED BY GROUNDCOVERS OR WITHIN TWENTY-FOUR (24) INCHES OF THE BASE OF A TREE, OR WHERE A REDUCED APPLICATION IS INDICATED. ADDITIONAL MULCH MATERIAL SHALL BE ADDED FROM TIME TO TIME AS NECESSARY TO MAINTAIN THE REQUIRED DEPTH OF MULCH.
 - 6. LANDSCAPING SHALL NOT INTERFERE WITH SAFE SIGHT DISTANCES FOR VEHICULAR TRAFFIC, THE VISION CLEARANCE IN SECTION 17.46.060, HEIGHT RESTRICTIONS FOR HEDGES IN 17.46.130, PEDESTRIAN OR BICYCLE WAYS, OR OVERHEAD UTILITY LINES OR LIGHTING.
 - 7. PLANS AND CONSTRUCTION SHALL PROTECT AGAINST SOIL COMPACTION WITHIN LANDSCAPE AREAS. STORMWATER BEST MANAGEMENT PRACTICES TO MINIMIZE RUNOFF, TO INCREASE ON-SITE RETENTION AND INFILTRATION, AND CONTROL POLLUTANTS SHALL BE INCORPORATED INTO PROJECT PLANS. RAIN GARDENS, CISTERNS, SWALES, STRUCTURAL SOIL, PERMEABLE PAVEMENT, CONNECTED LANDSCAPE AREAS, AND OTHER LANDSCAPE FEATURES AND PRACTICES THAT INCREASE ONSITE RAINWATER CAPTURE, STORAGE AND INFILTRATION, EMPHASIZING NATURAL APPROACHES OVER TECHNOLOGY-BASED APPROACHES, SHOULD BE CONSIDERED DURING PROJECT DESIGN. NO PLAN OR PRACTICE SHALL CONFLICT WITH CHAPTER 8.44.
 - 8. NO LANDSCAPE PLAN OR RESTRICTION OF ANY TYPE, INCLUDING THOSE APPLICABLE TO COMMON INTEREST DEVELOPMENTS SUCH AS CONDOMINIUMS, SHALL PROHIBIT OR INCLUDE CONDITIONS THAT HAVE THE EFFECT OF PROHIBITING NATIVE OR WATER CONSERVING PLANTS.
 - 9. WHEN IRRIGATION SYSTEMS ARE INSTALLED, AN AUTOMATIC IRRIGATION SYSTEM USING EITHER EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA, WITH A RAIN SHUT-OFF SENSOR, SHALL BE INSTALLED. DRIP IRRIGATION EMITTERS SHALL EMIT NO MORE THAN TWO (2) GALLONS PER HOUR. WATERING HOURS AND DURATION SHALL BE COMPLIANT WITH THE REQUIREMENTS OF CHAPTER 8.56.
 - 10. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO PREVENT WATER WASTE RESULTING IN RUNOFF, OVERSPRAY, OR SIMILAR CONDITIONS WHERE IRRIGATION WATER PONDS OR FLOWS ONTO NON-IRRIGATED AREAS, SIDEWALKS, WALKWAYS, STREETS, ALLEYS, STORM DRAINS, ADJACENT PROPERTY, OR SIMILAR UNTARGETED AREAS. RUNOFF TO OTHER PERMEABLE OR IMPERMEABLE SURFACES SHALL NOT BE ALLOWED.
 - 11. ALL LANDSCAPE AND RELATED ELEMENTS SHALL BE PROPERLY MAINTAINED TO INSURE LONG-TERM HEALTH AND SHALL ADDITIONALLY COMPLY WITH THE REQUIREMENTS OF CHAPTERS 8.44 AND 8.56, TITLE 17, ANY OTHER APPLICABLE PROVISIONS OF THIS CODE, AND THE REQUIREMENTS OF A DEVELOPMENT PERMIT, WHICHEVER IS MORE RESTRICTIVE. THE USE, STORAGE AND DISPOSAL OF ALL LAWN AND LANDSCAPE CARE PRODUCTS SHALL COMPLY WITH ALL MANUFACTURER SPECIFICATIONS AND APPLICABLE LAWS, AND MINIMIZE THE DISCHARGE OF POLLUTANTS TO THE ENVIRONMENT.

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PECK RESIDENCE

435 8th Street
Hermosa Beach, CA 90254

Project Name :

Project Address :

Revisions :

No.	Date	Description
12.01.2023		Planning Commission Submittal

Sheet Title :

LANDSCAPE & IRRIGATION NOTES

Assessor Parcel No.:	4187-014-011
Scale:	1/4" = 1'-0"
Issue Date:	11.01.2022
Drawn: JPT	Checked:

Sheet Number :

A-1.1a

CALIFORNIA GREEN BUILDING STANDARDS CODE – MATRIX ADOPTION TABLE
CHAPTER 3 – GREEN BUILDING

(Matrix Adoption Tables are non-regulatory, intended only as an aid to the user.
See Chapter 1 for state agency authority and building applications.)

Adopting agency	BSC		SFM		HCD		DSA		OSBPD		BSCC		DPH		AGR		DWR		CEC		CA		SL	
	1	2	1	2	1	2	1	2	1	2	1	2	1	2	1	2	1	2	1	2	1	2	1	2
Adopt entire CA chapter																								
Adopt entire chapter as amended (amended sections listed below)																								
Adopt only those sections that are listed below	X		X				X	X	X	X														
Chapter/Section																								
301	X		X				X	X	X	X														
301.1			X				X																	
301.1.1			X				X																	
301.2			X																					
301.3	X																							
301.3.1																								
302	X		X				X	X	X	X														
303	X		X				X	X	X	X														
304	X		X				X	X	X	X														
305																								
306							X																	

CHAPTER 3
GREEN BUILDING

SECTION 301
GENERAL

301.1 Scope. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.

Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.

301.2 Low-rise and high-rise residential buildings. [HCD] The provisions of individual sections of *CALGreen* may apply

to either low-rise residential buildings, high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.

301.3 Nonresidential additions and alterations. [BSC] The provisions of individual sections of Chapter 5 apply to newly constructed buildings, building additions of 1,000 square feet or greater, and/or building alterations with a permit valuation of \$200,000 or above (for occupancies within the authority of California Building Standards Commission). Code sections relevant to additions and alterations shall only apply to the portions of the building being added or altered within the scope of the permitted work.

A code section will be designated by a banner to indicate where the code section only applies to newly constructed buildings [N] or to additions and/or alterations [A]. When the code section applies to both, no banner will be used.

301.3.1 Nonresidential additions and alterations that cause updates to plumbing fixtures only:

Note: On and after January 1, 2014, certain commercial real property, as defined in Civil Code Section 1101.3, shall have its noncompliant plumbing fixtures replaced with appropriate water-conserving plumbing fixtures under specific circumstances. See Civil Code Section 1101.1 et seq. for definitions, types of commercial real property affected,

CALIFORNIA GREEN BUILDING STANDARDS CODE – MATRIX ADOPTION TABLE
CHAPTER 4 – RESIDENTIAL MANDATORY MEASURES

(Matrix Adoption Tables are non-regulatory, intended only as an aid to the user.
See Chapter 1 for state agency authority and building applications.)

Adopting agency	BSC		SFM		HCD		DSA		OSBPD		BSCC		DPH		AGR		DWR		CEC		CA		SL	
	1	2	1	2	1	2	1	2	1	2	1	2	1	2	1	2	1	2	1	2	1	2	1	2
Adopt entire CA chapter																								
Adopt entire chapter as amended (amended sections listed below)																								
Adopt only those sections that are listed below					X																			
Chapter/Section																								
4.1					X																			
4.2					†																			
4.3					X																			
4.4					X																			
4.5					X																			

The state agency does not adopt sections identified by the following symbol: †.

CHAPTER 4
RESIDENTIAL MANDATORY MEASURES

Division 4.1 – PLANNING AND DESIGN

SECTION 4.101
GENERAL

4.101.1 Scope. The provisions of this division outline planning, design and development methods that include environmentally responsible site selection, building design, building siting and development to protect, restore and enhance the environmental quality of the site and respect the integrity of adjacent properties.

SECTION 4.102
DEFINITIONS

4.102.1 Definitions. The following terms are defined in Chapter 2.

FRENCH DRAIN.

WATTTLES.

SECTION 4.103
SITE SELECTION
(Reserved)

SECTION 4.104
SITE PRESERVATION
(Reserved)

SECTION 4.105
DECONSTRUCTION AND REUSE
OF EXISTING STRUCTURES
(Reserved)

2013 CALIFORNIA GREEN BUILDING STANDARDS CODE JULY 1, 2013 SUPPLEMENT BLUE

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RESIDENTIAL MANDATORY MEASURES

- French drains
- Water retention gardens
- Other water measures which keep surface water away from buildings and aid in groundwater recharge.

Exception: Additions and alterations not altering the drainage path.

4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1 and 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the *California Electrical Code*, Article 625.

Exceptions: On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions:

- Where there is no commercial power supply.
- Where there is evidence substantiating that meeting the requirements will alter the local utility infrastructure design requirements on the utility side of the meter so as to increase the utility side cost to the homeowner or the developer by more than \$400.00 per dwelling unit.

4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

4.106.4.2 New multifamily dwellings. Where 17 or more multifamily dwelling units are constructed on a building site, 3 percent of the total number of parking spaces provided for all types of parking facilities, but in no case less than one, shall be electric vehicle charging stations (EVCS) capable of supporting future EVSE and shall be identified on construction documents. Calculations for the number of EVCS shall be rounded up to the nearest whole number.

Note: Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. There is no requirement for EVCS to be constructed or available until EV chargers are installed for use.

4.106.4.2.1 Electric vehicle charging station (EVCS) locations. Construction documents shall indicate the location of proposed EVCS. At least one EVCS shall be

located in common use areas and available for use by all residents.

When EV chargers are installed, EVCS required by Section 4.106.2.2, Item 3, shall comply with at least one of the following options:

- The EVCS shall be located adjacent to an accessible parking space meeting the requirements of the *California Building Code*, Chapter 11A, to allow use of the EV charger from the accessible parking space.
- The EVCS shall be located on an accessible route, as defined in the *California Building Code*, Chapter 2, to the building.

4.106.4.2.2 Electric vehicle charging station (EVCS) dimensions and slope. The EVCS shall be designed to comply with the following:

- The minimum length of each EVCS shall be 18 feet (5486 mm).
- The minimum width of each EVCS shall be 9 feet (2743 mm).
- One in every 25 EVCS, but not less than one EVCS, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EVCS is 12 feet (3658 mm).
 - Surface slope for this EVCS and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.

4.106.4.2.3 Single EVCS required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EVCS. Construction documents shall identify the raceway termination point. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch-circuit overcurrent protective device.

4.106.4.2.4 Multiple EVCS required. Construction documents shall indicate the raceway termination point and proposed location of future EVCS and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway methods, wiring schematics and electrical load calculations to verify that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EVCS at the full rated amperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.

4.106.4.2.5 Identification. The service panel or subpanel circuit directory shall identify the overcurrent

RESIDENTIAL MANDATORY MEASURES

protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the *California Electrical Code*.

Notes:

- The California Department of Transportation adopts and publishes the "California Manual on Uniform Traffic Control Devices (California MUTCD)" to provide uniform standards and specifications for all official traffic control devices in California. Zero Emission Vehicle Signs and Pavement Markings can be found in the New Policies & Directives Number 13-01. Website: www.dot.ca.gov/hq/traffops/signtech/signals/policy.htm
- See Vehicle Code Section 22511 for EV charging space signage in off-street parking facilities and for use of EV charging spaces.
- The Governor's Office of Planning and Research (OPR) published a "Zero-Emission Vehicle Community Readiness Guidebook" which provides helpful information for local governments, residents and businesses. Website: http://opr.ca.gov/docs/ZEVE_Guidebook.pdf
- The Governor's Office of Planning and Research (OPR) has developed draft guidelines, "Plug-In Electric Vehicles: Universal Charging Access Guidelines and Best Practices", addressing physical accessibility standards and design guidelines for EVs. Website: http://opr.ca.gov/docs/PEV_Access_Guidelines.pdf

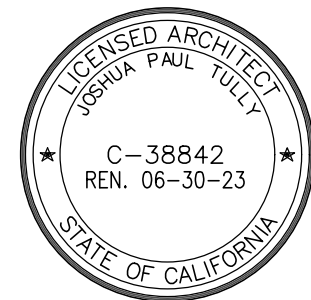
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20.1

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PECK RESIDENCE

435 8th Street
Hermosa Beach, CA 90254

Project Name :

Project Address :

Revisions :

No.	Date	Description
12.01.2023		Planning Commission Submittal

Sheet Title :

GREEN BLDG
NOTES

Assessor Parcel No: 4187-014-011

Scale: 1/4" = 1'-0"

Issue Date: 11.01.2022

Drawn: JPT Checked:

Sheet Number :

A-1.1b

TABLE 4.504.1
ADHESIVE VOC LIMIT^{1,2}
Less Water and Less Exempt Compounds in Grams per Liter

ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
Indoor carpet adhesives	50
Carpet pad adhesives	50
Outdoor carpet adhesive	150
Wood flooring adhesive	100
Rubber floor adhesives	60
Subfloor adhesives	50
Ceramic tile adhesives	65
VCT and asphalt tile adhesives	50
Drywall and panel adhesives	50
Cove base adhesives	50
Multipurpose construction adhesives	70
Structural glazing adhesives	100
Single-ply roof membrane adhesives	250
Other adhesives not specifically listed	50
SPECIALTY APPLICATIONS	
PVC welding	510
CPVC welding	490
ABS welding	325
Plastic cement welding	250
Adhesive primer for plastic	550
Contact adhesive	80
Special purpose contact adhesive	250
Structural wood member adhesive	140
Top and trim adhesive	250
SUBSTRATE SPECIFIC APPLICATIONS	
Metal to metal	30
Plastic foams	50
Porous material (except wood)	50
Wood	30
Fiberglass	80

1. If an adhesive is used to bond dissimilar substrates together, the adhesive with the highest VOC content shall be allowed.
2. For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule 1108.

TABLE 4.504.2
SEALANT VOC LIMIT
Less Water and Less Exempt Compounds in Grams per Liter

SEALANTS	CURRENT VOC LIMIT
Architectural	250
Marine deck	760
Nonmembrane roof	300
Roadway	250
Single-ply roof membrane	450
Other	420
SEALANT PRIMERS	
Architectural	
Nonporous	250
Porous	775
Modified bituminous	500
Marine deck	760
Other	750

TABLE 4.504.3
VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS^{3,2}
Grams of VOC per Liter of Coating,
Less Water and Less Exempt Compounds

COATING CATEGORY	
Flat coatings	50
Noofflat coatings	100
Noofflat high gloss coatings	150
SPECIALTY COATINGS	
Aluminum roof coatings	400
Basement specialty coatings	400
Bituminous roof coatings	50
Bituminous roof primers	350
Bond breakers	350
Concrete curing compounds	350
Concrete/masonry sealers	100
Driveway sealers	50
Dry fog coatings	150
Faux finishing coatings	350
Fine reactive coatings	350
Floor coatings	100
Form release compounds	250
Graphic arts coatings (sign paints)	500
High temperature coatings	420
Industrial maintenance coatings	250
Low solids coatings ²	120
Magnesium cement coatings	450
Mastic texture coatings	100
Metallic pigmented coatings	500
Multisolve coatings	250
Protectant/wash primers	420
Primers, sealers, and undercoaters	100
Reactive penetrating sealers	350
Recycled coatings	250
Roof coatings	50
Rust preventative coatings	250
Shellacs	730
Clear	550
Opaque	550
Specialty primers, sealers and undercoaters	100
Stains	250
Stone consolidants	450
Swimming pool coatings	340
Traffic marking coatings	100
Tub-and-tile refinish coatings	420
Waterproofing membranes	250
Wood coatings	275
Wood preservatives	350
Zinc-rich primers	340

1. Grams of VOC per liter of coating, including water and including exempt compounds.
2. The specified limits remain in effect unless revised limits are listed in subsequent columns in the table.
3. Values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings Suggested Control Measure, February 1, 2006. More information is available from the Air Resources Board.

4.504.3 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following:

1. Carpet and Rug Institute's Green Label Plus Program.
2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350.)
3. NSF/ANSI 140 at the Gold level.
4. Scientific Certifications Systems Indoor Advantage™ Gold.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 Resilient flooring systems. Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall comply with one or more of the following:

1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program).
3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).

4.504.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5.

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

1. Product certifications and specifications.
2. Chain of custody certifications.
3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).

4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269 or European 636 S5 standards.

5. Other methods acceptable to the enforcing agency.

TABLE 4.504.5 FORMALDEHYDE LIMITS ¹ Maximum Formaldehyde Emissions in Parts per Million	
PRODUCT	CURRENT LIMIT
Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.05
Particleboard	0.09
Medium density fiberboard	0.11
Thin medium density fiberboard ²	0.13

1. Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measure for Composite Wood as tested in accordance with ASTM E 1333. For additional information, see *California Code of Regulations*, Title 17, Sections 93120 through 93120.12.
2. Thin medium density fiberboard has a maximum thickness of $\frac{1}{8}$ inch (3 mm).

SECTION 4.505 INTERIOR MOISTURE CONTROL

4.505.1 General. Buildings shall meet or exceed the provisions of the *California Building Standards Code*.

4.505.2 Concrete slab foundations. Concrete slab foundations required to have a vapor retarder by the *California Building Code*, Chapter 19 or concrete slab-on-ground floors required to have a vapor retarder by the *California Residential Code*, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:

1. A 4-inch-thick (101.6 mm) base of $\frac{1}{2}$ inch (12.7 mm) or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
2. Other equivalent methods approved by the enforcing agency.
3. A slab design specified by a licensed design professional.

4.505.3 Moisture content of building materials. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19-percent moisture content. Moisture content shall be verified in compliance with the following:

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece to be verified.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

SECTION 4.506 INDOOR AIR QUALITY AND EXHAUST

4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
 - a. Humidity controls shall be capable of adjustment between a relative humidity range of ≤ 50 percent to a maximum of 80 percent. A humidity control may utilize manual or automatic means of adjustment.
 - b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in).

Notes:

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower, or tub/shower combination.
2. Lighting integral to bathroom exhaust fans shall comply with the *California Energy Code*.

SECTION 4.507 ENVIRONMENTAL COMFORT

4.507.1 Reserved.

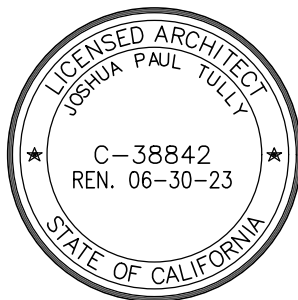
4.507.2 Heating and air-conditioning system design. Heating and air-conditioning systems shall be sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J—2004 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.

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Hermosa Beach, CA 90254

Project Name :

Project Address :

Revisions :

No.	Date	Description
12.01.2023		Planning Commission Submittal

Sheet Title :

GREEN BLDG
NOTES

Assessor Parcel No.: 4187-014-011

Scale: 1/4" = 1'-0"

Issue Date: 11.01.2022

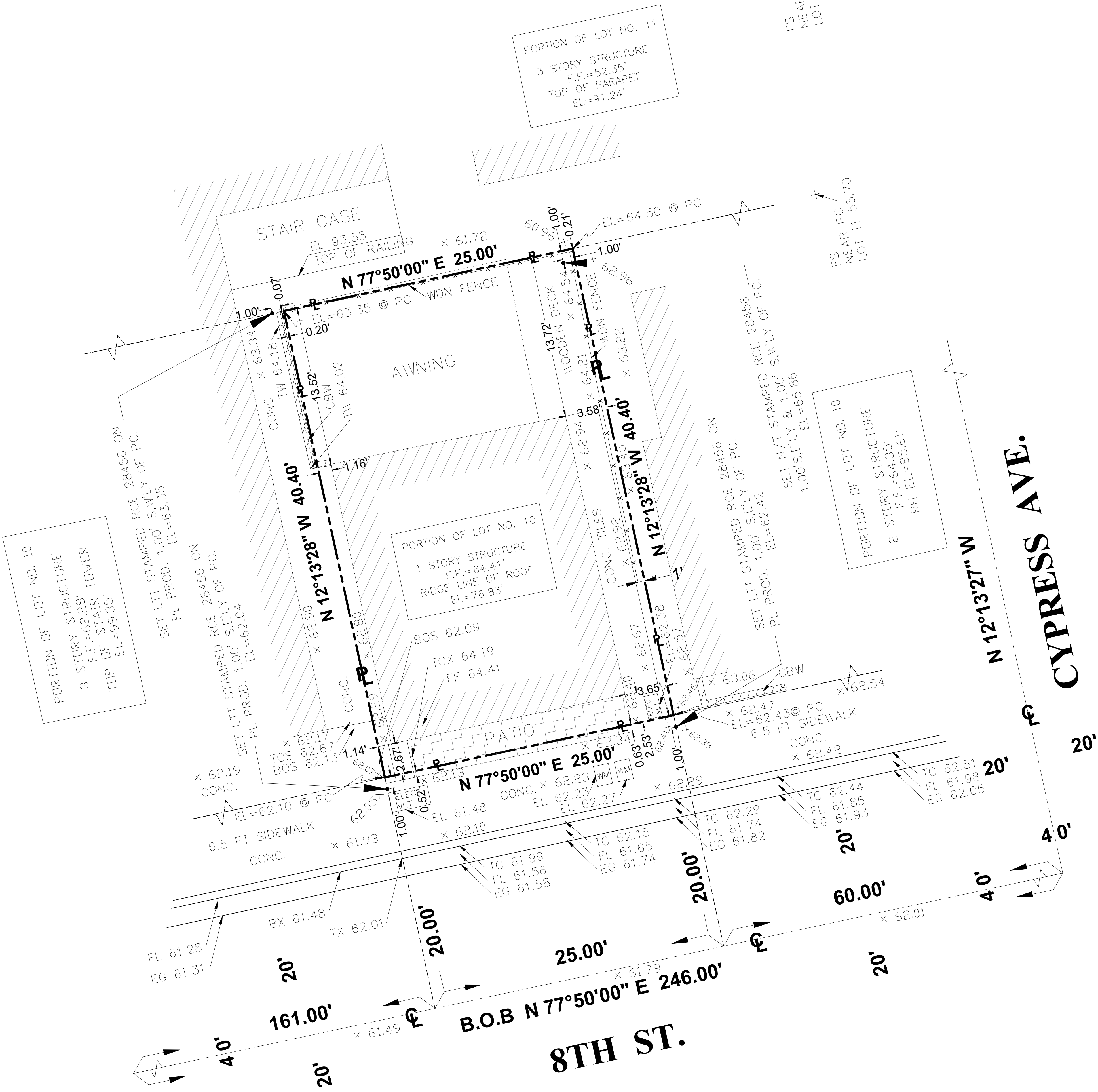
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Sheet Number :

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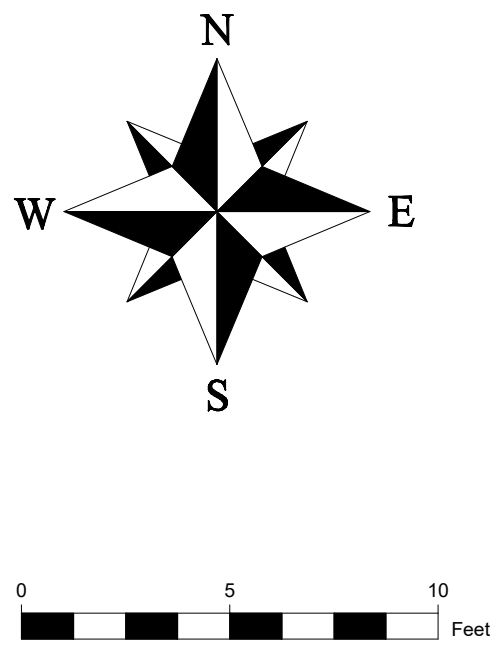
BASIS OF BEARINGS: B.O.B N 77°50'00" E LINE OF 8TH ST.
TRACT NO-1677, M.B. 20-184 AS FILED
IN THE RECORDS OF LOS ANGELES COUNTY

E.E.
LAND SURVEYING

PROJECT NOTES:
REVIEWED PRELIM TITLE REPORT REFERENCE NUMBER
9617-1Z, LAWYERS TITLE COMPANY, DATED FEBRUARY 5,
2020 AT 7:30 A.M.
NO EASEMENTS PER SAID DOCUMENT.

CLIENT:
SHAD PECK
PROJECT NO.
21-375
DATE:
12/22/21
ASSESSORS'S I.D. NUMBER:
APN:4187-014-011

LEGAL DESCRIPTION
THE SOUTHWEST 25 FEET OF THE NORTHEAST
65 FEET OF LOT 10 IN BLOCK B OF
TRACT NO. 1677 M.B 20-184



DATE OF REVISIONS:	#	ITEM

MAP ISSUE DATE: 12/22/21
DRAFTED BY: M.A.P.

LEGEND	
N	NORTH
S	SOUTH
E	EAST
W	WEST
LTT	LEAD, TACK & TAG
LT	LEAD & TACK
SW	SPIKE & WASHER
IP	IRON PIPE
PC	PROPERTY CORNER
PL	PROPERTY LINE
PROD.	PRODUCED
O/S	OFFSET
BM	BENCHMARK
BOW	BACK OF WALK
FW	FRONT OF WALK
FL	FLOW LINE
TC	TOP OF CURB
TX/BX	TOP/BOTTOM OF X
TW	TOP OF WALL
FF/FS	FINISHED FLOOR/SURFACE
T/BOS	TOP/BOTTOM OF STAIRS
GB	GRADE BREAK
TS/BS	TOP/BOTTOM OF SLOPE
EP	EDGE OF PAVEMENT
CLF	CHAIN LINK FENCE
FD	FOUND
CONC.	CONCRETE

BOUNDARY/TOPOGRAPHIC SURVEY

SITE ADDRESS:
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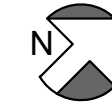
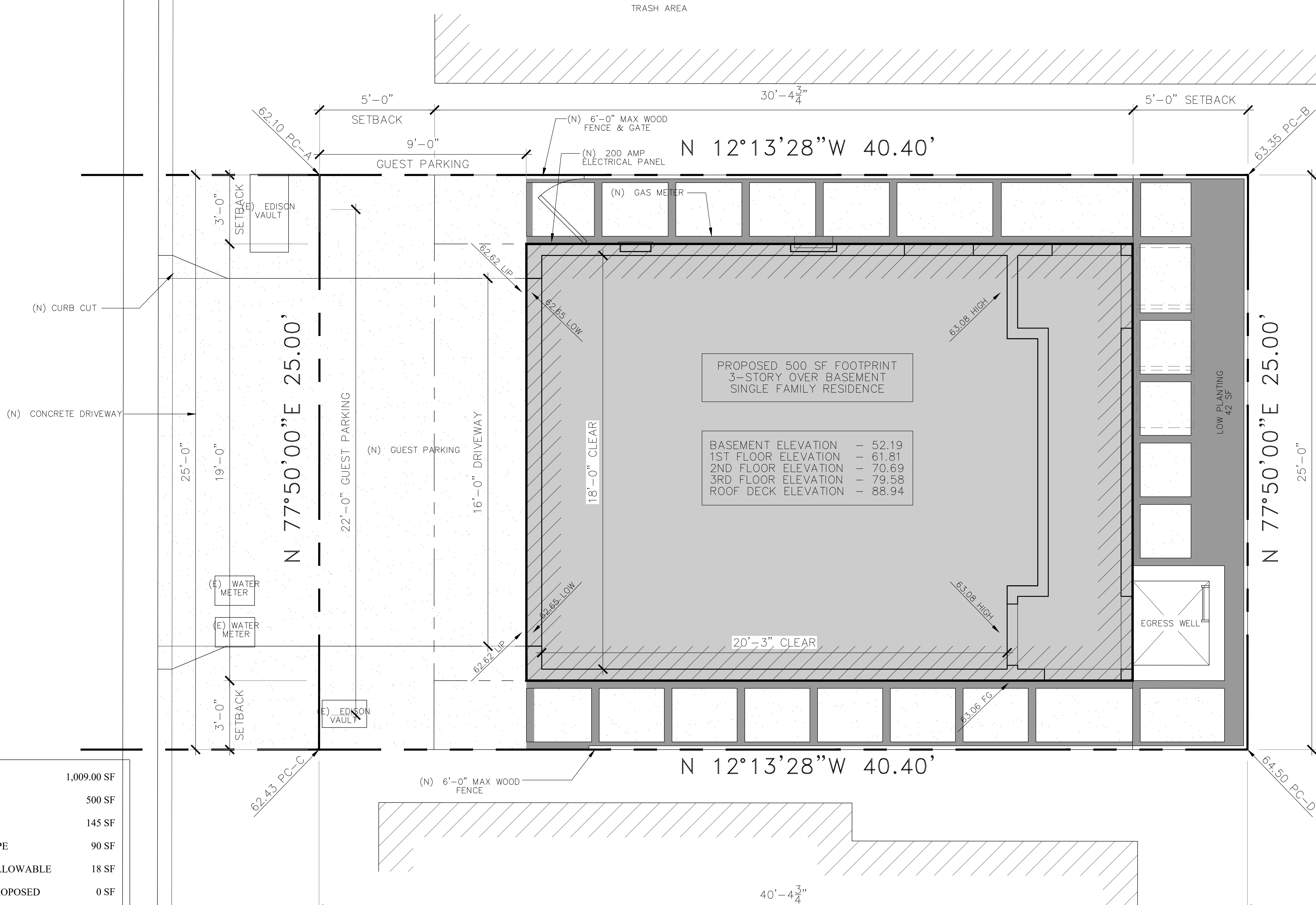


PREPARED BY:
EAGLE EYE LAND SURVEYING
1311 MANHATTAN BEACH BLVD.
#4 MANHATTAN BEACH CA, 90266
PHONE: 310.955.8901



8th STREET

LOT AREA	1,009.00 SF
BUILDING FOOTPRINT	500 SF
DRIVEWAY	145 SF
LANDSCAPE/HARDSCAPE	90 SF
HIGH WATER USAGE ALLOWABLE	18 SF
HIGH WATER USAGE PROPOSED	0 SF
HARDSCAPE	274 SF
PERMEABLE SURFACE	(52%) 143 SF



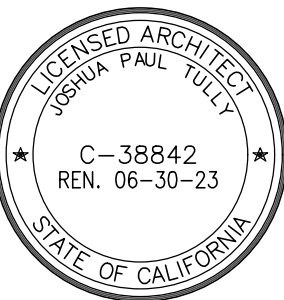
1

SITE PLAN
3/16"=1'-0"

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SITE PLAN

Assessor Parcel No: 4187-014-011

Scale: 3/16" = 1'-0"

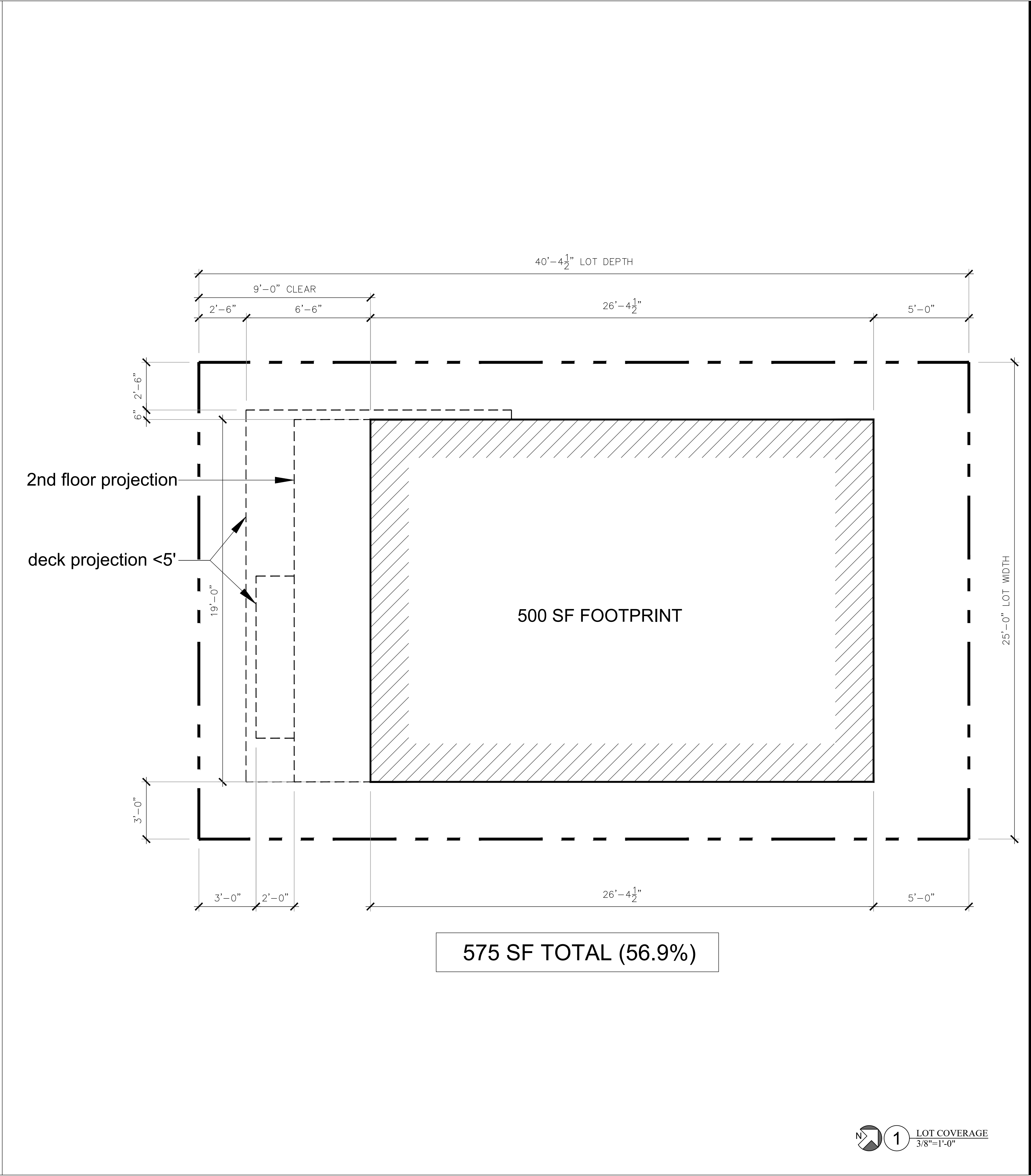
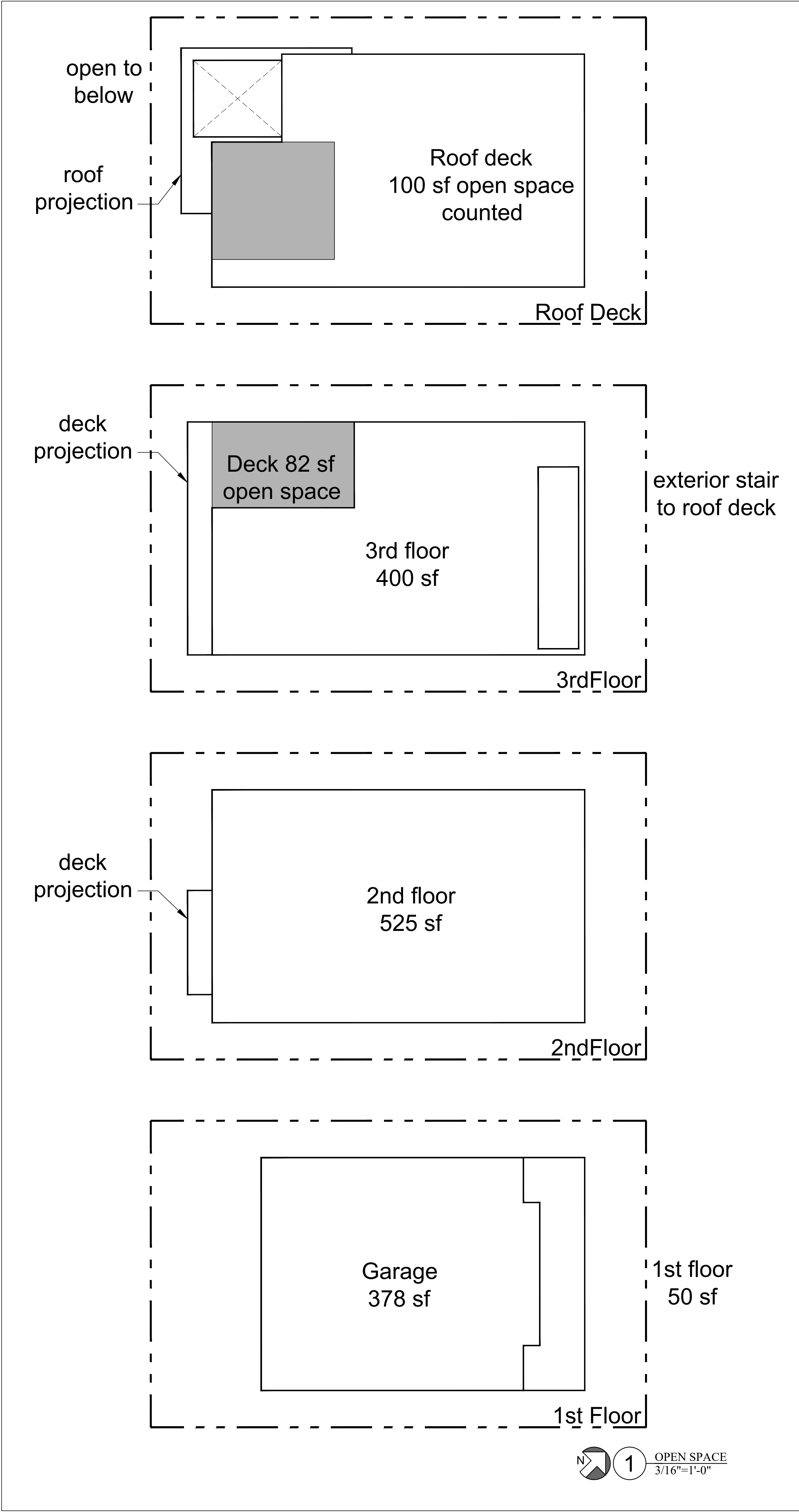
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Sheet Number :

A-1.4



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LICENSED ARCHITECT
JOSHUA PAUL TULLY
C-38842
REN. 06-30-23
STATE OF CALIFORNIA

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LOT
COVERAGE

Assessor Parcel No.: 4187-014-011

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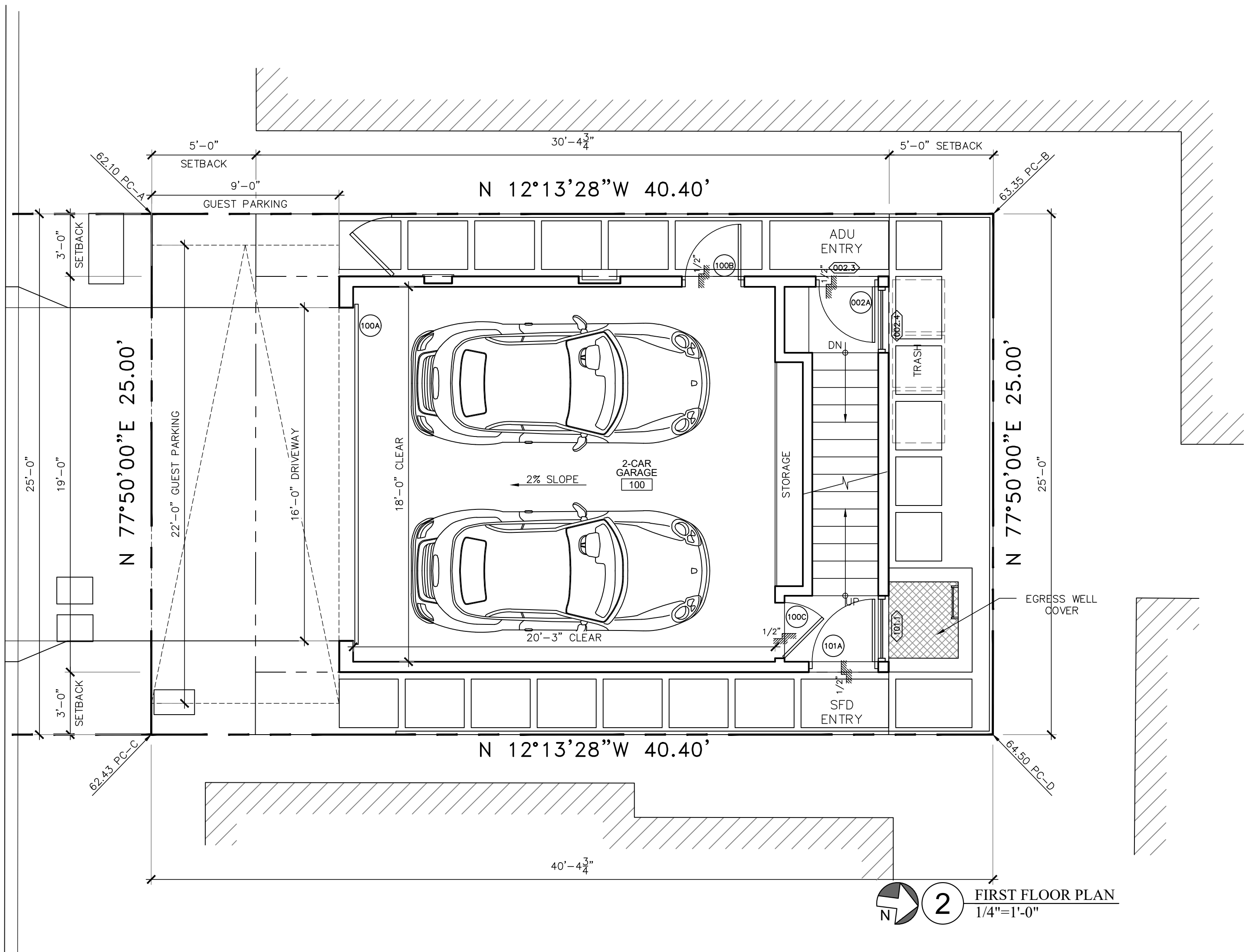
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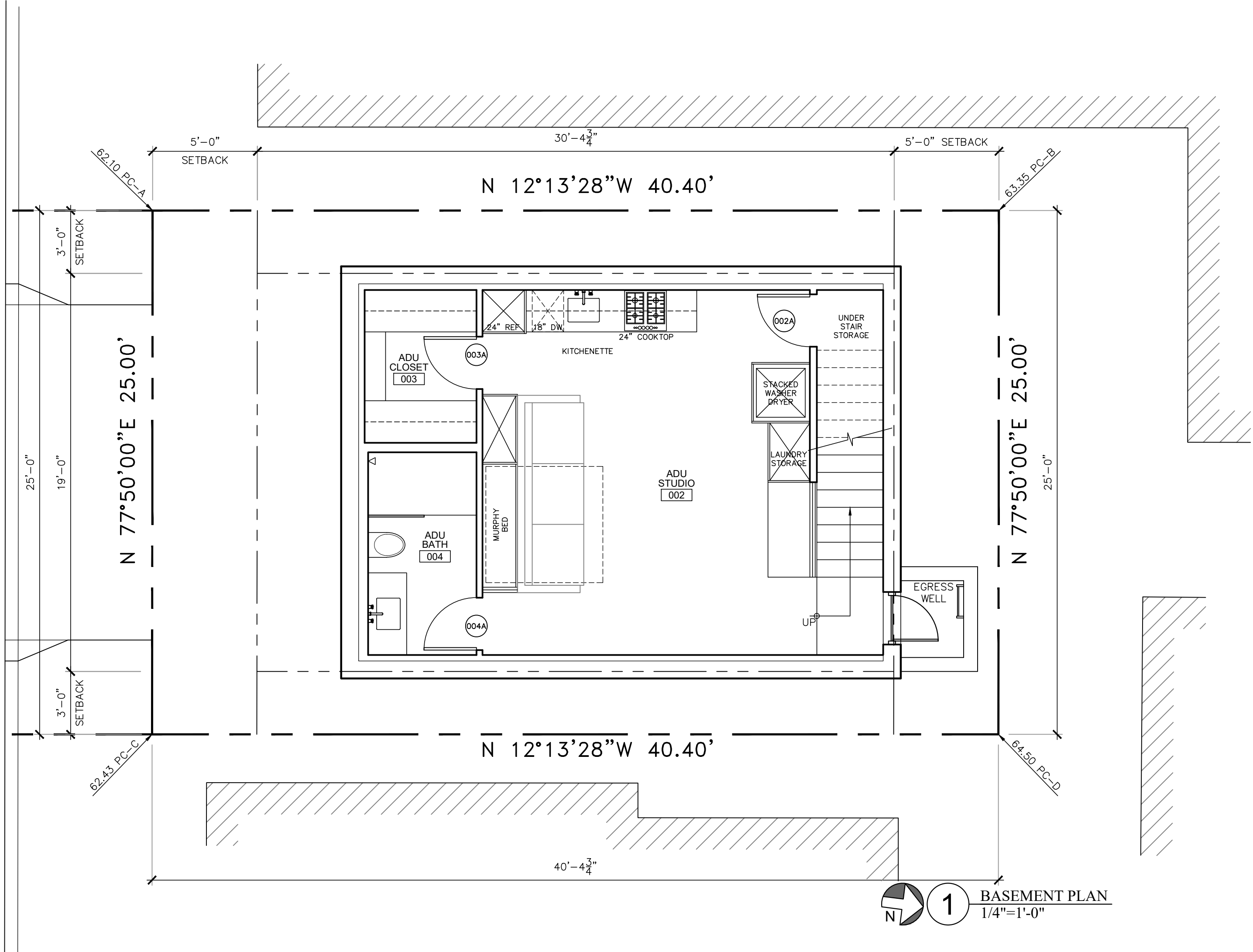
1/20/2024 4:47:33 PM

8th Street

8th Street



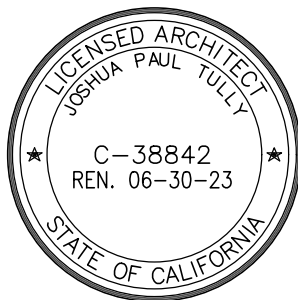
2 FIRST FLOOR PLAN
1/4"=1'-0"



1 BASEMENT PLAN
1/4"=1'-0"

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FLOOR
PLANS

Assessor Parcel No.: 4187-014-011

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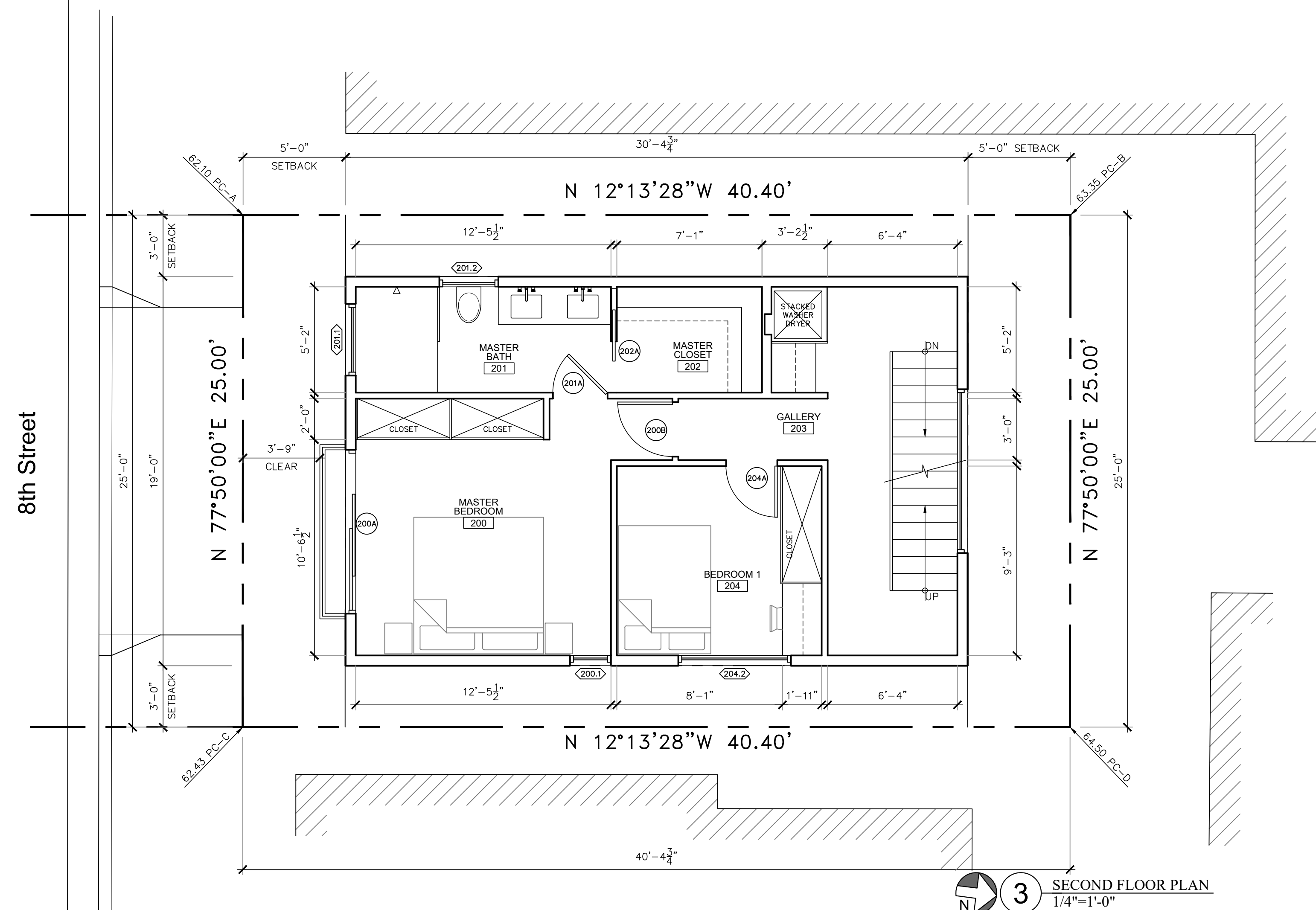
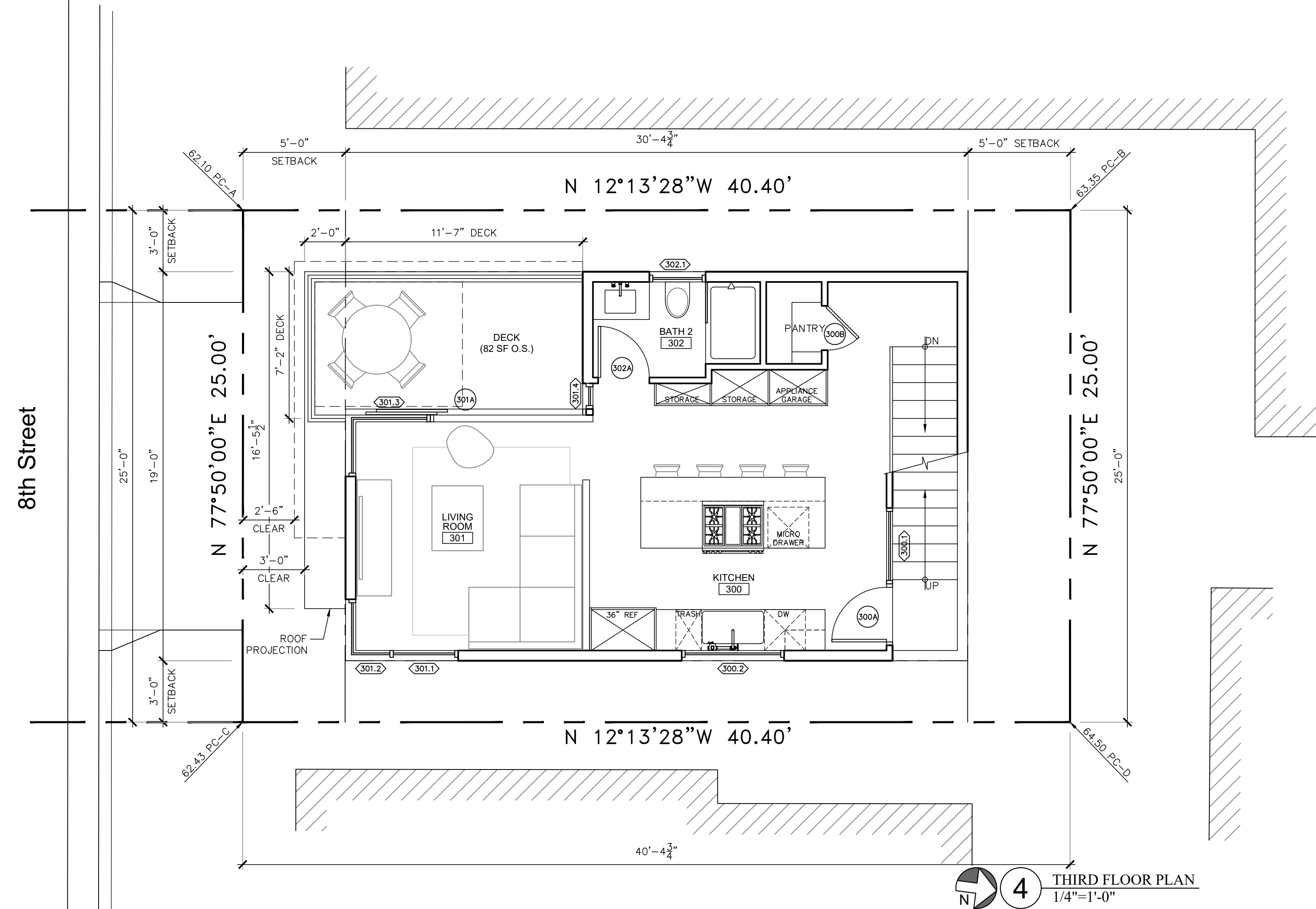
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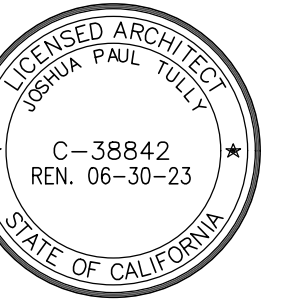
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FLOOR PLANS

Assessor Parcel No.: 4187-014-011

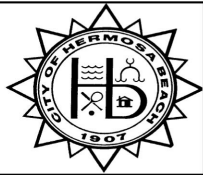
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Issue Date: 12.05.2023

Drawn: JPT Checked:

Sheet Number :

A-2.1



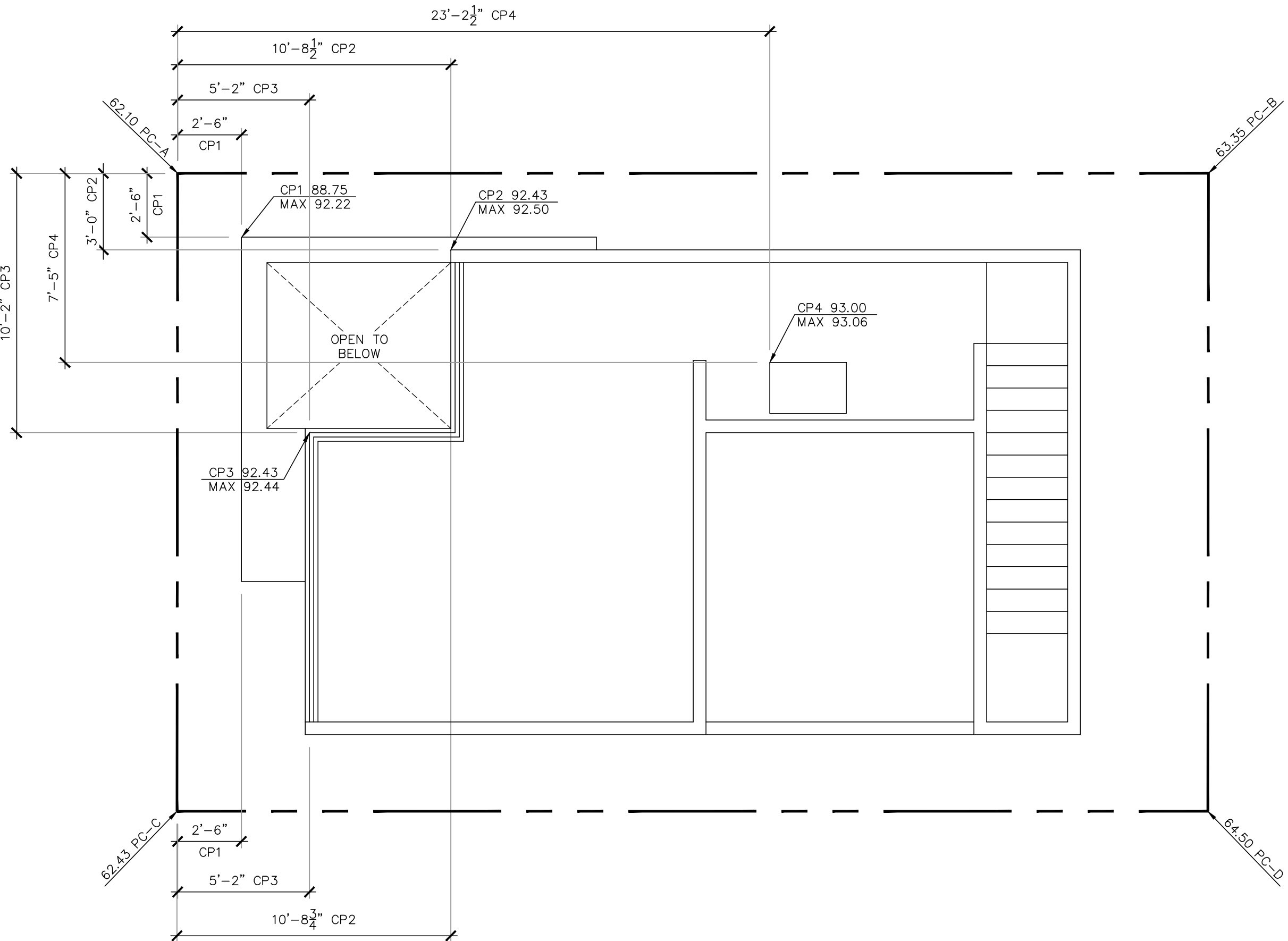
City of Hermosa Beach
Civic Center, 1315 Valley Drive, Hermosa Beach, California 90254-3885

Project Address: 435 8th St Date: 08.03.2022

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Elev. Pt. B	63.35	Elev. Pt. B	63.35
Length A-B	40.4	Length A-B	40.4
Length A-AB'	2.5	Length A-AB'	10.71
	Elev. AB': 62.1773515		Elev. AB': 62.4313738
Elev. Pt. C	62.43	Elev. Pt. C	62.43
Elev. Pt. D	64.5	Elev. Pt. D	64.5
Length C-D	40.4	Length C-D	40.4
Length C-CD'	2.5	Length C-CD'	10.73
	Elev. CD': 62.5580941		Elev. CD': 62.9797797
Length AB'-CD'	25	Length AB'-CD'	25
Length AB'-CP1	2.5	Length AB'-CP2	3
	Elev. CP1: 62.2154257		Elev. CP2: 62.4971825
Height Limit	30	Height Limit	30
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Proposed Ht @ CP1:	88.75	Proposed Ht @ CP2:	92.43

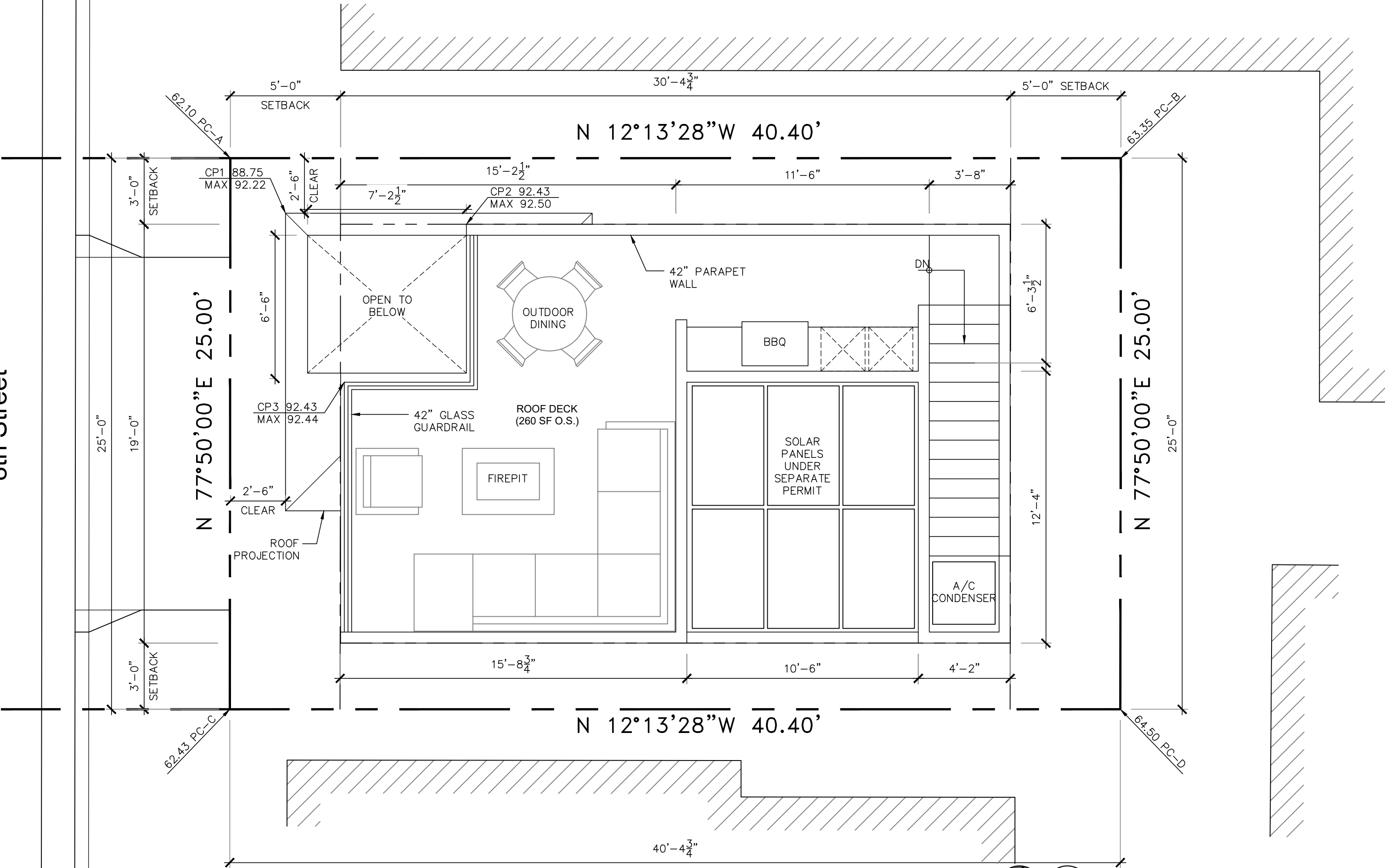
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Elev. Pt. B	63.35	Elev. Pt. B	63.35
Length A-B	40.4	Length A-B	40.4
Length A-AB'	5.16	Length A-AB'	23.2
	Elev. AB': 62.2596535		Elev. AB': 62.8178218
Elev. Pt. C	62.43	Elev. Pt. C	62.43
Elev. Pt. D	64.5	Elev. Pt. D	64.5
Length C-D	40.4	Length C-D	40.4
Length C-CD'	5.16	Length C-CD'	23.2
	Elev. CD': 62.6943861		Elev. CD': 63.6187129
Length AB'-CD'	25	Length AB'-CD'	25
Length AB'-CP3	10.16	Length AB'-CP3	7.42
	Elev. CP3: 62.4363288		Elev. CP3: 63.0555263
Height Limit	30	Height Limit	30
Max. Ht. @ CP3:	92.44	Max. Ht. @ CP4:	93.06
Proposed Ht @ CP3:	92.43	Proposed Ht @ CP4:	92.43

8th Street



6 CRITICAL POINTS
1/4"=1'-0"

8th Street

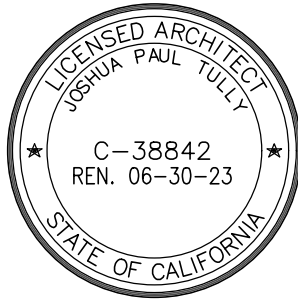


5 ROOF PLAN
1/4"=1'-0"

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ROOF
PLANS

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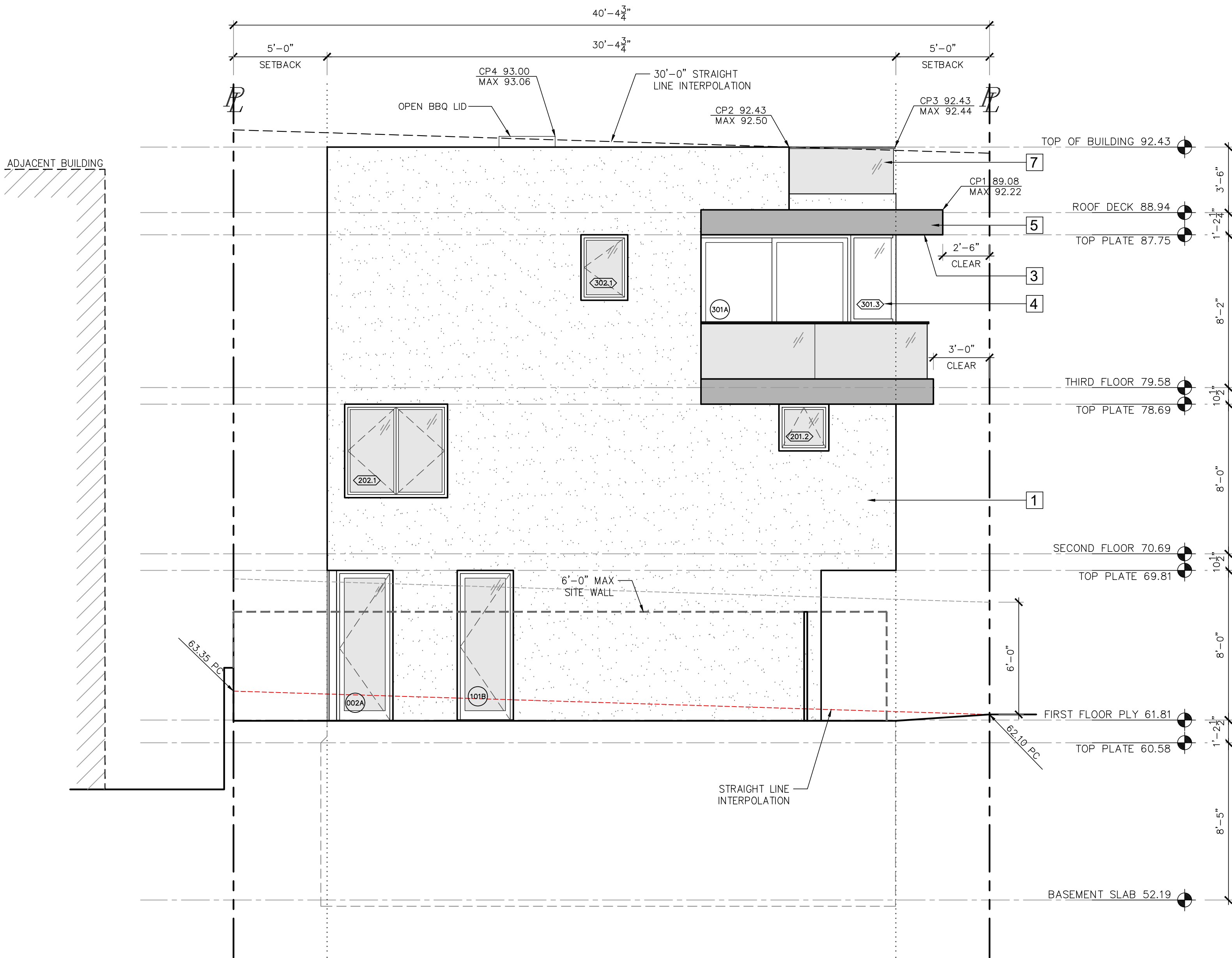
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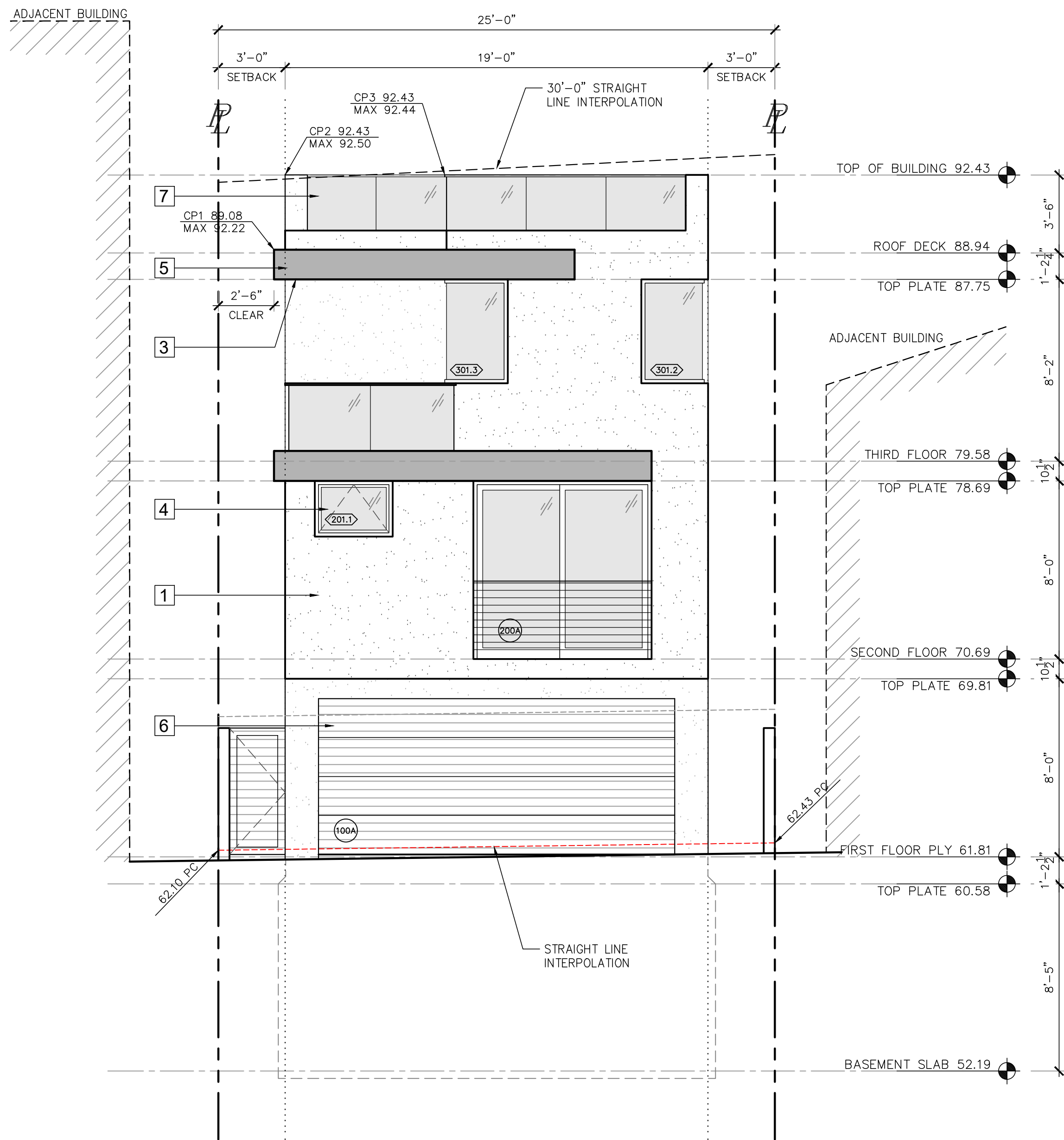
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Sheet Number :

A-2.2



1 WEST ELEVATION
1/4"=1'-0"



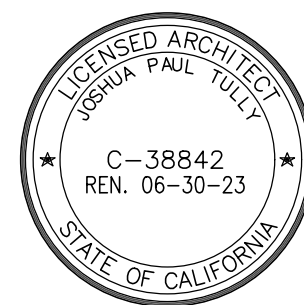
2 SOUTH ELEVATION
1/4"=1'-0"

ELEVATION KEYNOTES:	
1	SMOOTH STUCCO
2	BRICK/STONE VENEER
3	WOOD T&G EAVE
4	ALUMINUM DOORS AND WINDOWS
5	PAINTED SHEET METAL FASCIA
6	WOOD T&G CLAD GARAGE DOOR
7	42" GLASS GUARDRAIL
8	NEW 42" MAX SITE WALL
9	NEW 6'-0" MAX SITE WALL
10	EXISTING GRADE AT NEIGHBOR

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1	12.01.2023	Planning Commission Submittal

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EXTERIOR
ELEVATIONS

Assessor Parcel No.: 4187-014-011

Scale: 1/4" = 1'-0"

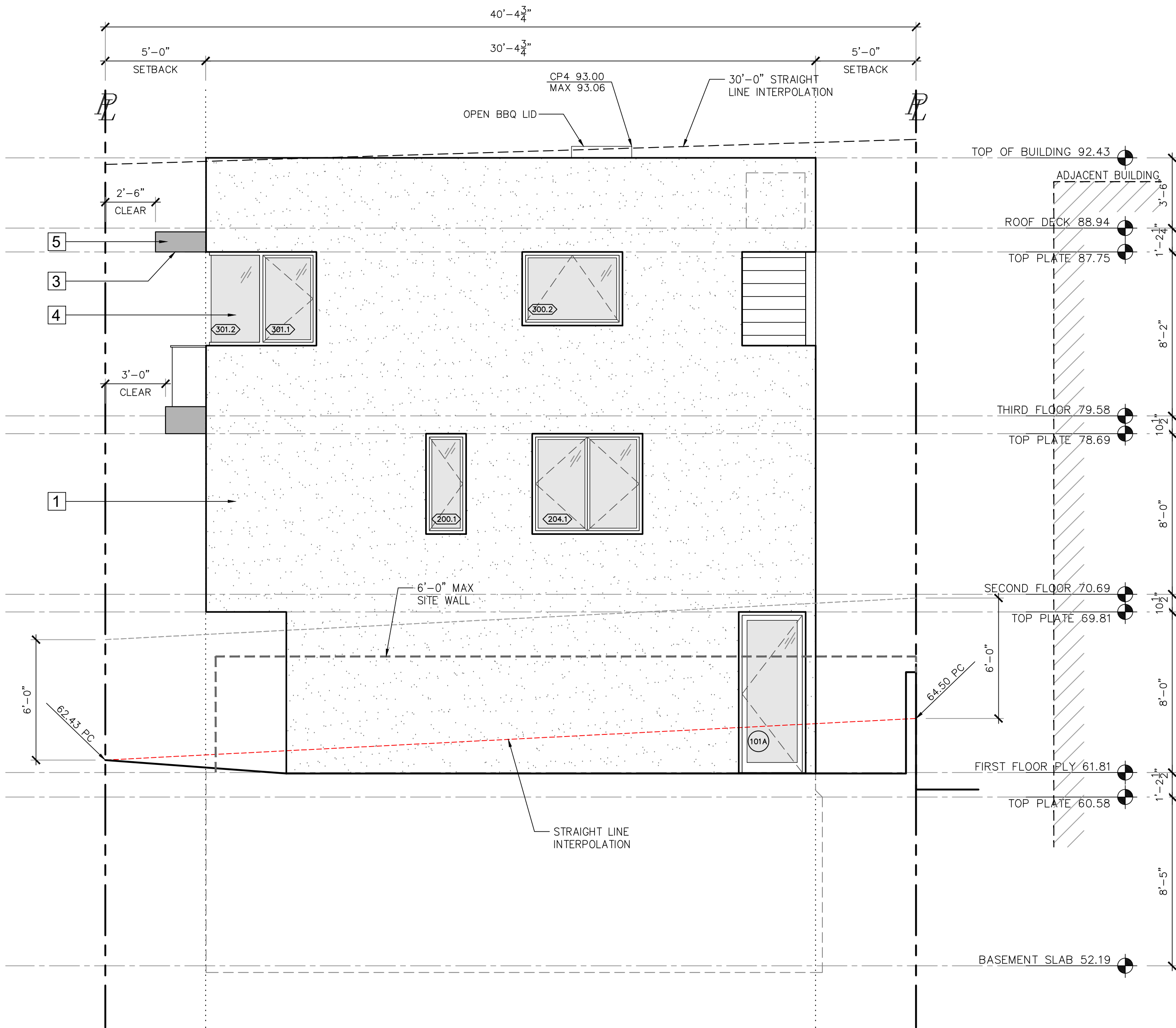
Issue Date: 12.05.2023

Drawn: JPT

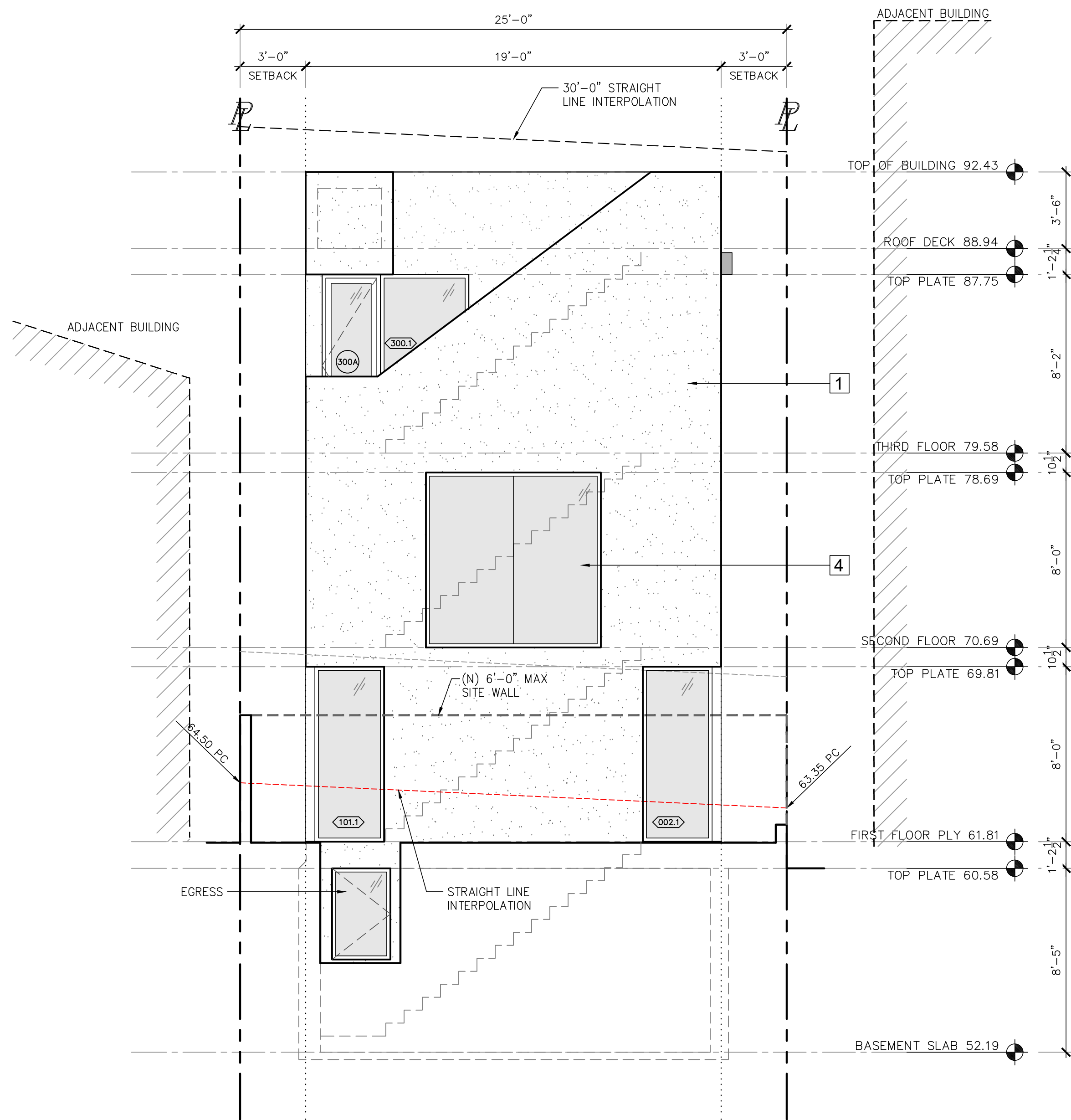
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Sheet Number :

A-3.0



3 EAST ELEVATION
1/4"=1'-0"



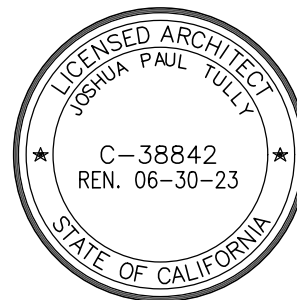
4 NORTH ELEVATION
1/4"=1'-0"

ELEVATION KEYNOTES:	
1	SMOOTH STUCCO
2	BRICK/STONE VENEER
3	WOOD T&G EAVE
4	ALUMINUM DOORS AND WINDOWS
5	PAINTED SHEET METAL FASCIA
6	WOOD T&G CLAD GARAGE DOOR
7	42" GLASS GUARDRAIL
8	NEW 42" MAX SITE WALL
9	NEW 6'-0" MAX SITE WALL
10	EXISTING GRADE AT NEIGHBOR

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PECK
RESIDENCE

435 8th Street
Hermosa Beach, CA 90254

Project Name :

Project Address :

Revisions :

No.	Date	Description
1	12.01.2023	Planning Commission Submittal

Sheet Title :

EXTERIOR
ELEVATIONS

Assessor Parcel No.: 4187-014-011

Scale: 1/4" = 1'-0"

Issue Date: 12.05.2023

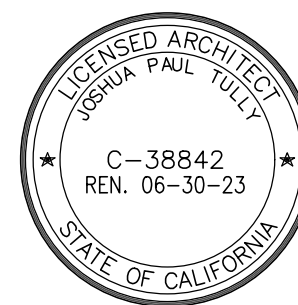
Drawn: JPT

Checked:

Sheet Number :

A-3.1

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Revisions :

No.	Date	Description
	12.01.2023	Planning Commission Submittal

Sheet Title :

BUILDING SECTIONS

Assessor Parcel No.: 4187-014-011

Scale: $1/4'' = 1'-0''$

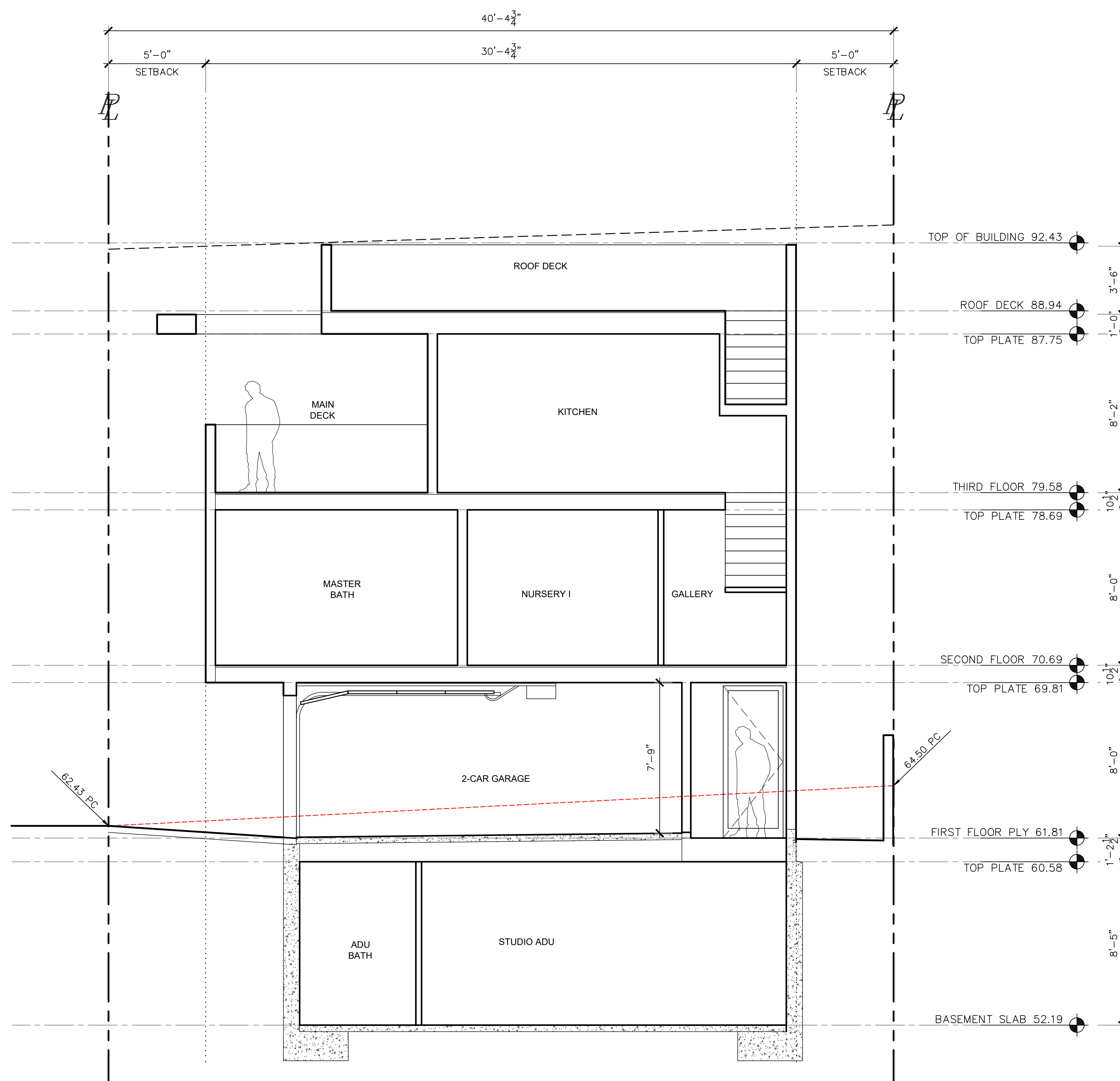
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Drawn: JPT

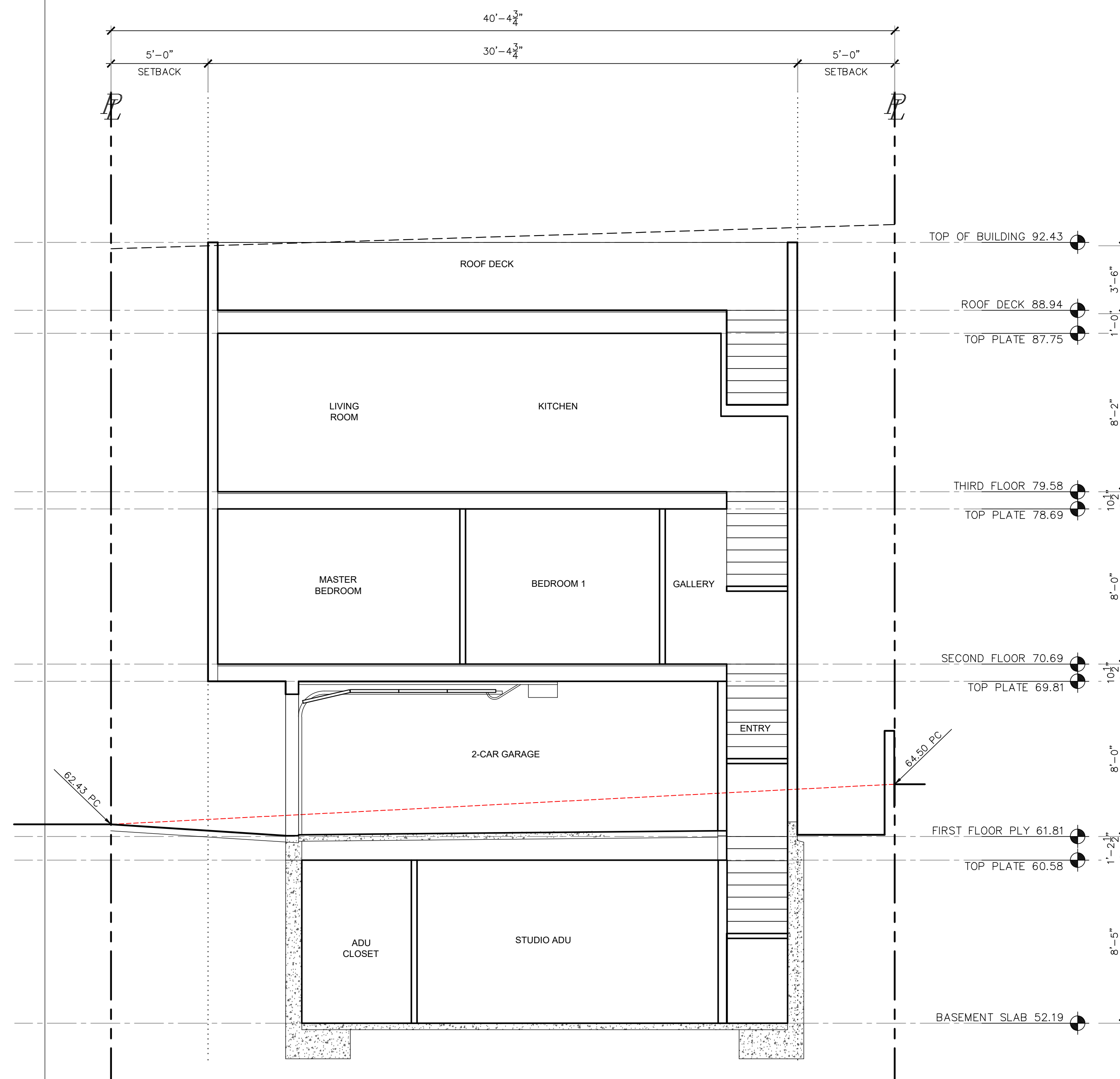
Checked:

Sheet Number :

A-4.0



2 LONGITUDINAL SECTION
1/4"=1'-0"



1 LONGITUDINAL SECTION
1/4"=1'-0"