

ALL PROPOSED FENCE WALL NOT TO EXCEED 6'-0" RETAINING WALL WITH 42" OPEN RAILING ABOVE.

ALL ROOF RUN-OFF & DECKS TO DRAIN DIRECTLY INTO SETTLING BASIN WHERE POSSIBLE. SEE CIVIL SHEETS.

ALL LANDSCAPE AREAS ARE TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM.

MAX. FENCE HT. 42" IN FRONT SETBACK

PROVIDE CONDUIT FROM ROOF TO THE ELECTRIC SERVICE PANEL TO ACCOMMODATE SOLAR INSTALLATION(S) PER H.B.M.C. SECTION 15.32.140

DEVELOPMENT PROGRAM

PROJECT LOCATION: 620 9TH STREET
 LEGAL DESCRIPTION: PORTION OF LOT 7 OF SECOND ADDITION HERMOSA BEACH TRACT MAP, IN THE CITY OF HERMOSA BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 3, PAGES 11-12 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. 4187-008-093

ASSESSOR PARCEL NO.: R-2, TWO FAMILY RESIDENTIAL
 ZONING: NEW: THREE CONDOS

GENERAL BUILDING INFORMATION

	UNIT "A"	UNIT "B"	UNIT "C"
GARAGE (INTERIOR DIMENSIONS)	17'-6" X 20'-0"	18'-0" X 20'-0"	18'-0" X 20'-0"
BASEMENT LIVING AREA	206	239	239
1ST LEVEL LIVING AREA	520	105	616
DECKS/BALCONIES	1146	1195	1172
2ND LEVEL LIVING AREA	78	723	968
DECKS/BALCONIES	202	201	315
3RD LEVEL LIVING AREA	582	391	474
ROOF DECK			
TOTAL LIVING AREA	2935	2023	2995 =7953
TOTAL DECKS/BALCONIES	852	592	841 =2295

ZONING INFORMATION

AREA:	REQUIRED	PROVIDED
LOT AREA PER DWELLING UNIT	1750 SQ.F./D.U.	1802 SQ.F./D.U.
LOT COVERAGE	65.0%	65.0%

YARDS:

	REQUIRED	PROVIDED
FRONT	5.0'	6.5'
SIDE	5.0'	5.0'/6.0'
REAR	5.0'/3.0'	7.93'

PARKING AND DRIVEWAYS:

	REQUIRED	PROVIDED
NUMBER OF SPACES	6	6
GUEST SPACES	2	4
PARKING SETBACK	17'-0"	17'-0"
PARKING STALL DIMENSIONS	8'-6" X 20'-0"	17'-6" X 20'-0"
		18'-0" X 20'-0"

TURNING AREA

	REQUIRED	PROVIDED
DRIVEWAY WIDTH	9'-0"	9'-0"
DRIVEWAY MAXIMUM SLOPE	12.5%	.01 TO 11.29%

OPEN SPACE:

	REQUIRED	PROVIDED
ON GRADE	900 SQ.FT.	1018 SQ.FT.
DECKS/BALCONIES	(300 SQ.FT./D.U.)	(302 - UNIT A) (301 - UNIT B) (415 - UNIT C)

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GENERAL INFORMATION

OCCUPANCY GROUP: R3-U1
 TYPE OF CONST.: V-B
 NO. OF STORIES: 3 + BASEMENT
 NO. OF UNITS: 3 UNITS
 ZONING DES.: R-2

AREA BREAKDOWN

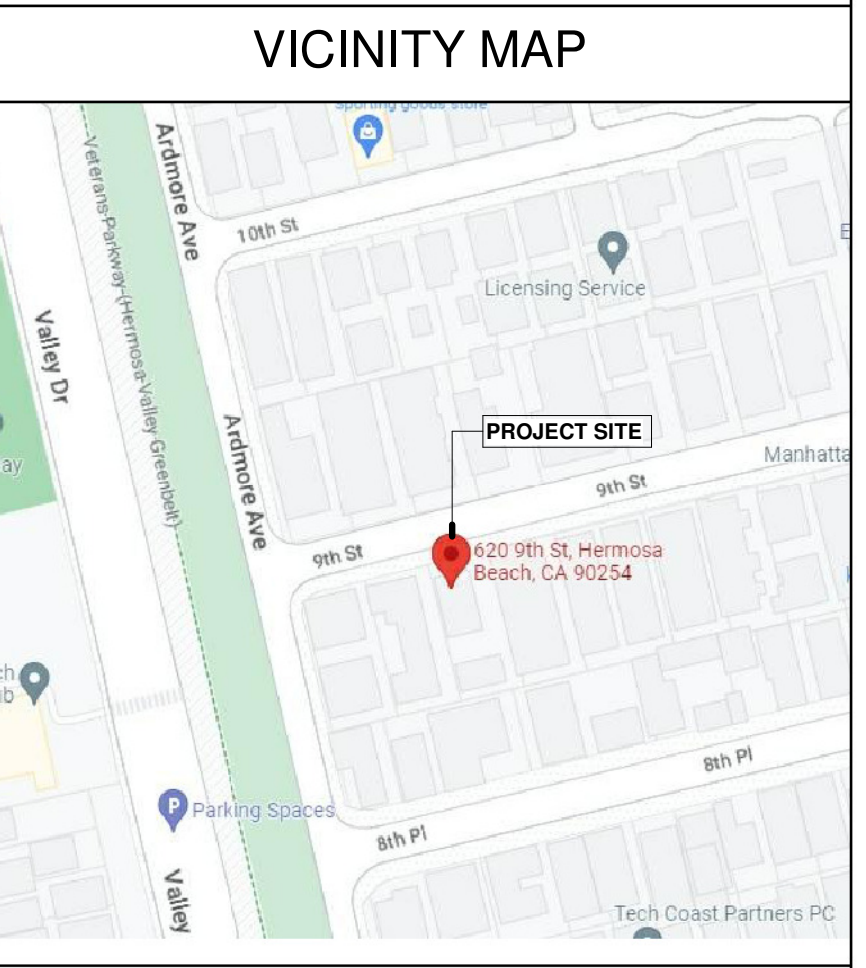
LOT AREA	5413.00 SQ.FT.
LOT COVERAGE MAX. (65%)	3518.45 SQ.FT.
LOT COVERAGE PROP. (65%)	3513.42 SQ.FT.

	UNIT A	UNIT B	UNIT C
BASEMENT	206	105	239
FIRST	520	616	616
SECOND	1146	1195	1172
THIRD	1063	723	968
	"2935"	"2023"	"2995"
TOTAL: 7953.00 SQ.FT.			

BALCONIES:	UNIT A	UNIT B	UNIT C
SECOND FLOOR	78	52	52
THIRD FLOOR	202	201	315
ROOF DECK	582	391	474
	"862"	"592"	"841"
TOTAL: 2295.00 SQ.FT.			

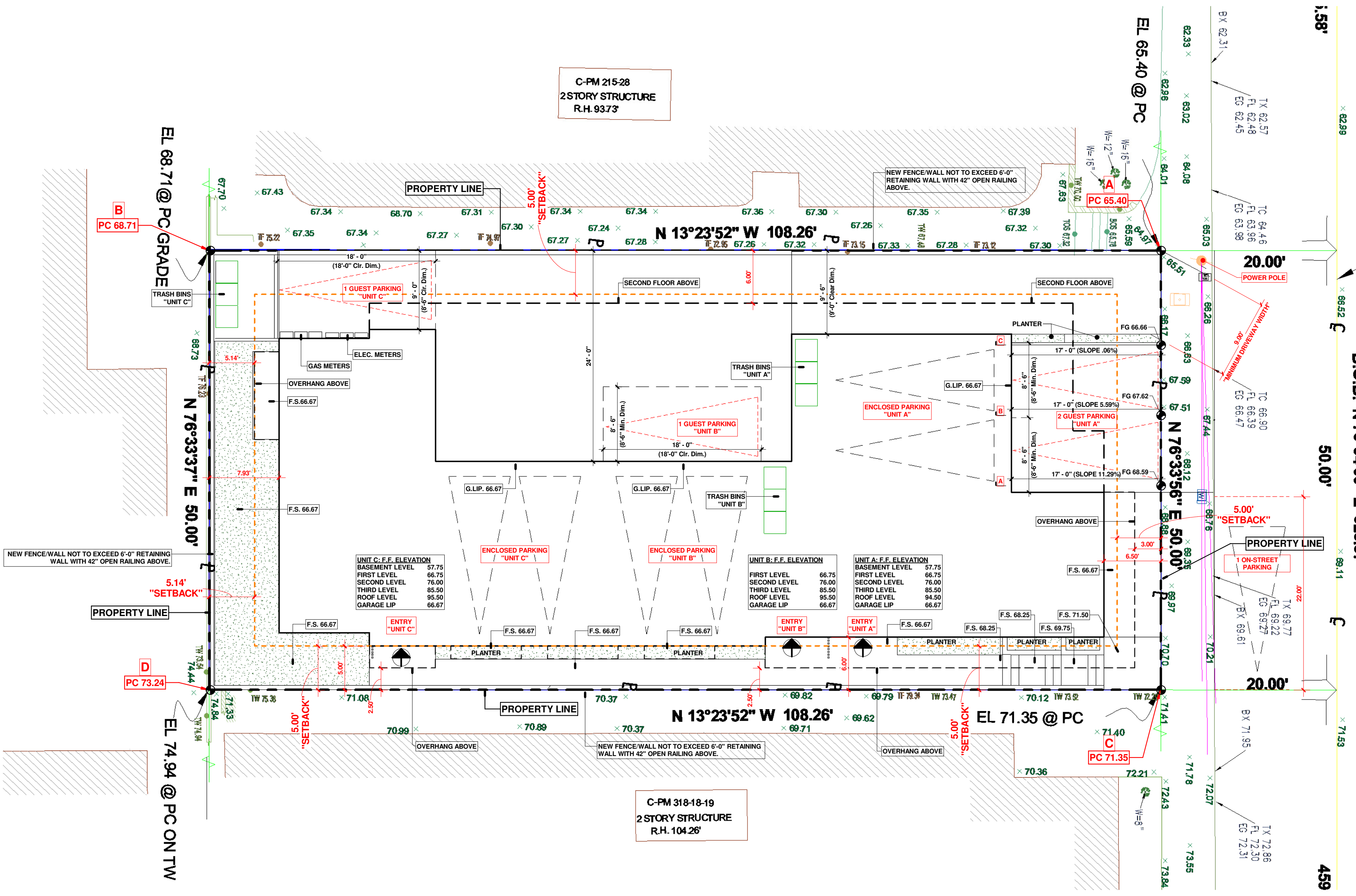
OPEN SPACE:	UNIT A	UNIT B	UNIT C
THIRD FLOOR	202	201	315
ROOF DECK	100	100	100
	"302"	"301"	"415"
TOTAL: 1018.00 SQ.FT.			

GARAGE AREA	430	418	389
TOTAL: 1237.00 SQ.FT.			



LEGAL DESCRIPTION

LOT 32, BLOCK 4
 TRACT NO. 10019
 M.B. 182-1-13
 APN 7502-006-010



20' EASEMENT FOR THE PURPOSE OF PUBLIC STREET, ROAD OR HIGHWAY. RECORDED IN BOOK 7673 PAGE 8 OF OFFICIAL RECORDS.

NOTE:
 A MINIMUM 9' DRIVEWAY WIDTH SHALL BE MAINTAINED TO THE EXISTING POWER POLE IN RELATION TO THE PROPOSED DRIVEWAY.

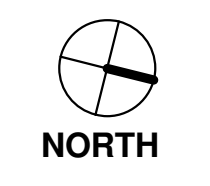
NOTE:
 ITEM #1 - 20' EASEMENT FOR THE PURPOSE OF PUBLIC STREET, ROAD OR HIGHWAY. RECORDED IN BOOK 7673 PAGE 8 OF OFFICIAL RECORDS.

FIRE DEPARTMENT NOTE:

- AUTOMATIC FIRE SPRINKLER SYSTEM TO BE INSTALLED IN ACCORDANCE SET FORTH IN BUILDING CODE SECTION 903.3
- SPRINKLER SYSTEM TO COMPLY WITH EITHER NFPA 13, NFPA 13R, OR NFPA 13D.

2 DRIVEWAY PROFILES
 1/8" = 1'-0"

3 Site
 1/8" = 1'-0"



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SHT. CONTENT

Covered Sheet, Site Plan,
 Project Data

CLIENT

"AQUA VILLAS on 9th"
 620 9TH Street
 Hermosa Beach, CA

Project number: DROG-2305
 Date: November 6, 2023

REVISIONS

No.	Date	Description

SHT. ID.

A100

11/6/2023 2:40:35 PM

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SHT. CONTENT

Basement Floor Level

CLIENT

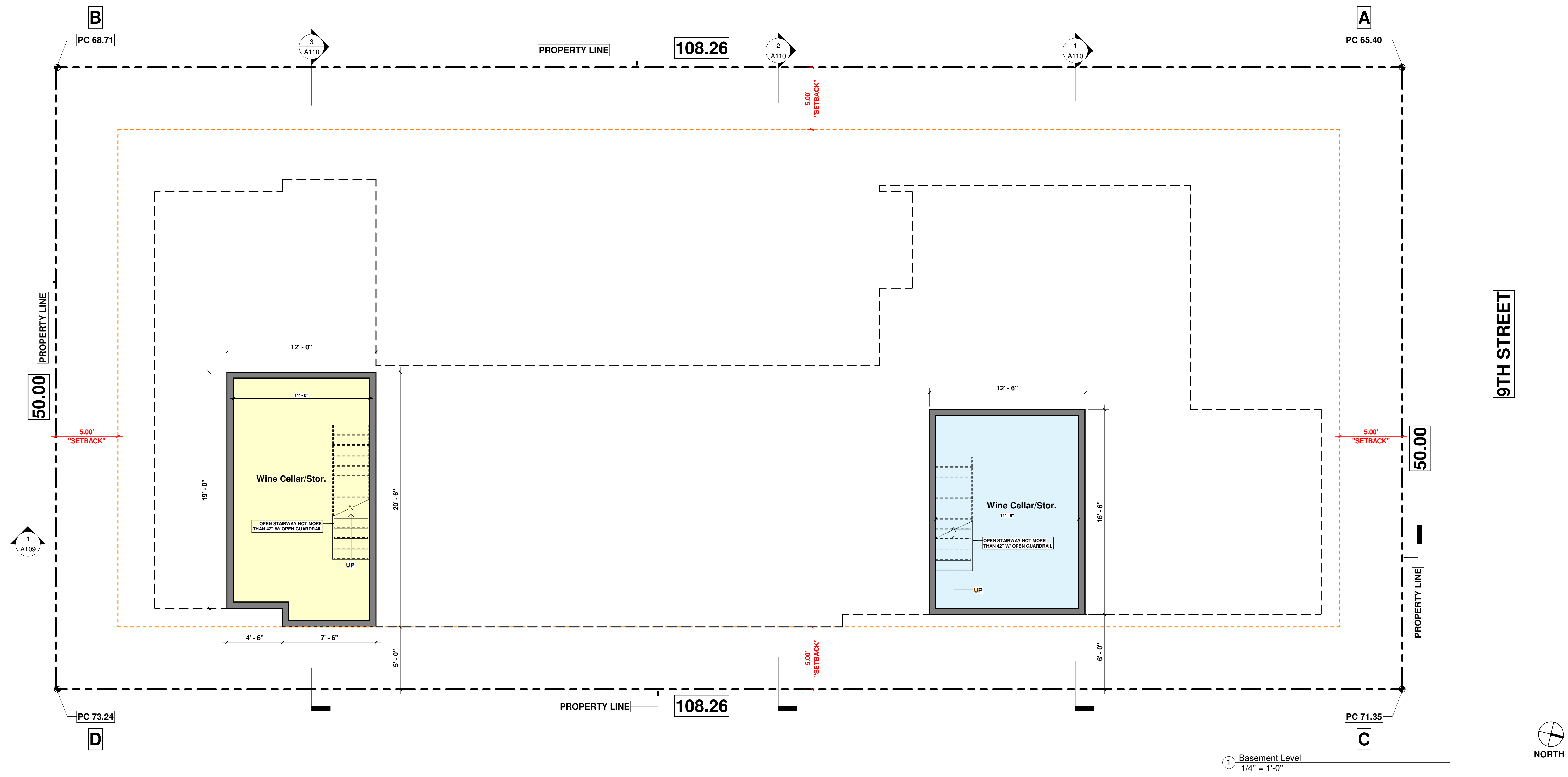
"AQUA VILLAS on 9th"
 620 9TH Street
 Hermosa Beach, CA
 Project number: DROG-2305
 Date: August 30, 2023

REVISIONS

No.	Description	Date

SHT. ID.

A101



1 Basement Level
 1/4" = 1'-0"



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SHT. CONTENT

First Floor Level

CLIENT

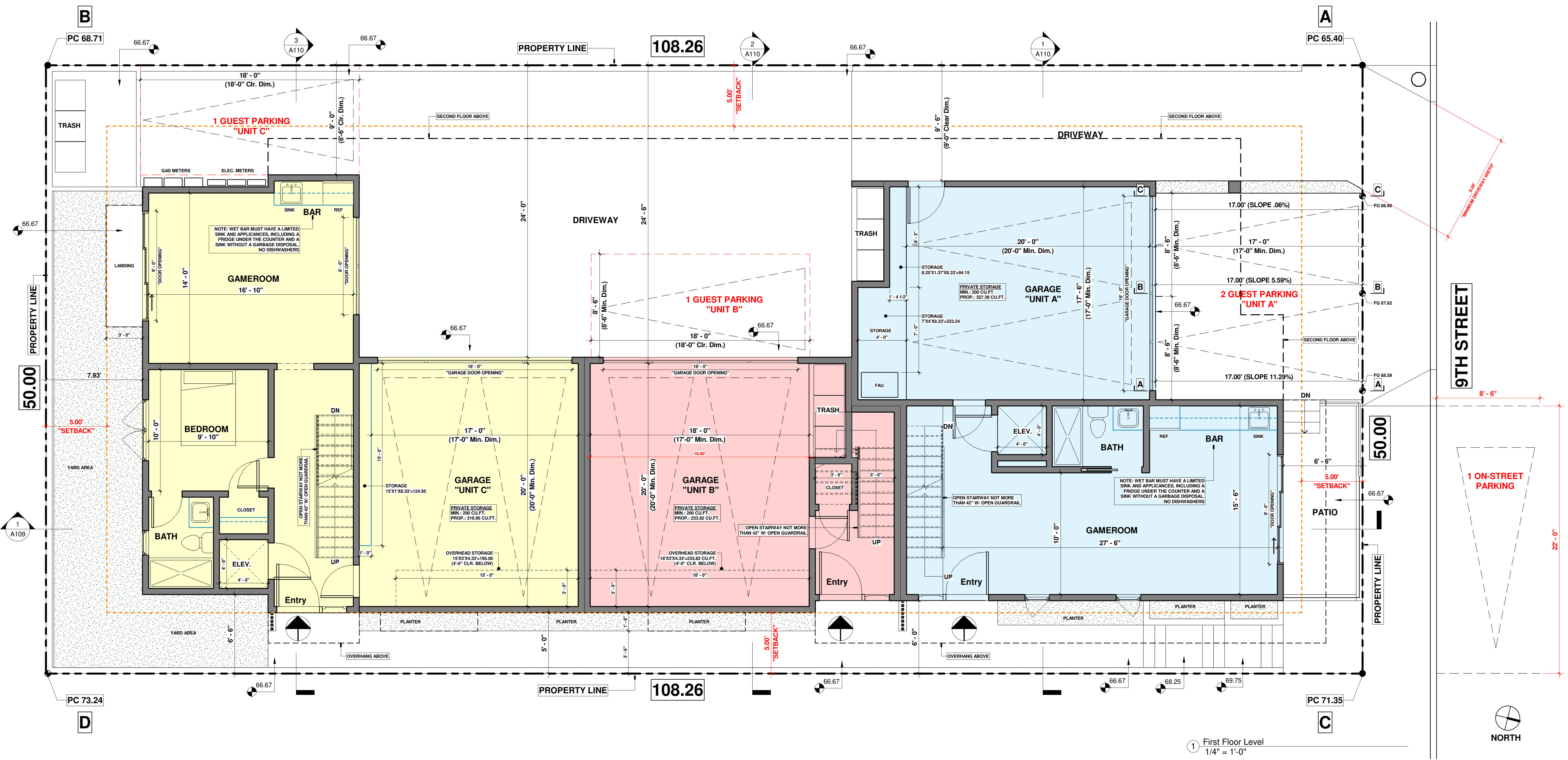
"AQUA VILLAS on 9th"
 620 9th Street
 Hermosa Beach, CA

REVISIONS

No.	Date	Description

SHT. ID.

A102



1 First Floor Level
 1/4" = 1'-0"

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SHT. CONTENT

Second Floor Level

CLIENT

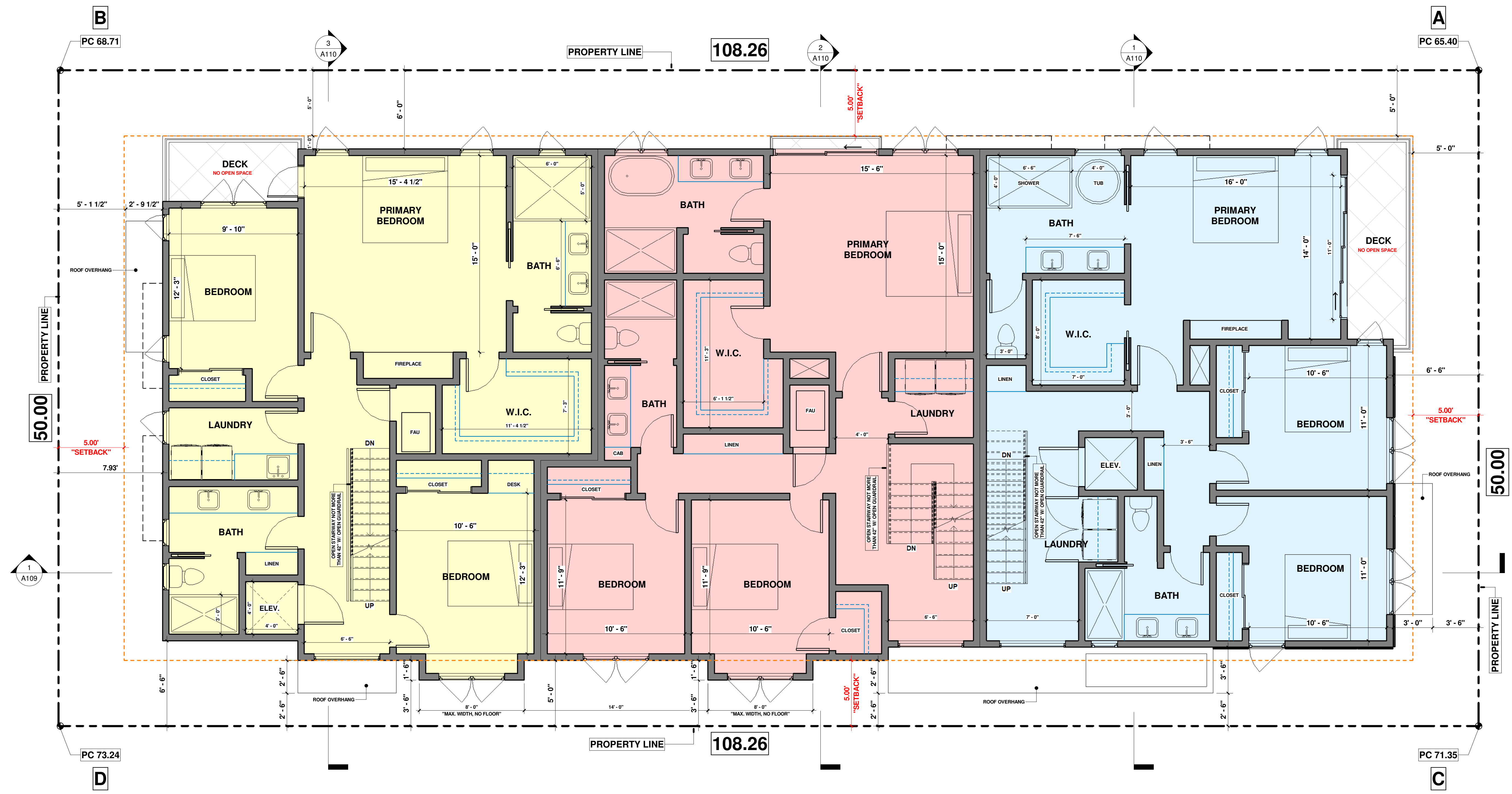
"AQUA VILLAS on 9th"
620 9TH Street
Hermosa Beach, CA

REVISIONS

No.	Date	Description	Checked by	Date
			G.T.L.	
			G.T.L.	

SHT. ID.

A103



1 Second Floor Level
1/4" = 1'-0"



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SHT. CONTENT

Third Floor Level

CLIENT

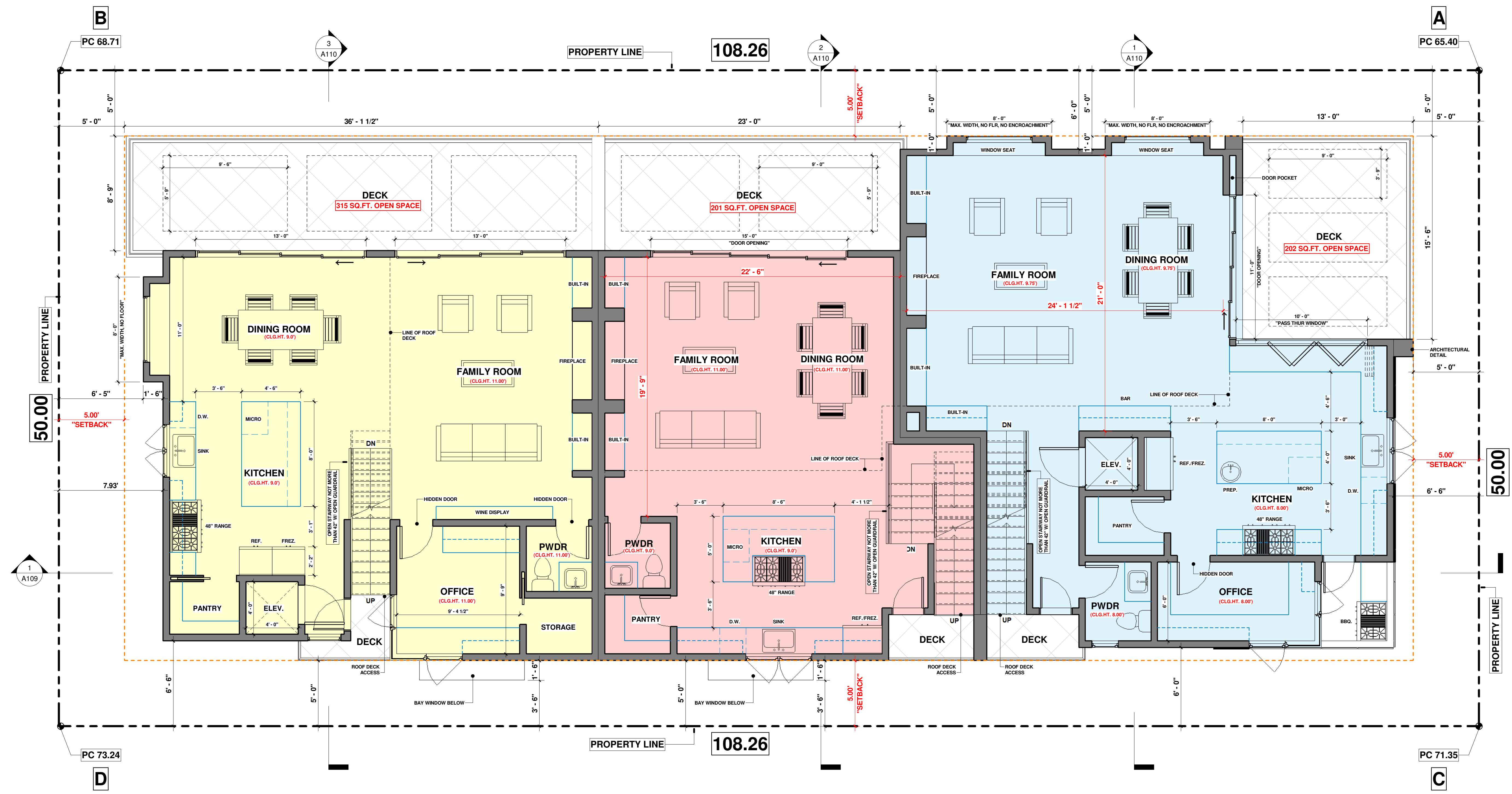
"AQUA VILLAS on 9th"
 620 9TH Street
 Hermosa Beach, CA

REVISIONS

No.	Date	Description

SHT. ID.

A104



1 Third Floor Level
 1/4" = 1'-0"



Critical Height Calculation For: 620 9TH ST.

Elev. Pt. A	65.4
Elev. Pt. B	68.71
Length A-B	108.26
Length A-AB'	103.12
Elev. AB'	68.552847
Elev. Pt. C	71.35
Elev. Pt. D	73.24
Length C-D	108.26
Length C-CD'	103.12
Elev. CD'	73.150266
Length AB'-CD'	50
Length AB'-CP4	3
Elev. CP1	68.828692
Height Limit	30
Max. Ht. @ CP4	98.83
Prop. Ht. @ CP4	97

Critical Height Calculation For: 620 9TH ST.

Elev. Pt. A	65.4
Elev. Pt. B	68.71
Length A-B	108.26
Length A-AB'	82.5
Elev. AB'	67.9224
Elev. Pt. C	71.35
Elev. Pt. D	73.24
Length C-D	108.26
Length C-CD'	82.5
Elev. CD'	72.790283
Length AB'-CD'	50
Length AB'-CP5	13.75
Elev. CP1	69.261068
Height Limit	30
Max. Ht. @ CP5	97.26
Prop. Ht. @ CP5	99

Critical Height Calculation For: 620 9TH ST.

Elev. Pt. A	65.4
Elev. Pt. B	68.71
Length A-B	108.26
Length A-AB'	37.5
Elev. AB'	66.546545
Elev. Pt. C	71.35
Elev. Pt. D	73.24
Length C-D	108.26
Length C-CD'	37.5
Elev. CD'	72.004674
Length AB'-CD'	50
Length AB'-CP4	25.58
Elev. CP1	69.338924
Height Limit	30
Max. Ht. @ CP4	97.34
Prop. Ht. @ CP4	97

Critical Height Calculation For: 620 9TH ST.

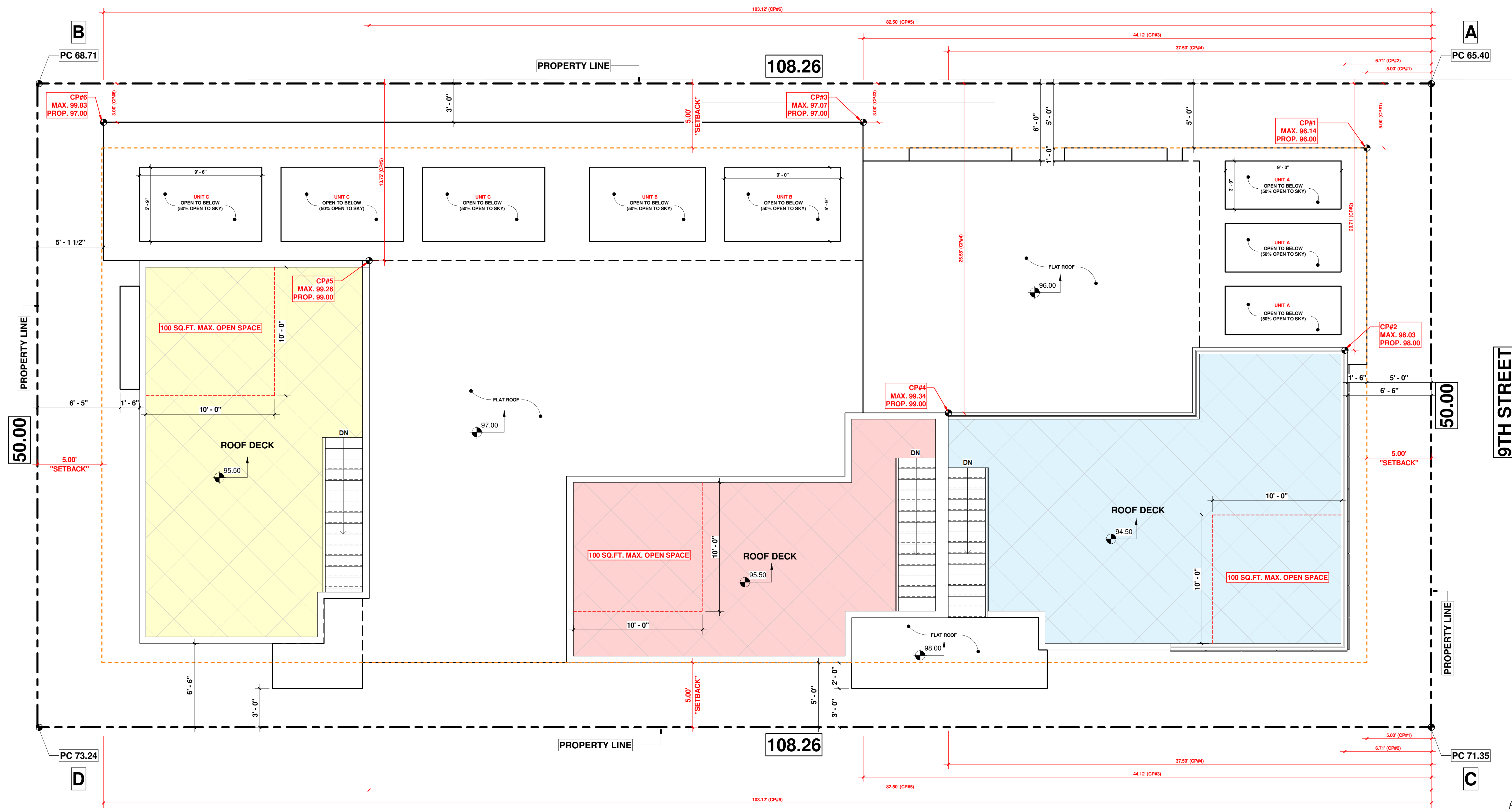
Elev. Pt. A	65.4
Elev. Pt. B	68.71
Length A-B	108.26
Length A-AB'	44.12
Elev. AB'	66.748949
Elev. Pt. C	71.35
Elev. Pt. D	73.24
Length C-D	108.26
Length C-CD'	44.12
Elev. CD'	72.120246
Length AB'-CD'	50
Length AB'-CP3	3
Elev. CP1	67.071227
Height Limit	30
Max. Ht. @ CP3	97.07
Prop. Ht. @ CP3	97

Critical Height Calculation For: 620 9TH ST.

Elev. Pt. A	65.4
Elev. Pt. B	68.71
Length A-B	108.26
Length A-AB'	6.71
Elev. AB'	65.605155
Elev. Pt. C	71.35
Elev. Pt. D	73.24
Length C-D	108.26
Length C-CD'	6.71
Elev. CD'	71.467143
Length AB'-CD'	50
Length AB'-CP2	20.71
Elev. CP1	68.033191
Height Limit	30
Max. Ht. @ CP2	98.03
Prop. Ht. @ CP2	98

Critical Height Calculation For: 620 9TH ST.

Elev. Pt. A	65.4
Elev. Pt. B	68.71
Length A-B	108.26
Length A-AB'	5
Elev. AB'	65.552873
Elev. Pt. C	71.35
Elev. Pt. D	73.24
Length C-D	108.26
Length C-CD'	5
Elev. CD'	71.43729
Length AB'-CD'	50
Length AB'-CP1	5
Elev. CP1	66.141314
Height Limit	30
Max. Ht. @ CP1	96.14
Prop. Ht. @ CP1	96



① Critical Points
1/4" = 1'-0"

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SHT. CONTENT

Roof Deck Level, Critical Points

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"AQUA VILLAS on 9th"
620 9TH Street
Hermosa Beach, CA
Project number DROG-2305 Date August 30, 2023

REVISIONS

No.	Date	Description	Drawn by	Checked by	G.T.L.

SHT. ID.

A105



② North-West View



① North-East View

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SHT. CONTENT

Exterior Perspectives

CLIENT

"AQUA VILLAS on 9th"
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Hermosa Beach, CA

Project number DROG-2305 Date August 30, 2023

REVISIONS

No.	Description	Date

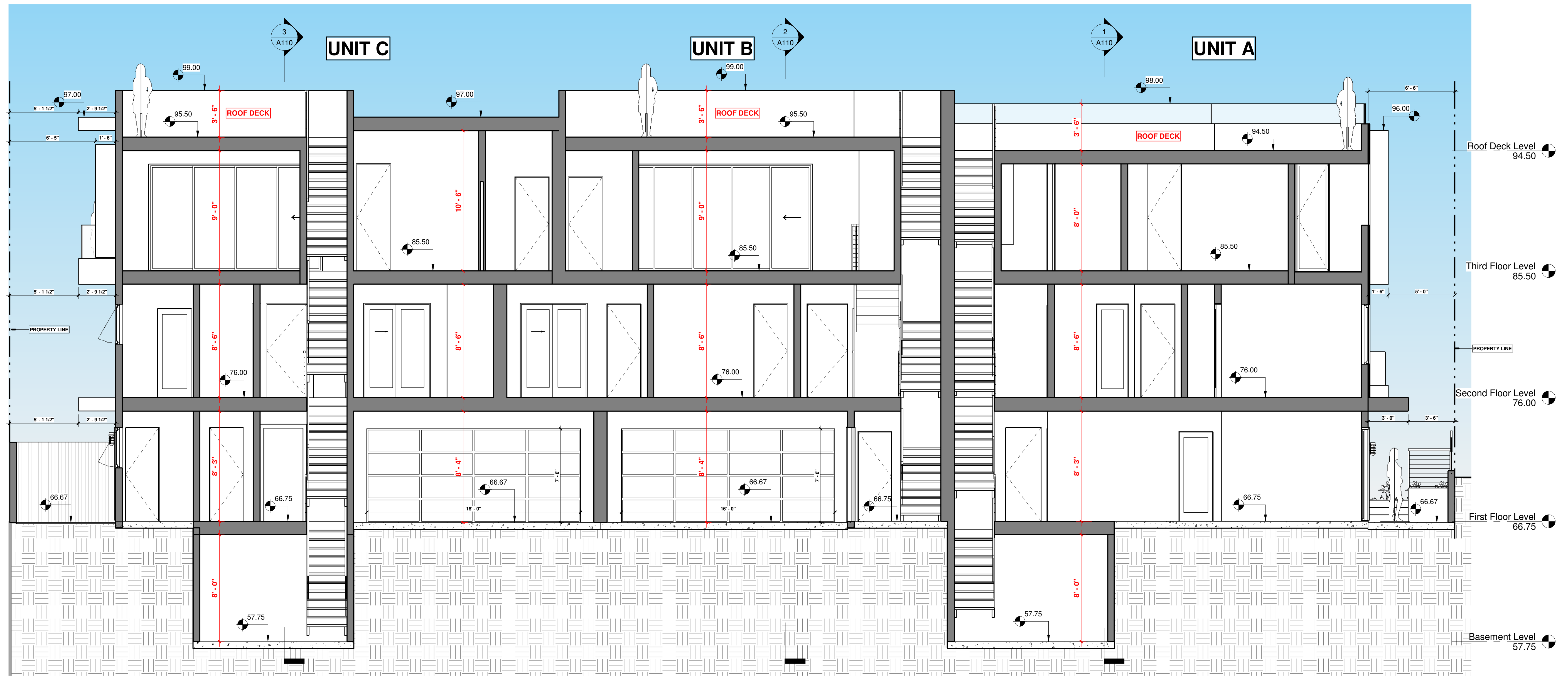
Drawn by G.T.L. Checked by G.T.L. Date

SHT. ID.

A108

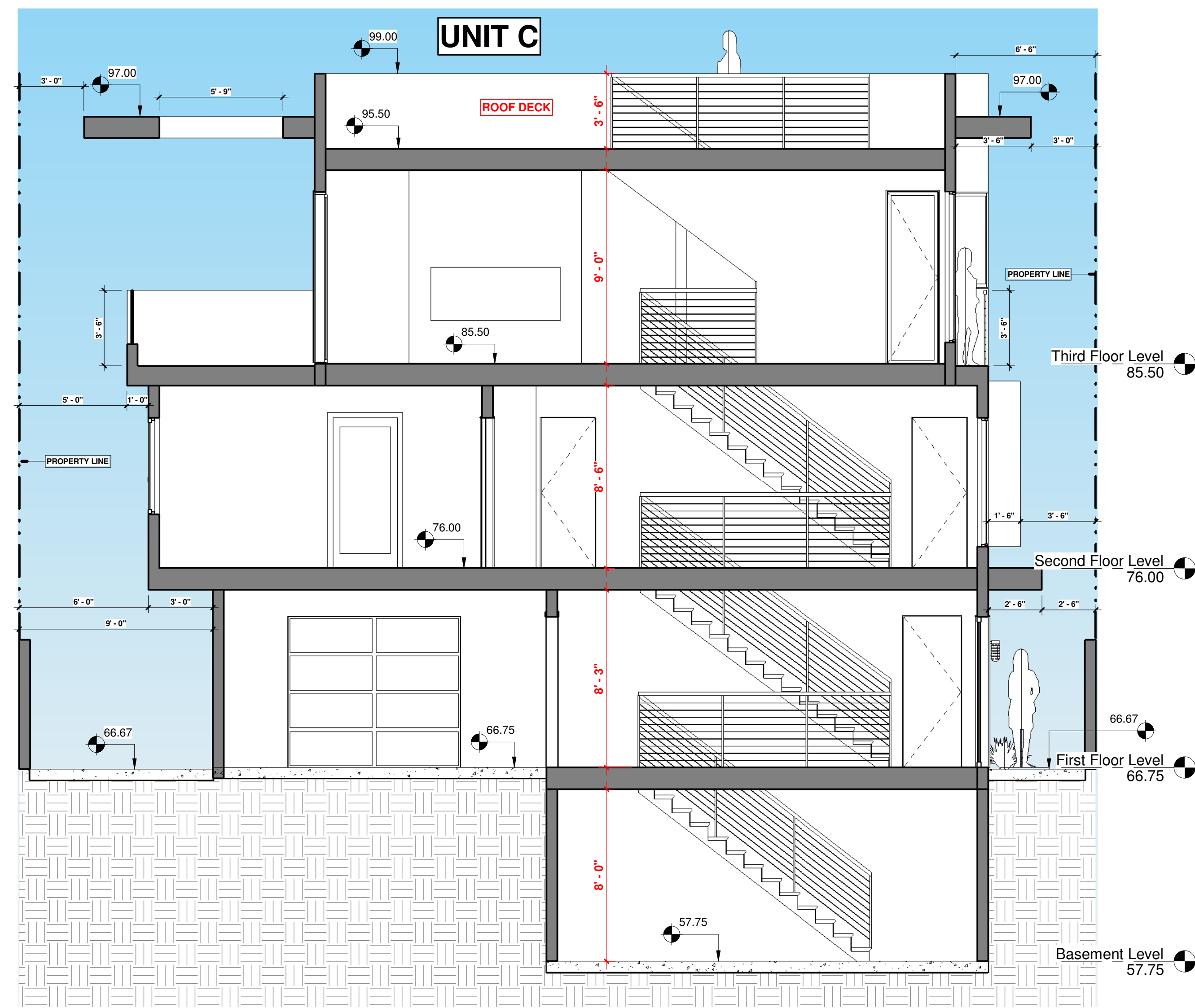
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No.	Description	Date

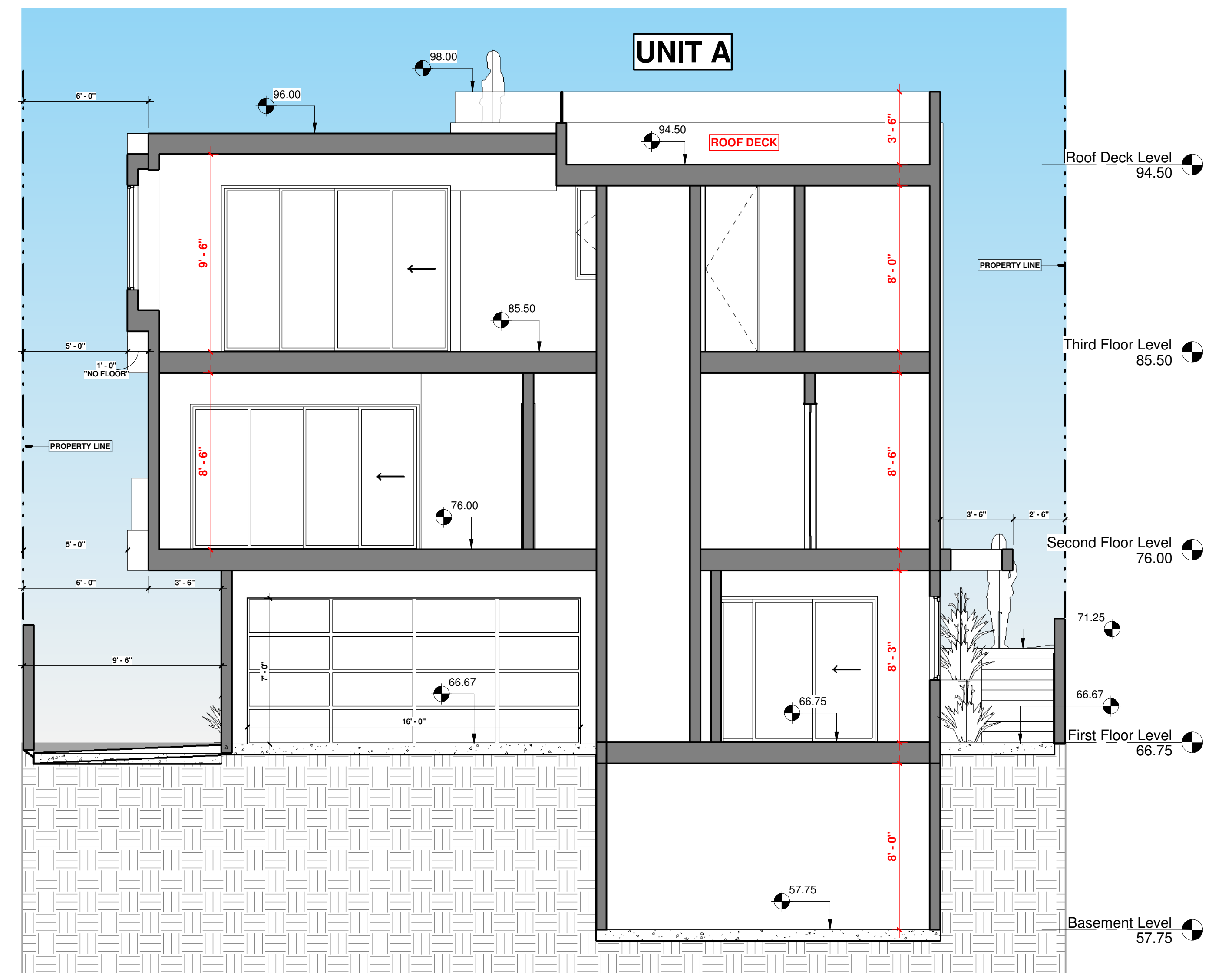


1 Section Site Section
1/4" = 1'-0"

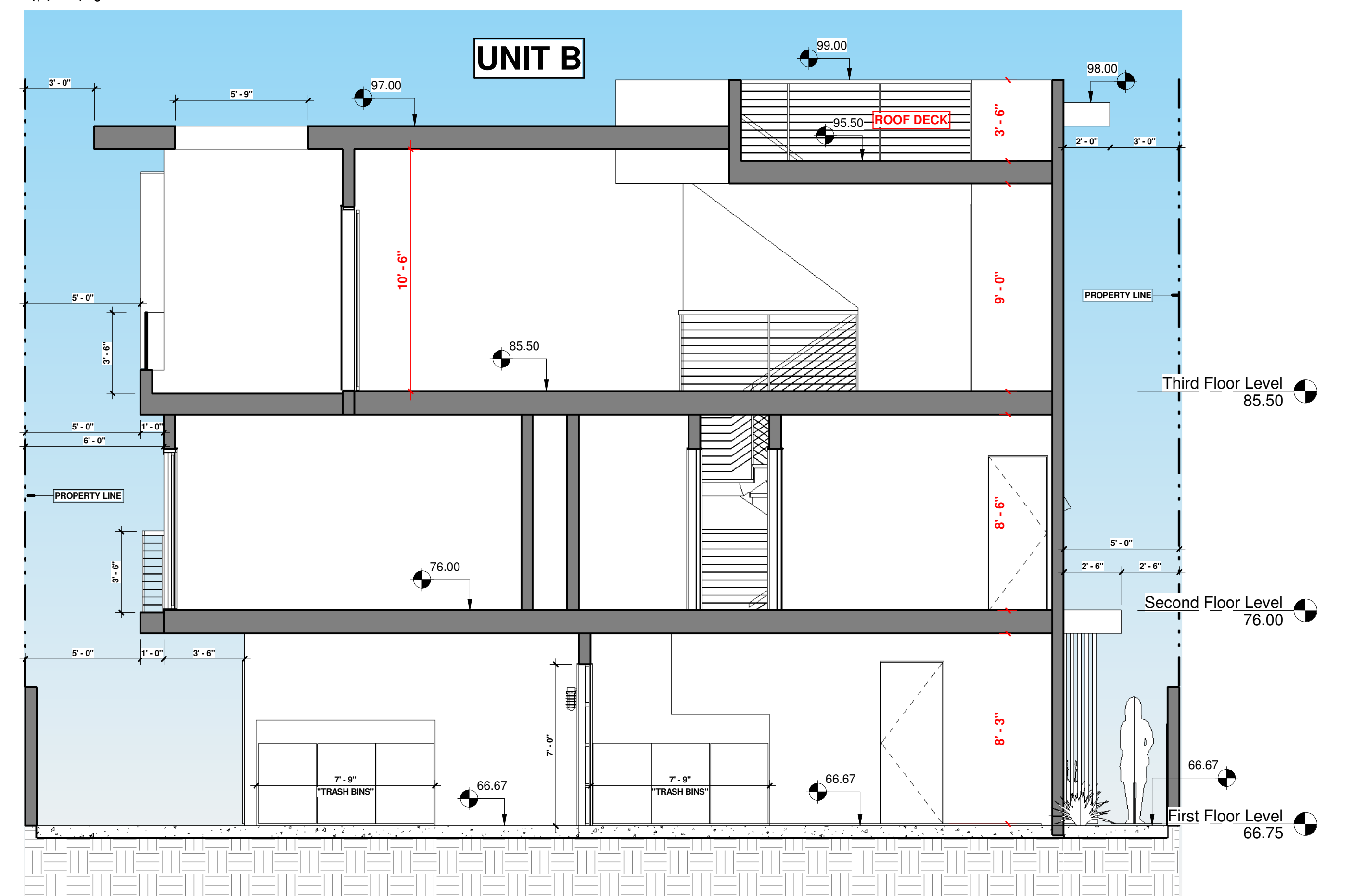
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③ Section Unit C
1/4" = 1'-0"



① Section Unit A
1/4" = 1'-0"



② Section Unit B
1/4" = 1'-0"

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SHT. CONTENT

Unit Sections

CLIENT

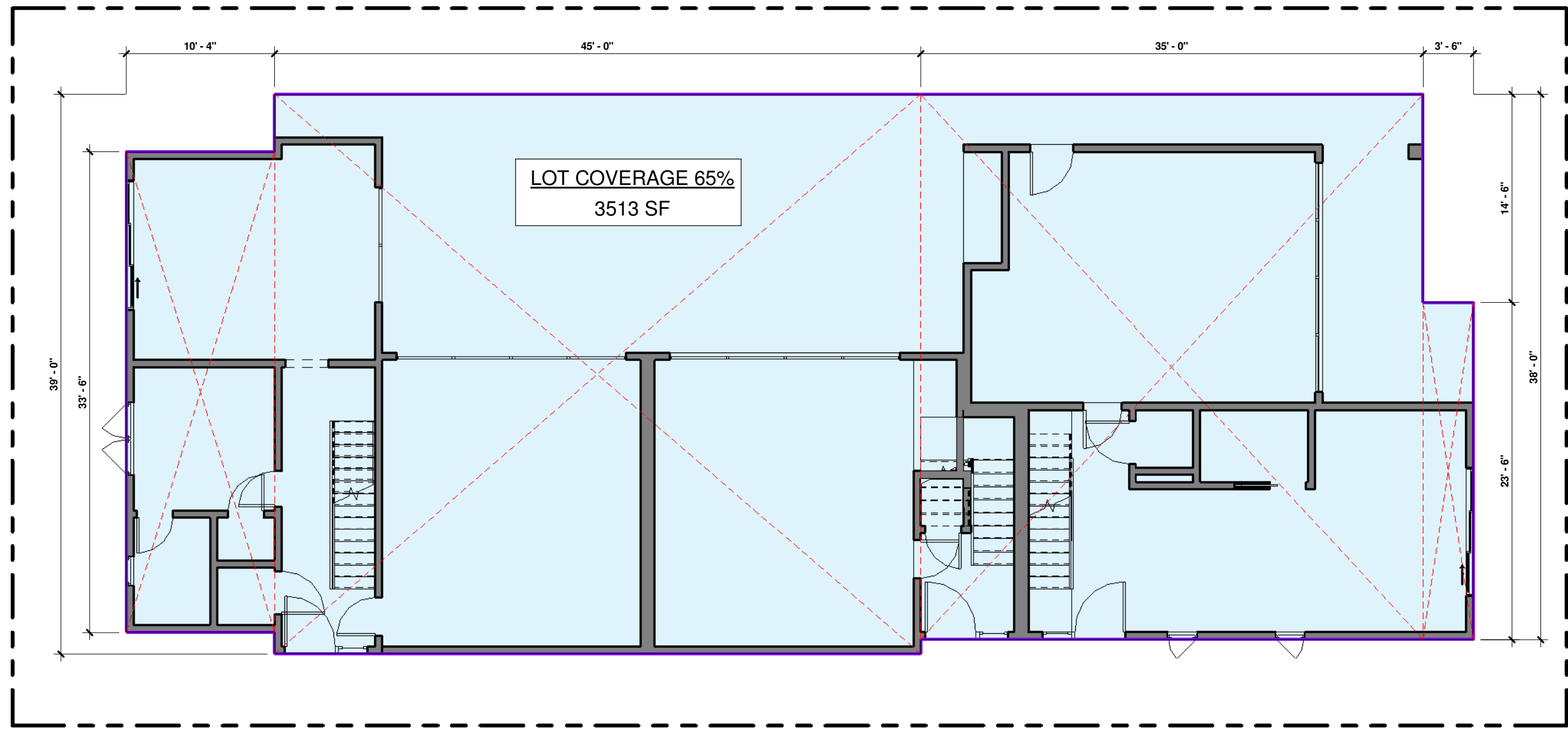
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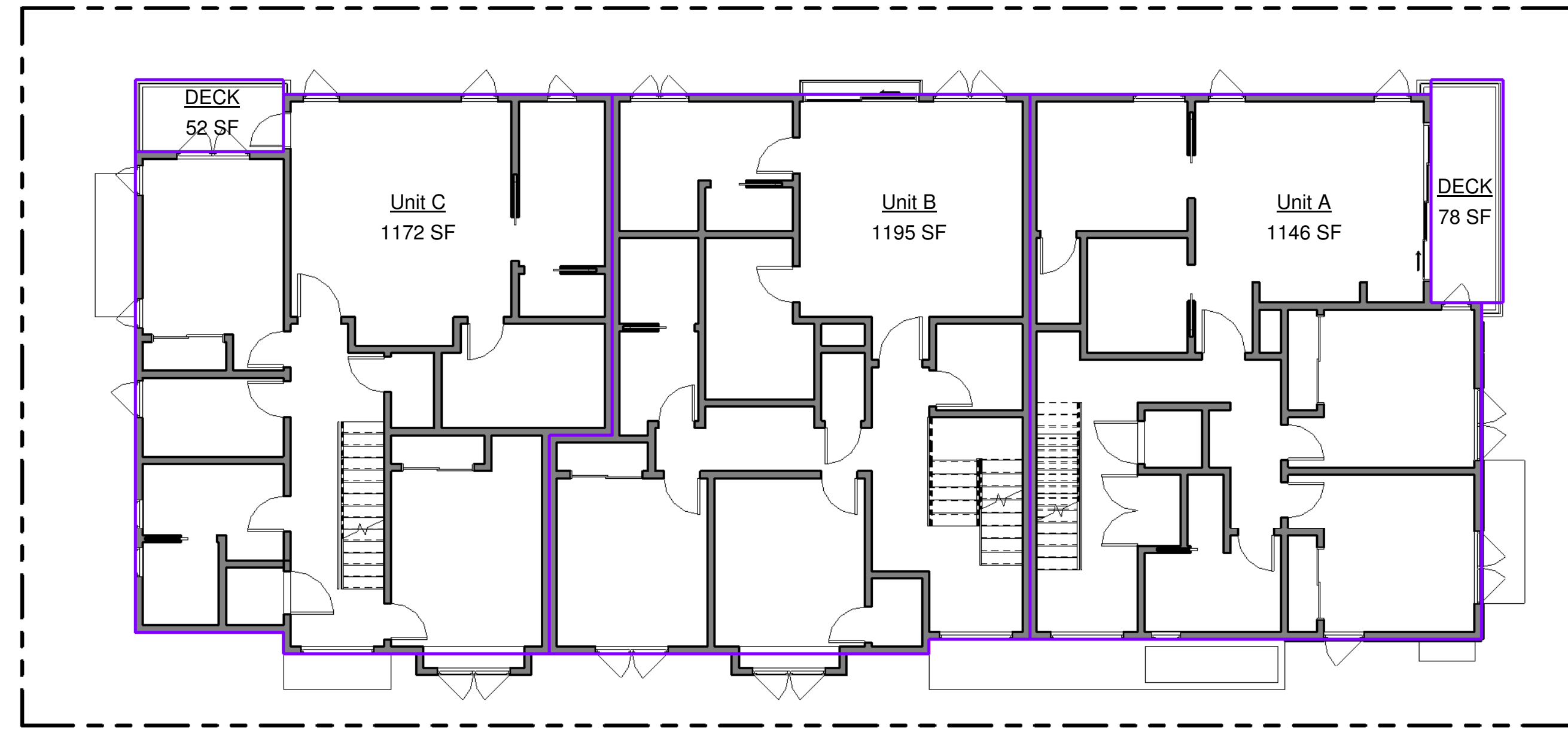
No.	Date	Description	Checked by	Date
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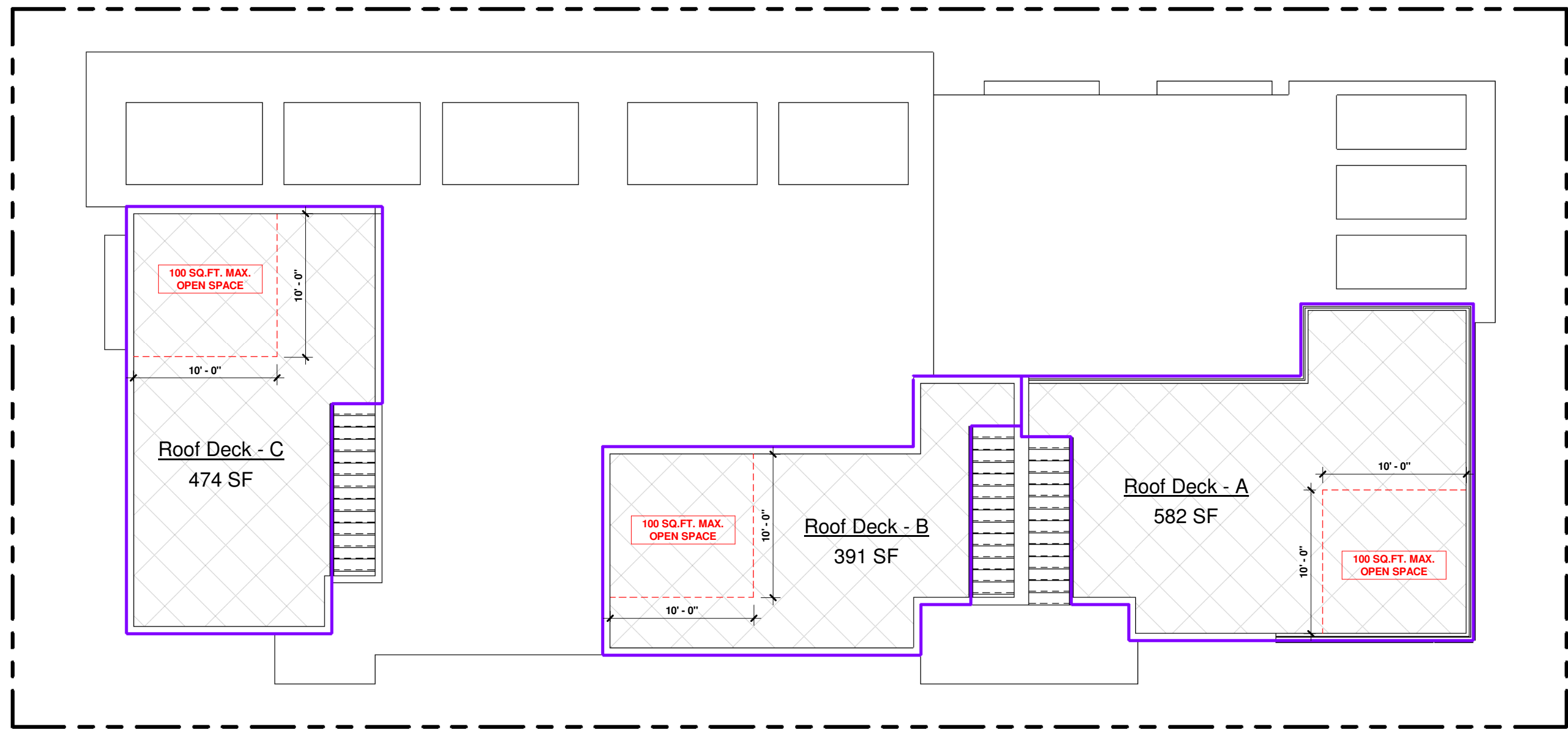
A110



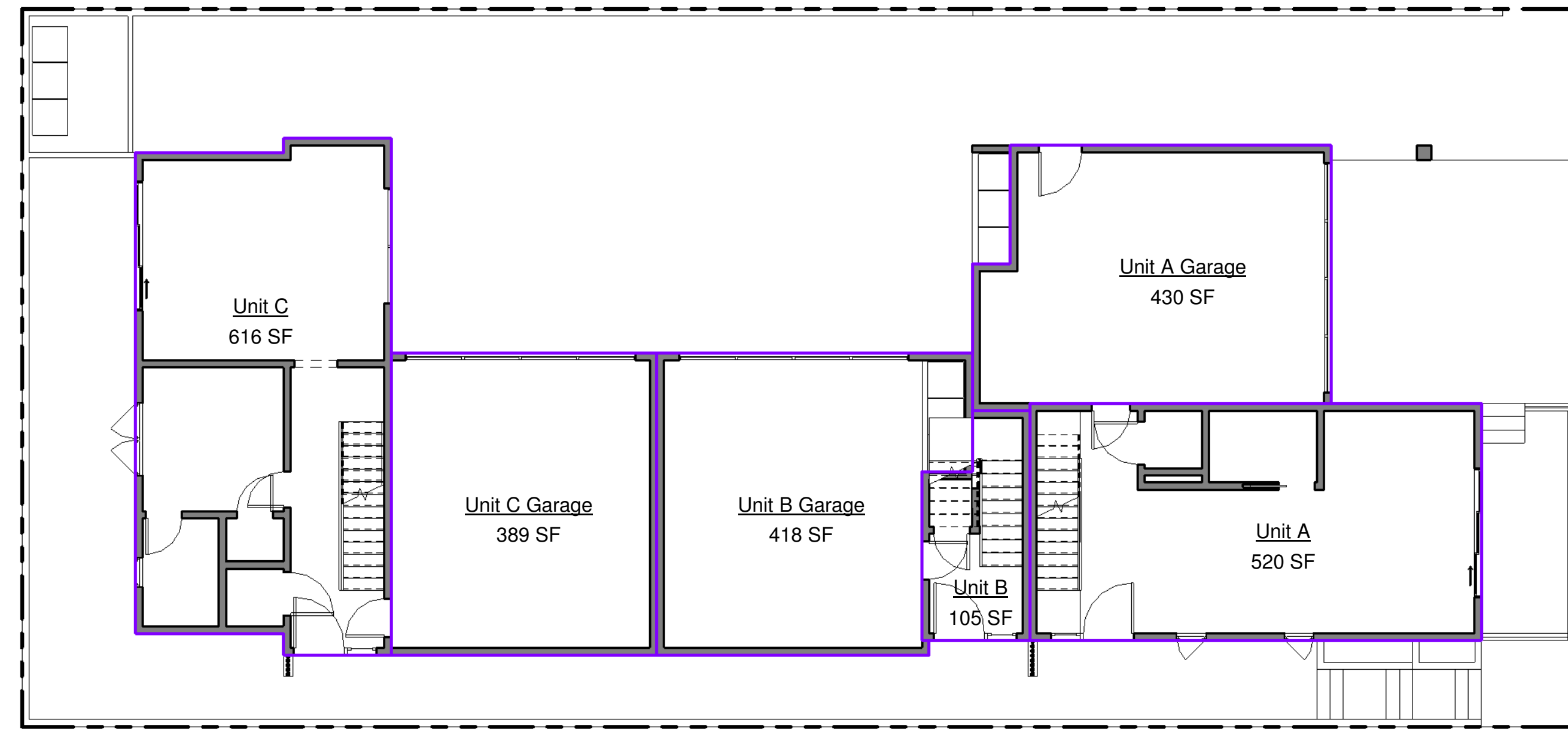
6 Lot Coverage
1/8" = 1'-0"



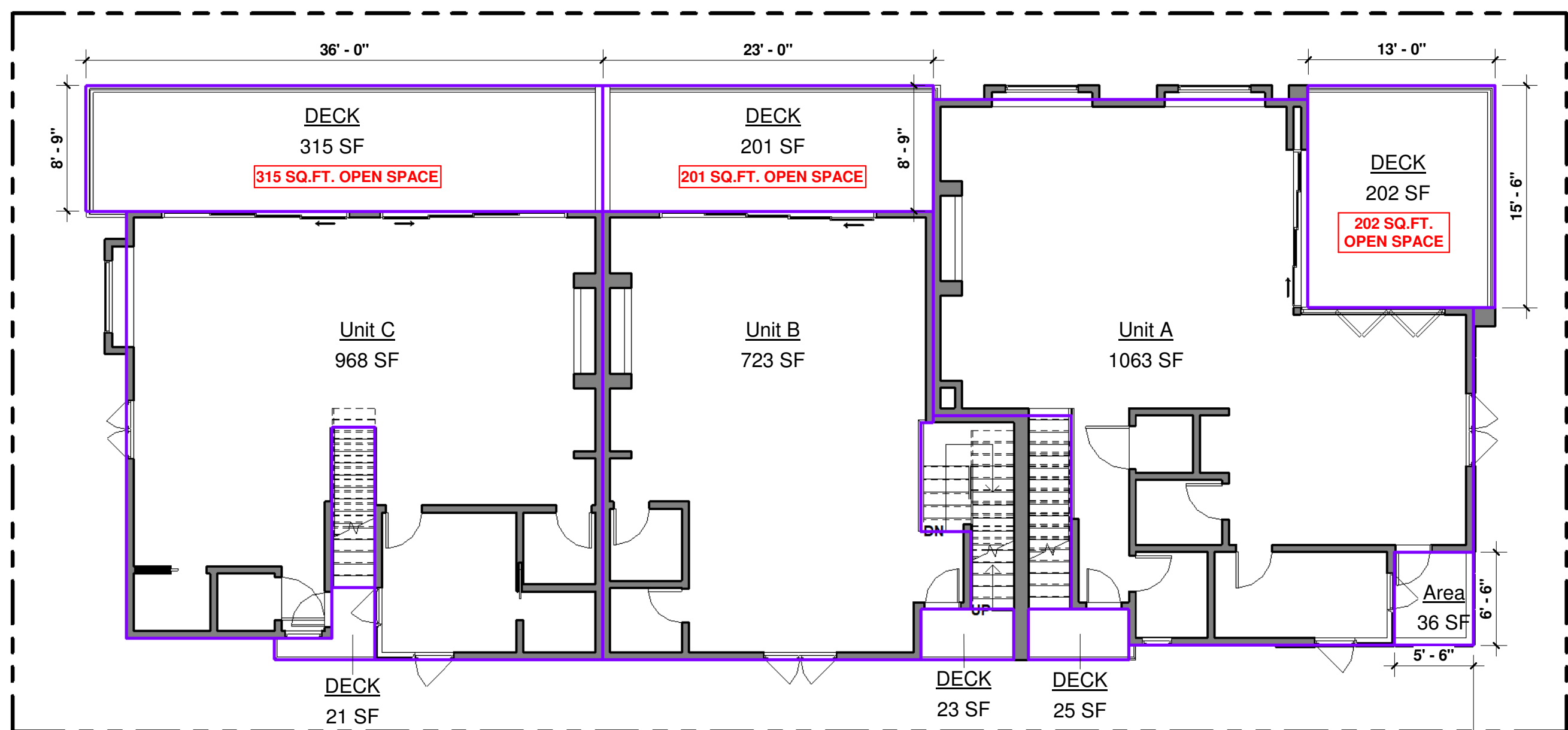
3 Second Floor Level
1/8" = 1'-0"



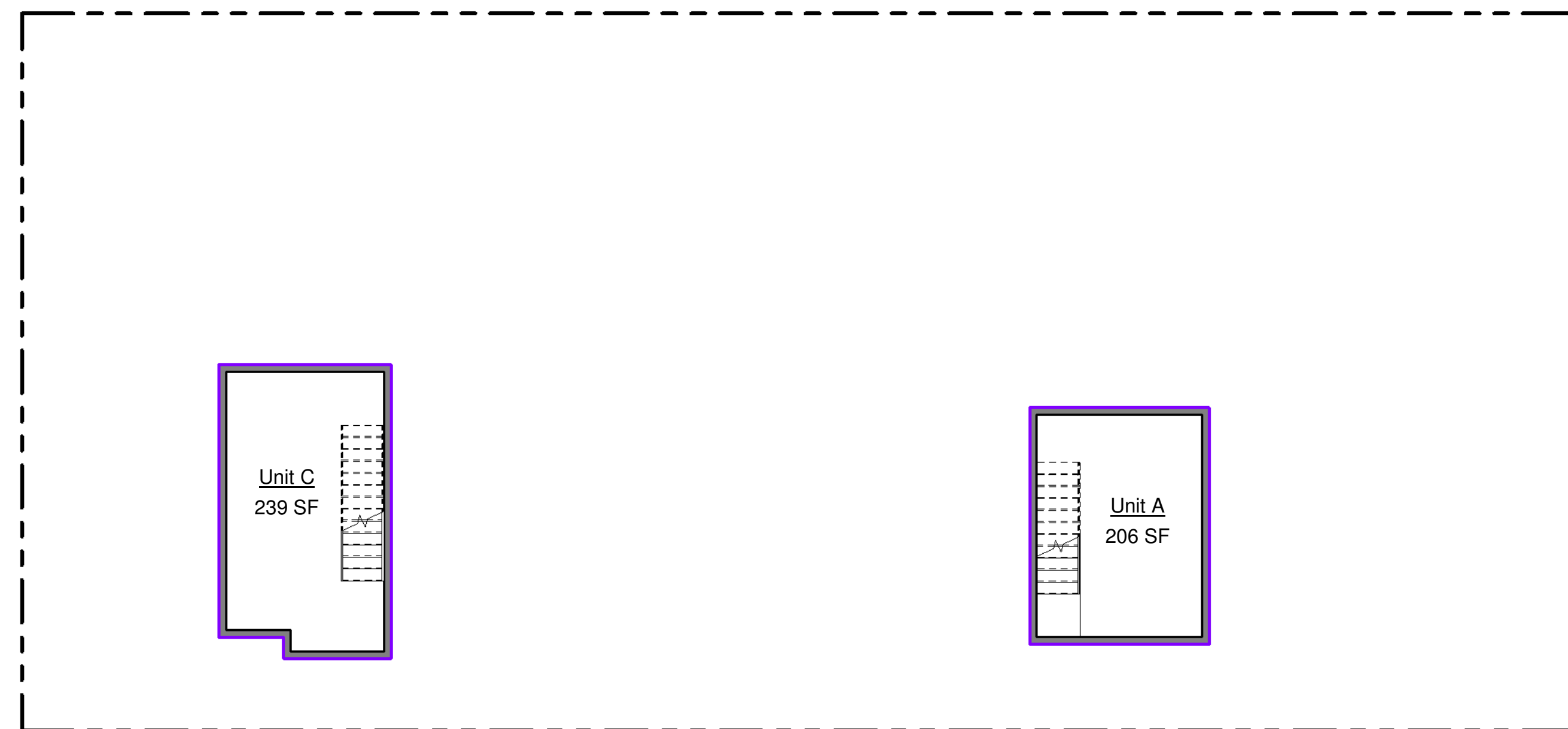
5 Roof Deck Level
1/8" = 1'-0"



2 First Floor Level
1/8" = 1'-0"



4 Third Floor Level
1/8" = 1'-0"



1 Basement Level
1/8" = 1'-0"



No.	Description	Date	Drawn by	Checked by	Date
				G.T.L.	August 30, 2023

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SYMBOL	VEGETATION TYPE	BOTANICAL NAME	COMMON NAME	REGIONAL EVALUATIONS WATER NEEDS	SIZE	DIAMETER (PLANTING/MATURED)	HEIGHT(PLANTING/MATURED)	QUANTITY
	G/P	DYMONDIA MARGARETAE	DYMONDIA	LOW	FLATS	20"	2-3 IN	379 SQ.FT. "REAR YARD"
	GNA	FESTUCA CALIFORNICA & CVS.	CALIFORNIA FESCUE	LOW		24"	24"	18 "SIDEYARD PLANTER"
	GRASSES	MUHLENBERGIA RIGENS	DEERGRASS	LOW		48"	48"	18 "SIDEYARD DRIVEWAY PLANTER"

AREA CALCULATION:

LOT AREA:	5406.00 SQ.FT.	
BUILDING FOOTPRINT:	2499.00 SQ.FT.	46.2%
TOTAL EXTERIOR SURFACE AREA	2907.00 SQ.FT.	(5406 - 2499)
NON-PERMEABLE AREA: WALKWAYS/CONCRETE STEPS/DRIVEWAY	1265.00 SQ.FT.	43.5%
PERMEABLE AREA: FRONT/SIDEYARD PLANTERS, PERMEABLE CONCRETE DRIVEWAY	1642.00 SQ.FT.	56.5%

IRRIGATION SYSTEM & SPECIFICATIONS: WATER EFFICIENT AUTOMATIC IRRIGATION SYSTEM W/ EVAPOTRANSPIRATION WITH A RAIN SHUT-OFF SENSOR. DRIP IRRIGATION EMITTERS SHALL EMIT NO MORE THAN (2) GALLONS PER HOUR.

NOTE: SEE C-SHEETS AND DRAINAGE (LID) PLAN FOR MORE INFORMATION.

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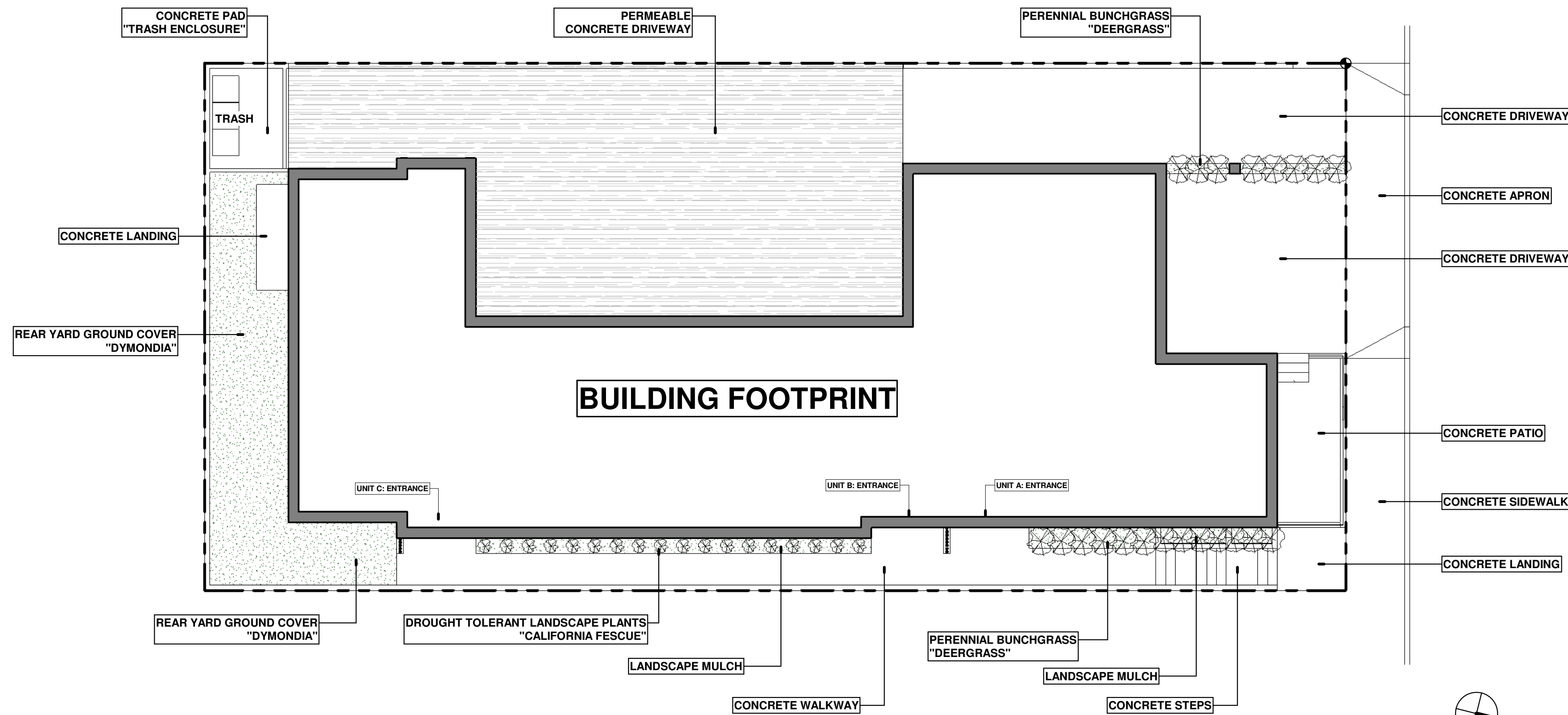
DYMONDIA MARGARETAE "DYMONDIA"



FESTUCA CALIFORNICA "CALIFORNIA FESCUE"



MUHLENBERGIA RIGENS "DEERGRASS"



2 Landscape Plan
1/8" = 1'-0"



8.56.070 Water conservation requirements.

The following water conservation requirements shall apply to all persons:

A. Landscaping.

- Watering hours and duration. No lawn or landscaped area shall be irrigated or watered by any means between the hours of 9:00 a.m. and 6:00 p.m. on any day. Above-ground spray irrigation or watering shall not exceed fifteen (15) minutes per irrigation station or area. This provision shall not apply to drip irrigation systems, use of a hand-held bucket or similar container, use of a hand-held hose equipped with a positive action quick-release shutoff valve or nozzle, irrigation necessary to establish newly planted low water usage plants, or water expended for limited periods of time necessary for irrigation system maintenance or leak repair.
- Over-watering: No lawn or landscaped area shall be irrigated or watered to the point where excess water ponds, sprays or runs off the lawn or landscaped area onto any walkways, sidewalks, driveways, streets, alleys or storm drains.
- Irrigation during rainfall: No lawn or landscaped area shall be irrigated or watered during rainfall or within 24 hours after measurable rainfall.
- Landscape maintenance: All lawns and landscaping shall be regularly maintained to reduce water use by such methods as aerating, thatching and mulching.
- Landscape irrigation system maintenance: Landscape irrigation systems shall be regularly inspected, maintained and repaired to eliminate leaks, remove obstructions to water emission devices and eliminate over spraying.

B. Pools and spas. New pools and spas shall be equipped with a cover. Not later than July 1, 2012, all existing pools and spas shall be constructed, installed or equipped with a cover. Pools and spas shall be covered overnight and daily when use is concluded.

C. Water fountains and decorative water features. No person shall operate a fountain or other decorative water feature that does not recycle or re-circulate the water utilized by the device.

D. Cleaning. No person shall use water to wash or clean any sidewalks, walkways, patios, driveways, alleys, parking or similar areas, whether paved or unpaved; however, use of water brooms or pressure washers or similar low flow technology, or water recycling systems to clean these surfaces, is permitted. In no case shall such water run off the property or drain onto any walkways, sidewalks, streets, alleys or storm drains.

E. Car washing. No person shall use water to wash or clean any motorized or un-motorized vehicle, including, but not limited to, an automobile, truck, boat, van, bus, motorcycle, trailer or similar vehicle, except by use of a bucket or similar container or a hand-held hose equipped with a positive action quick-release shutoff valve or nozzle. This subsection shall not apply to any commercial car washing facility that uses a water recycling system to capture or reuse water.

F. Waste and leaks. No person shall:

- Cause, permit or allow water to leak from any exterior or interior pipe, hose or plumbing fixture.
- Cause, permit or allow water to flow from any source on private or public property onto walkways, sidewalks, streets, alleys or storm drains, except as a result of rainfall or pumping excessive groundwater infiltration, such as by means of a sump pump.
- The use of water for cleaning, washing and other uses shall be performed in an efficient manner to reduce waste and total water use.

8.60.060 Standards for new or rehabilitated landscapes.

New or rehabilitated landscape projects shall be designed and managed to use the minimum amount of water required to maintain plant health. New or rehabilitated landscape projects shall comply with all of the requirements of the Model Efficient Ordinance and the following, whichever is more restrictive, unless an exception is granted pursuant to Section 8.60.050(D).

A. Plant material.

- Plant species and landscape design shall be adapted to the climate, soils, topographical conditions, and shall be able to withstand exposure to localized urban conditions such as pavement heat radiation, vehicle emissions and dust, and urban runoff. Water conserving plant and turf species shall be used.
- Plant species or specifications shall comply with any official list of species, guidelines or regulations adopted by the City to the extent that such lists, guidelines or regulations do not conflict with this Chapter.
- Plants listed in the current Invasive Plant Inventory for the southwest region by the California Invasive Plant Council or similar source acceptable the Community Development Director are prohibited, except for known non-fruitlet, non-invasive, sterile varieties or cultivars. Plants known to be susceptible to disease or pests in this Climate Zone six (6) shall not be used.
- The landscape area of projects proposing exclusively commercial or industrial uses shall be designed using exclusively water conserving plants. There shall be no turf in non-residential areas. Single family residential, multi-family residential, mixed use and institutional use projects shall be designed with not more than twenty (20) percent of the total landscape area in turf or high water use plants in the Water Use Classification for Landscape Species (WUCOLS). Turf may be used as a bio-swale or bio-filter or functional purposes such as active recreational areas as determined by the Community Development Director. Public agencies shall be exempt from this requirement.
- Turf shall not be allowed on slopes greater than twenty (20) percent. Where the toe of the slope is adjacent to an impermeable surface, alternatives to turf should be considered on slopes exceeding twenty (20) percent, meaning one (1) foot of vertical elevation change for every four (5) feet of horizontal length. Approved turf areas may be watered at 1.0 of the reference evapotranspiration (ET₀).
- Planted areas shall be covered with a minimum of three (3) inches of organic mulch, except in areas covered by groundcovers or within twenty-four (24) inches of the base of a tree, or where a reduced application is indicated. Additional mulch material shall be added from time to time as necessary to maintain the required depth of mulch.
- Species and landscape design shall complement and to the extent feasible in compliance with this Chapter be proportional to the surroundings and streetscape and incorporate deciduous trees to shade west and south exposures. Landscaping shall not interfere with safe sight distances for vehicular traffic, the vision clearance in Section 17.46.060, height restrictions for hedges in 17.46.130, pedestrian or bicycle ways, or overhead utility lines or lighting.

B. Water features, pools and spas.

- Recirculating water systems shall be used for water features. Where available, recycled water shall be used as a source for decorative water features.
- Pools and spas shall be equipped with a cover and covered overnight and daily when use is concluded.

C. Grading and runoff. Landscape design shall minimize soil erosion and

- Grading plans shall avoid disruption of natural drainage patterns to the extent feasible.
- Grading plans shall demonstrate that normal rainfall and irrigation will remain within the property lines and not drain onto impermeable surfaces, walkways, sidewalks, streets, alleys, gutters, or storm drains.
- Plans and construction shall protect against soil compaction within landscape areas.
- Stormwater best management practices to minimize runoff, to increase on-site retention and infiltration, and control pollutants shall be incorporated into project plans. Rain gardens, cisterns, swales, structural soil, permeable pavement, connected landscape areas, and other landscape features and practices that increase onsite rainwater capture, storage and infiltration, emphasizing natural approaches over technology-based approaches that require ongoing maintenance, shall be considered during project design. Plans and practices shall comply with Chapter 8.44.

D. Irrigation systems.

- An automatic irrigation system using either evapotranspiration or soil moisture sensor data, with a rain shut-off sensor, shall be installed. All irrigation emission devices must meet the requirements set in the American National Standards Institute (ANSI) standard, American Society of Agricultural and Biological Engineers/International Code Council's (ASABE/ICC) 802-2014 "Landscape Irrigation Sprinkler and Emitter Standard. All sprinkler heads installed in the landscape must document a distribution uniformity low quarter of 0.65 or higher using the protocol defined in ASABE/ICC 802-2014.
- An irrigation efficiency of 0.75 for overhead spray devices and 0.81 for drip systems shall be used for the purpose of determining Maximum Applied Water Allowance. Irrigation systems shall be designed, maintained, and managed to meet or exceed this efficiency. Landscapes using recycled water are considered Special Landscape Areas, where the ET Adjustment Factor shall not exceed 1.0.
- The irrigation system shall be designed to prevent water waste resulting in runoff, overspray, or similar conditions where irrigation water ponds or flows onto non-irrigated areas, walkways, sidewalks, streets, alleys, gutters, storm drains, adjacent property, or similar untargeted areas. Runoff to other permeable or impermeable surfaces shall not be allowed.
- Narrow or irregularly shaped areas, including turf less than eight (8) feet in width in any direction, shall be irrigated with subsurface irrigation or low volume above-ground irrigation system.
- Overhead irrigation shall not be permitted within two (2) feet of any impermeable surface. Drip, drip line, or other low flow non-spray technology shall be used.
- All sprinklers shall have matched precipitation rates within each valve and circuit. All irrigation systems shall be designed to include optimum distribution uniformity, head to head spacing, and setbacks from sidewalks, pavement and impermeable surfaces.
- All irrigation systems shall provide backflow prevention devices in accordance with the current edition of the California Building/Plumbing Code and check valves at the low end of irrigation lines to prevent unwanted draining of irrigation lines. Pressure regulators may be required if the pressure at the sprinkler head exceeds the manufacturer's recommended optimal operating pressure.
- Reclaimed water and graywater irrigation systems shall be used when reasonably feasible and shall conform to the current edition of the California Building/Plumbing Code, and all other applicable local, state and federal laws.

E. Irrigation system hydrozones.

- The irrigation system shall conform to the hydrozones of the landscape design plan.
- Each hydrozone shall have plant materials with similar water use, with the exception of hydrozones with plants of mixed water use where the plant factor of the higher water using plant is used for calculations. No hydrozone shall mix high and low water use plants.
- Sprinkler heads and other emission devices shall be appropriate for the plant type within that hydrozone. Where feasible, trees shall be placed on separate valves from turf, shrubs and groundcovers.
- No landscape plan or restriction of any type, including those applicable to common interest developments such as condominiums, shall prohibit or include conditions that have the effect of prohibiting native or water conserving plants.

F. Landscape and irrigation maintenance.

- All landscape and related elements shall be designed and properly maintained to insure long-term health and shall maintain conformance with the requirements of this Chapter.
- Irrigation scheduling shall be regulated by automatic irrigation controllers.
- Watering hours and duration shall be scheduled compliant with the requirements of Chapter 8.56.
- A regular maintenance schedule shall include, but not be limited to, routine inspection, adjustment and repair of the irrigation system, aerating and dethatching turf areas, replenishing mulch, fertilizing, pruning, weeding and removing any obstruction to emission devices.
- Repair of all irrigation equipment shall be promptly undertaken, using the originally installed components, or equivalent or enhanced components compatible with the irrigation system.
- Landscape areas shall be permanently maintained and kept free of weeds, debris and litter; plant materials shall be maintained in a healthy growing condition and diseased or dead plant materials shall be replaced, in kind, pursuant to the approved plans within thirty (30) days. Alternatively, diseased or dead plant materials may be replaced with plant materials that have low water needs, as rated in the current edition of the Water Use Classification of Landscape Species.
- The use, storage and disposal of all landscape and lawn care products shall comply with all manufacturer's specifications and applicable laws, and minimize the discharge of pollutants to the environment.

G. Notwithstanding the requirements of this Section, landscape design and maintenance shall additionally comply with the requirements of Chapters 8.44 and 8.56, Title 17 (Zoning), any other applicable provisions of this code, and the requirements of a development permit, whichever is more restrictive.

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SHT. CONTENT

Landscape Plan

CLIENT

"AQUA VILLAS on 9th"
620 9TH Street
Hermosa Beach, CA

REVISIONS

No.	Date	Description

Checked by: G.T.L.
Drawn by: G.T.L.

SHT. ID.

A112

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