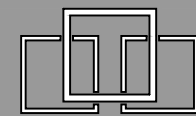


MCKEOWN RESIDENCE

414 MONTEREY BOULEVARD

HERMOSA BEACH, CA. 90254



TOMARO

ARCHITECTURE

2617 NORTH SEPULVEDA BLVD.
MANHATTAN BEACH, CA 90286
TEL: 310-318-8089 WWW.TOMARO.COM

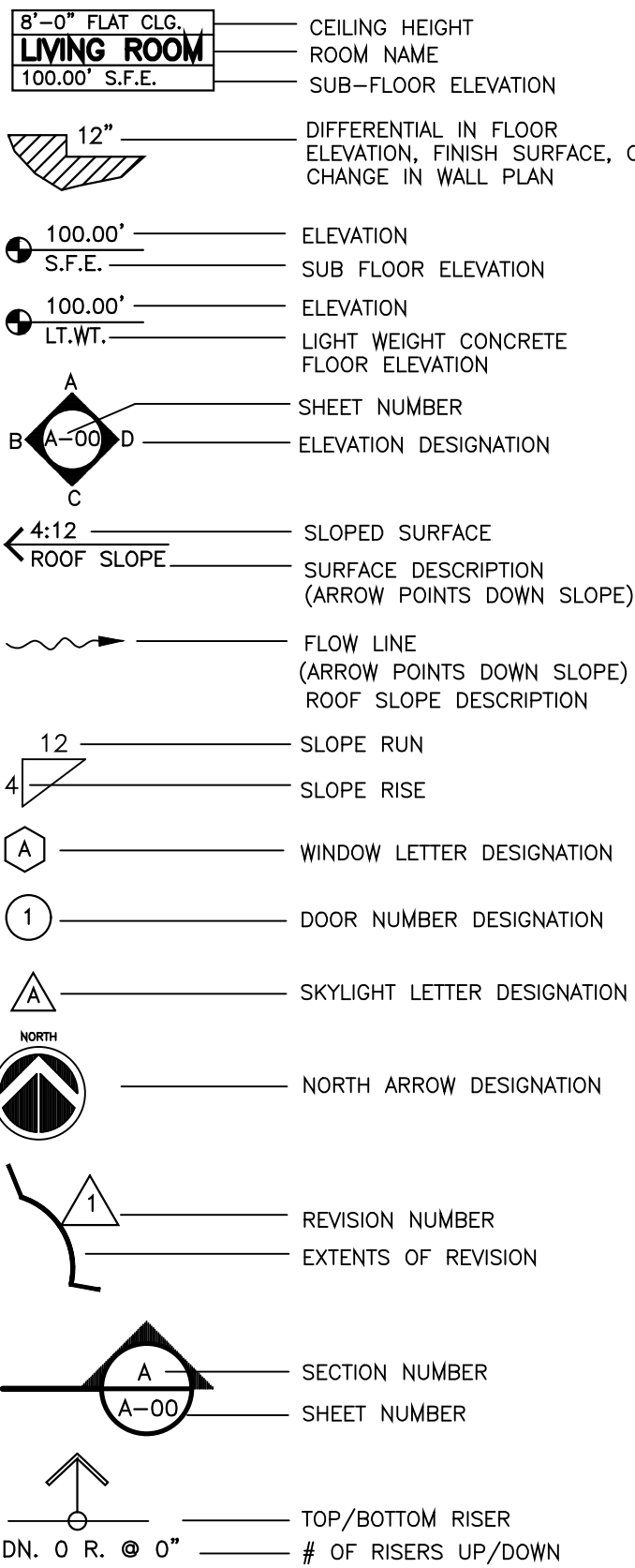
GENERAL NOTES

- NOT USED
- AQMD NOTIFICATION IS REQUIRED 10 DAYS BEFORE BEGINNING ANY DEMOLITION WORK. REQUIRED FORM IS AVAILABLE AT THE COMMUNITY DEVELOPMENT DEPARTMENT. PROVIDE PROOF OF NOTIFICATION (MAIL WITH RETURN RECEIPT) 10 DAYS BEFORE BUILDING PERMIT IS ISSUED, OR COMPLETE ASBESTOS NOTIFICATION WAIVER.
- SOILS REPORT SHALL BE PROVIDED TO THE BUILDING DEPARTMENT FOR ALL CUTS, FILLS, AND EARTHWORK AS REQUIRED BY SECTION 1804.1-1804.4 UBC.
- STUMPS AND ROOTS SHALL BE REMOVED TO A DEPTH OF 12" IN THE AREA OCCUPIED BY THE BUILDING.
- INSTALLATION OF INTERIOR AND EXTERIOR WALL AND CEILING COVERINGS SHALL CONFORM TO CHAPTER 25 UBC.
- ALL WATER CLOSETS TO FLUSH WITH 1.6 GALLON MAX. (CPC 402.1, 402.2)
- ALL HOSE BIBS MUST BE PROTECTED BY BACK FLOW PREVENTION AND HAVE AN ANTI-SIPHON DEVICE.
- PROVIDE APPROVED BACKWATER VALVE FOR ALL PLUMBING FIXTURES LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. PROVIDE CAST IRON WASTE PIPING RISERS.
- ALL WINDOW COVERINGS REQUIRED BY CFIR. FORM SHALL BE POSTED PRIOR TO FINAL INSPECTION.
- WRITTEN APPROVAL FROM THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQM). (714)396:2000 PER RULE 1403 FOR THE PROPER DISPOSAL OF ASBESTOS.
- ONLY LOS ANGELES COUNTY HEALTH DEPARTMENT APPROVED DEVICES MAY BE UTILIZED FOR LANDSCAPE IRRIGATION BACK FLOW PREVENTION DEVICES.
- ENTIRE BUILDING TO BE FULLY SPRINKLERED.
- PROVIDE DRIP PAN OR SIMILAR DEVICE FOR LAUNDRY ROOM, WATER HEATER, AND DISHWASHER.
- PROVIDE SURVEY STAKES PRIOR TO FOUNDATION INSPECTION TO VERIFY LOT LINES.
- THE ARCHITECT IS NOT RESPONSIBLE FOR SITE GRADING OR DRAINAGE.
- IAPMO APPROVAL REQUIRED FOR ONE PIECE LAVATORY.
- POST INSULATION COMPLIANCE CARD IN CONSPICUOUS LOCATION IN DWELLING PRIOR TO FINAL INSPECTION.
- IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO VERIFY THAT THE BUILDING IS WITHIN THE HEIGHT LIMIT PRIOR TO FRAMING THE ROOF RAFTERS. CONTACT THE CIVIL SURVEY CONSULTANTS.
- CONTROL VALVE FOR SHOWERS AND TUB/SHOWERS SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. UPC. SECT. 410.7.
- VERIFY CLEARANCES WITH OVERHEAD UTILITY LINES FROM ALL PERMANENT AND TEMPORARY STRUCTURE INCLUDING SCAFFOLDING AND OTHER WORKING AREAS DURING CONSTRUCTION. CLEARANCE TO BE 8 FT. HORIZONTAL AND 12 FT. VERTICAL. VERIFY WITH SOUTHERN CALIFORNIA EDISON CO. BEFORE COMMENCING CONSTRUCTION.
- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.
- GARAGE DOOR EXTENSION SPRINGS SHALL BE FABRICATED FROM EITHER HAND DRAWN - SPRING WIRE (ASTM. A227-21)OR OIL-TEMPERED WIRE (ASTM. A229-71) AND INSULATED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION. (CBC. 1211.1)
- DESIGN STANDARDS. MINIMUM DESIGN STANDARD SHALL BE 9,000 CYCLES. (ONE CYCLE IS EQUAL TO DOOR OPENING PLUS DOOR CLOSING AT MAXIMUM WORKING LOAD). (CBC. 1211.2)
- PHYSICAL CYCLING TESTS OF EACH EXTENSION SPRING DESIGN AND CONTAINMENT DEVICES SHALL BE TESTED AND CERTIFIED BY AN APPROVED TESTING AGENCY. (CBC. 1211.3)
- EACH EXTENSION SPRING SHALL BE EQUIPPED WITH AN APPROVED DEVICE CAPABLE OF RESTRAINING THE SPRING OR ANY PART THEREOF IN THE EVENT IT BREAKS. (CBC. 1211.4)
- INSTALL ON THE COLD WATER SUPPLY PIPE AT THE TOP OF THE WATER HEATER A CAPPED "T" FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATING.
- FENCE, WALL, HANDRAIL AND HEDGE HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF: 42" IN THE FRONT YARD SETBACK AND 6" AT ALL OTHER LOCATIONS ON SITE (3' IN THE DRIVEWAY VISIBILITY TRIANGLE AND IN THE TRAFFIC VISION CLEARANCE TRIANGLE).
- CERTIFICATES OF INSTALLATION (CF2R-ENV, CF2R-LTG AND CF2R-MECH) SHALL BE COMPLETED BY THE APPLICABLE CONTRACTORS INSTALLING ENERGY FEATURES. WHEN COMPLIANCE REQUIRES HERS FIELD VERIFICATION AND/OR TESTING, ALL CF2R FORMS SHALL BE POSTED AT THE JOB SITE IN A CONSPICUOUS LOCATION.
- CERTIFICATE OF VERIFICATION (CF3R) SHALL BE COMPLETED, REGISTERED, AND SIGNED/CERTIFIED BY THE HERS RATER. THE REGISTERED CF3R FORM SHALL BE MADE AVAILABLE TO THE BUILDING DEPARTMENT AND BUILDER.
- EXTERIOR WALLS TO BE 2X6 MIN. WITH R-21 INSULATION.

ABBREVIATION

A.H.	ACTUAL HEIGHT
A.W.	AWNING WINDOW
B.O.W.	BOTTOM OF WALL
C.H.	CRITICAL HEIGHT
CLG.	CEILING
CLR.	CLEAR
COL.	COLUMN
CONC.	CONCRETE
C.W.	CASEMENT WINDOW
DIM.	DIMENSION
DN.	DOWN
ELEV.	ELEVATION
F.A.	FROM ABOVE
FLR.	FLOOR
FX.	FIXED
HORZ.	HORIZONTAL
HT.	HEIGHT
LAND.	LANDING
LT.WT.	LIGHT WEIGHT CONCRETE
MAX.	MAXIMUM
MIN.	MINIMUM
OP.	OPERABLE
PLINE.	PROPERTY LINE
REQ.	REQUIRED
SECT.	SECTION
S.F.E.	SUB FLOOR ELEVATION
SHT.	SHEET
SK.	SKewed
SL.	SLOPED
T.O.W.	TOP OF WALL

SYMBOL LEGEND



CALCULATIONS

AREA CALCULATION

LOT SIZE = 3,581 S.F.

		UNIT-A	UNIT-B
SUB-BASEMENT - STORAGE			2,195 S.F.
BASEMENT - GARAGE	1,130 S.F.		
BASEMENT - LIVING			447 S.F.
BASEMENT - STORAGE			725 S.F.
FIRST FLOOR LIVING		1,991 S.F.	281 S.F.
SECOND FLOOR LIVING			2,102 S.F.
THIRD FLOOR LIVING			1,274 S.F.
DECK - FIRST FLOOR	321 S.F.		
DECK - SECOND FLOOR	272 S.F.		
DECK - THIRD FLOOR	1164 S.F.		
DECK - ROOF DECK	410 S.F.		

LIVING AREA CALCULATION

BASEMENT - LIVING	=	447	
FIRST FLOOR LIVING	1991 + 281 =	2,272	UNIT A: 2,719
SECOND FLOOR LIVING	=	2,102	UNIT B: 4,036
THIRD FLOOR LIVING	=	1,274	
TOTAL:		6,095	

OPEN SPACE CALCULATION

FOR UNIT-A:	REQUIRED: 300 S.F.	
	PROVIDED = 186 + 135 = 321.00 S.F.	
FOR UNIT-B:	REQUIRED: 300 S.F.	
	PROVIDED = 1,424 + 410 = 1,834.00 S.F.	
		ROOF DECK

PARKING

4 CAR GARAGE REQUIRED
6 CAR GARAGE PROVIDED

PROJECT DATA

PROPERTY OWNERS

KENT MCKEOWN
414 MONTEREY BLVD.
HERMOSA BEACH, CA 90254

LEGAL DESCRIPTION

APN: 4188-019-066

OCCUPANCY AND ZONING—MAIN

OCCUPANCY: MULTI-FAMILY RESIDENTIAL

ZONING: R-3

CONSTRUCTION TYPE: TYPE V-B

AREA DISTRICT: 1

NO. OF UNITS: 2

NO. OF STORIES: 3 + BASEMENT + SUB BASEMENT

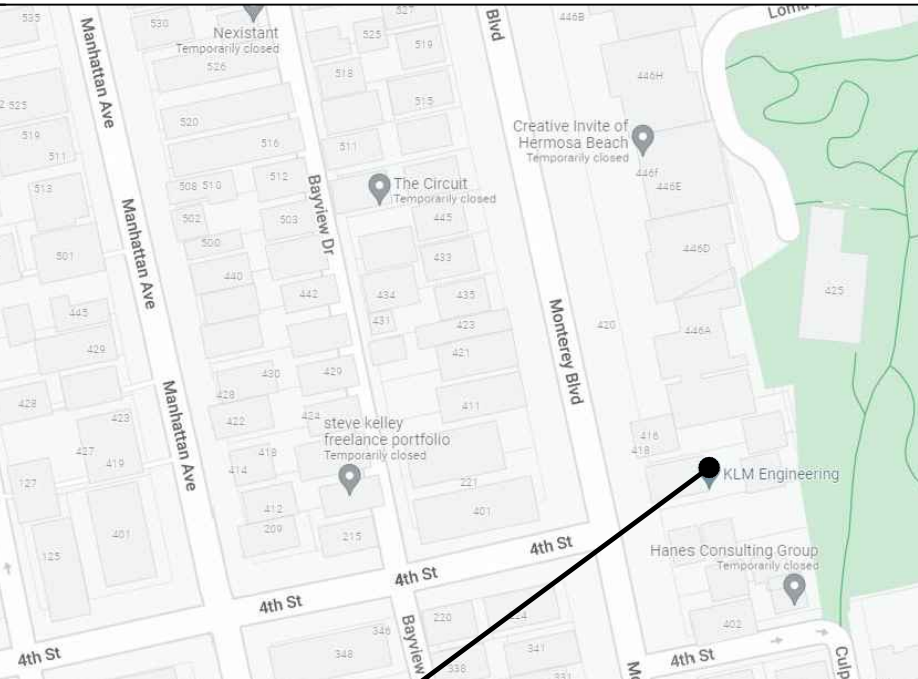
FULLY SPRINKLERED PER R313.1 + R313.2: YES

AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN THE HOUSE PER CRC SECT. R313.2 AND IN THE GARAGE PER SECT R309.6

CITY, STATE, NATIONALLY APPLICABLE CODES

2019 CBC, 2019 OMC, 2019 CPC, 2019 CEC, STATE OF CALIFORNIA, 2019 CALIFORNIA RESIDENTIAL CODE AND THE CITY OF HERMOSA BEACH, 2019 BEES, 2019 CGBSC

VICINITY MAP



PROJECT SITE
HERMOSA BEACH, CA.

REVISION

3 2 1

SHEET INDEX

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C-3	ABBREVIATIONS AND LEGEND
C-4	GRADING AND DRAINAGE PLAN
C-5	EROSION CONTROL PLAN
C-6	DETAILS
C-7	DETAILS
C-8	DETAILS
A.00	AREA CALCULATIONS
A.00.1	CRITICAL HEIGHT CALCS
	ENCHROACHMENT PLAN
A.01	SITE PLAN
A.02	SUB BASEMENT + BASEMENT FLOOR PLAN
A.03	FIRST FLOOR + SECOND FLOOR PLAN
A.04	THIRD FLOOR + ROOF PLAN
A.05	ELEVATIONS
A.06	ELEVATIONS
A.07	ELEVATIONS
A.08	SECTION-A
A.08	SECTION-B

PROJECT

McKEOWN RESIDENCE

414 MONTEREY BOULEVARD
HERMOSA BEACH
CALIFORNIA 90254

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PROJECT NUMBER

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PRINT DATE

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DRAWING

PROJECT INFORMATION

SHEET NUMBER

G.00

MAXIMUM HEIGHT NOTE

PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, AND ROOF EQUIPMENT, MUST BE WITH THE MAXIMUM HEIGHT LIMIT.

CONSULTANTS

CIVIL SURVEY CONSULTANT TITLE 24 CONSULTANT
DENN ENGINEERS 310.542.9433
3914 DEL ANO BLVD. SUITE 921
TORRANCE, CA. 90503

STRUCTURAL CONSULTANT INTERIOR DESIGNER

DRAINAGE CONSULTANT
FGB CIVIL ENGINEERING
17410 ELAINE AVENUE
ARTESIA, CA 90701
TEL: (562) 412-2520
LANDSCAPE CONSULTANT



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TEL: 310-318-8089 WWW.TOMARO.COM

**McKEOWN
RESIDENCE**

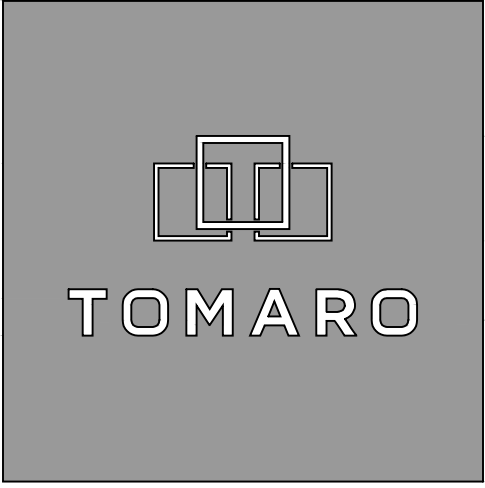
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ENCROACHMENT PLAN & CRITICAL HT. CALCS

A.00.1





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PROJECT

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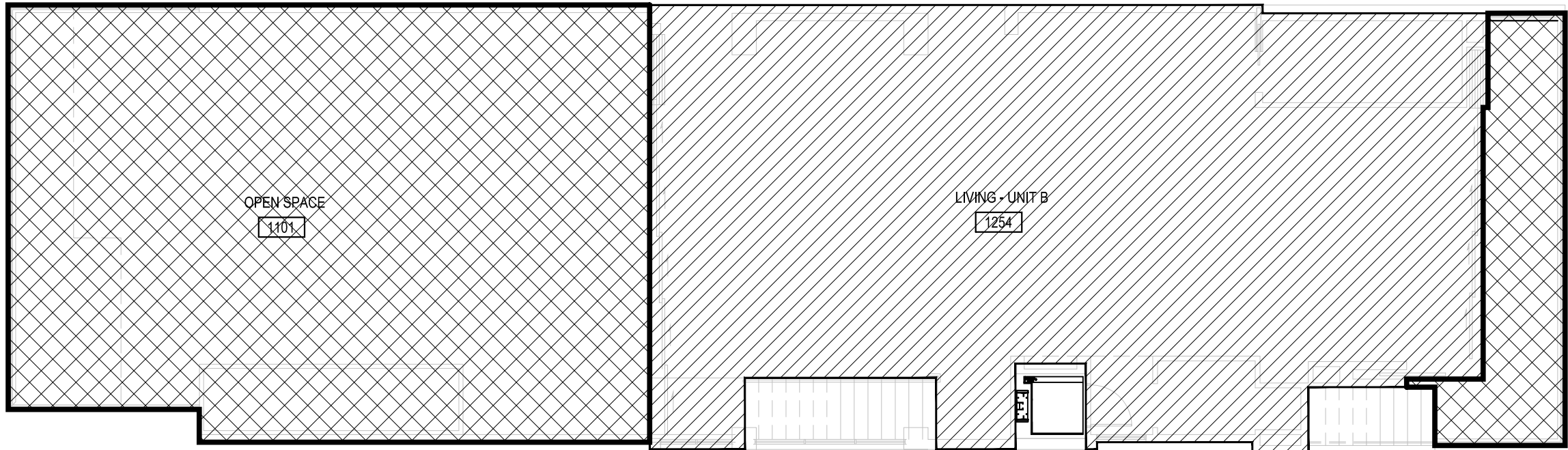
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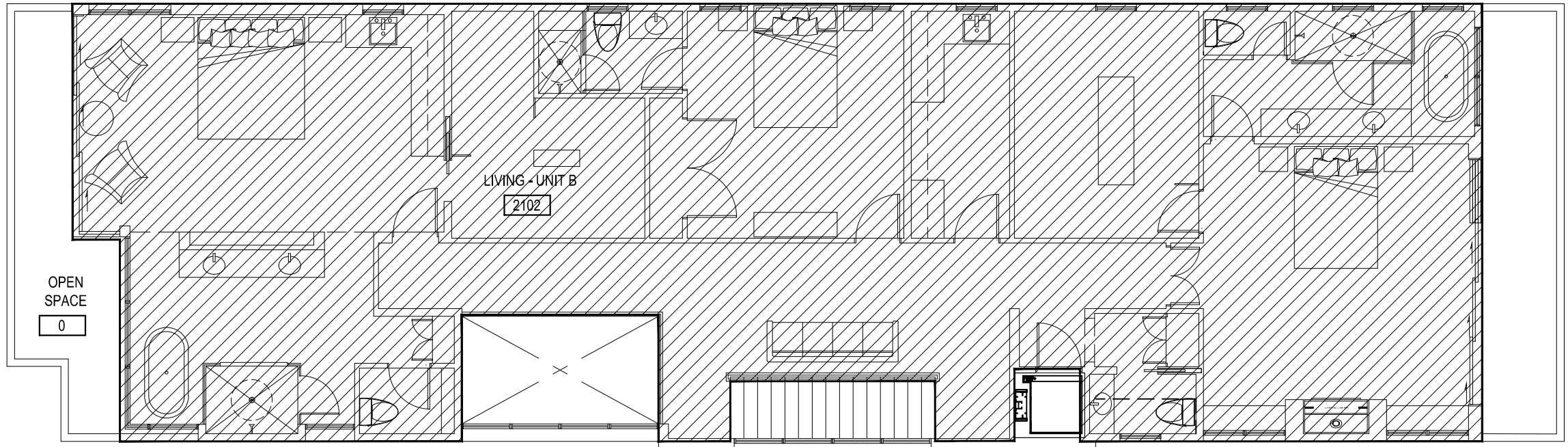
AREA
CALCULATION

SHEET NUMBER

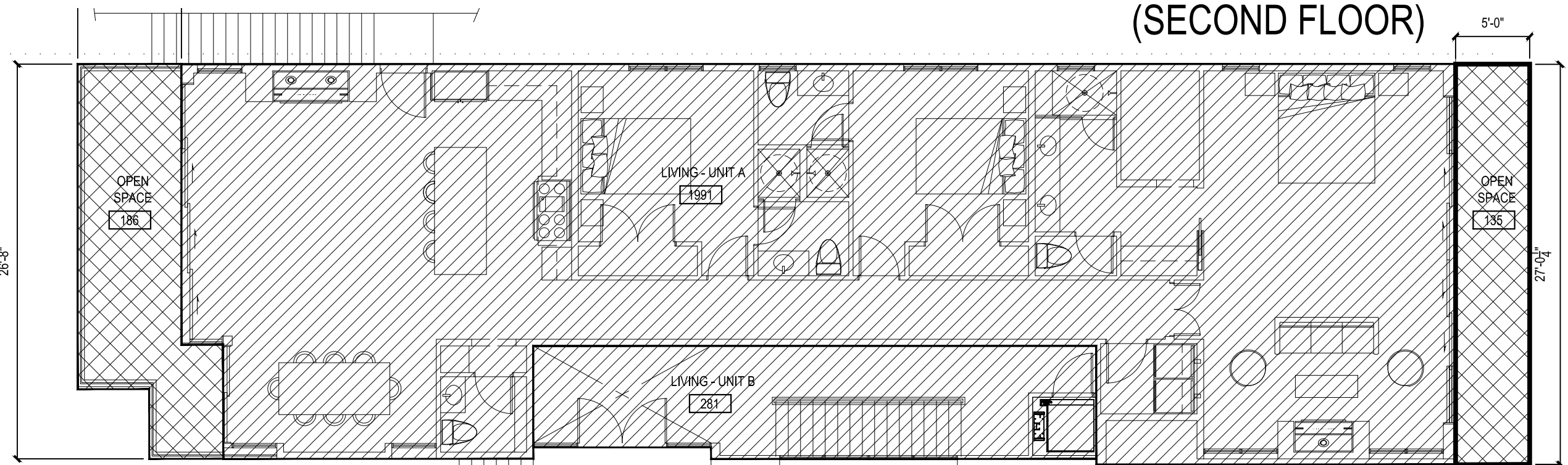
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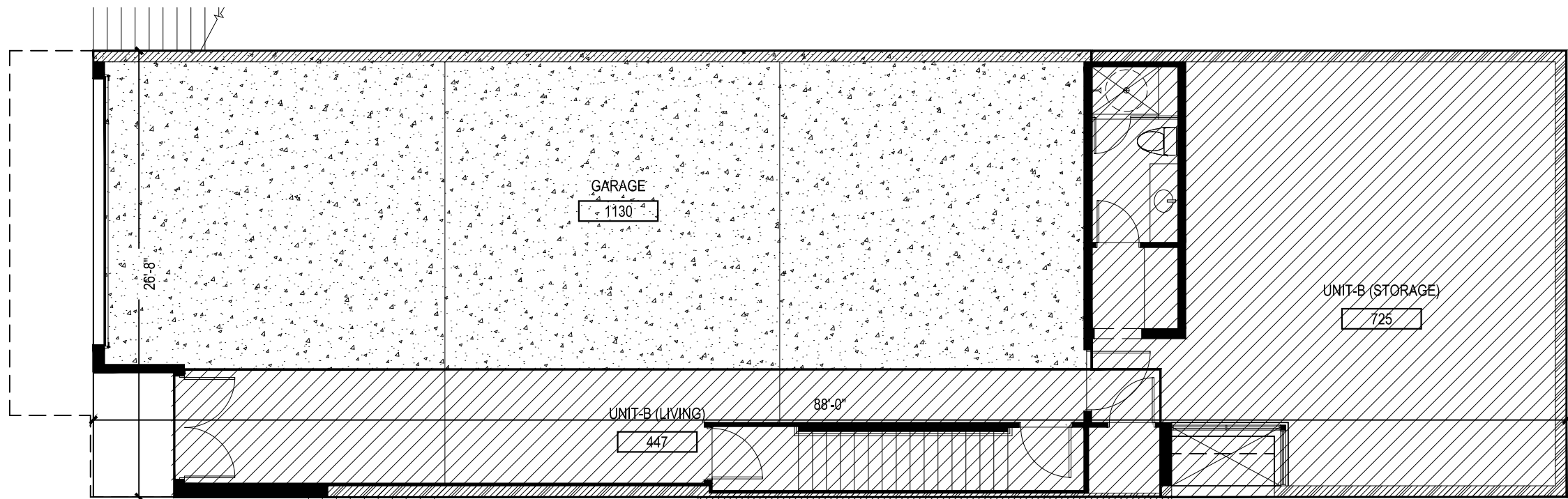
(THIRD FLOOR)



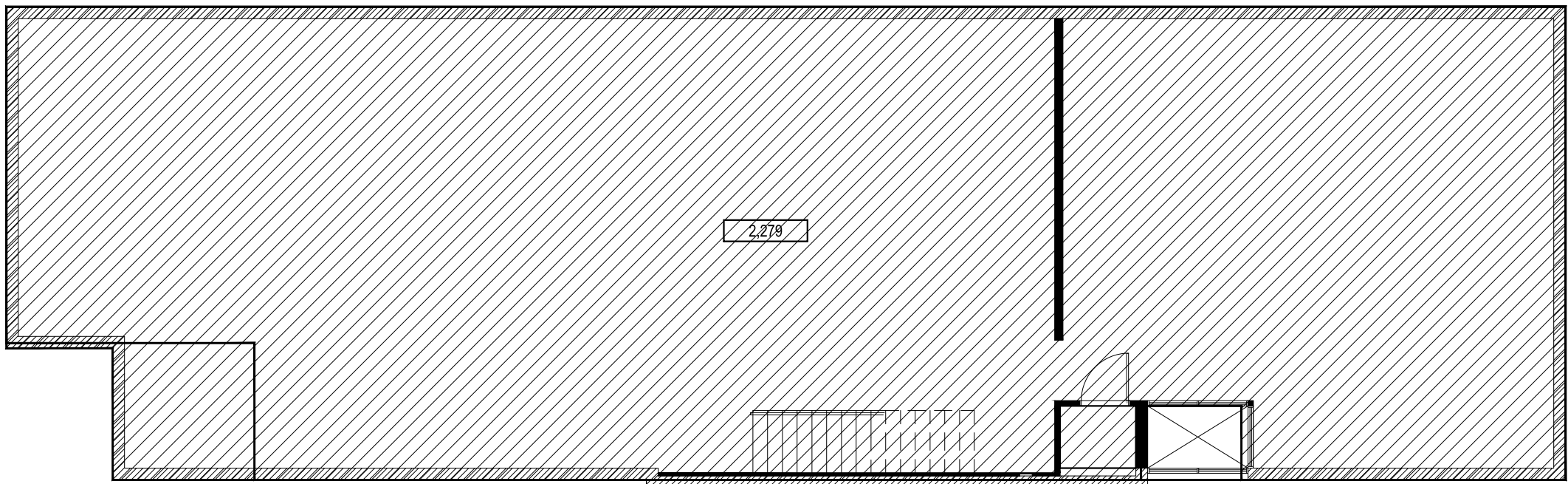
(SECOND FLOOR)



(FIRST FLOOR)



(BASEMENT)



(SUB BASEMENT)

AREA CALCULATION

LOT SIZE = 3,581 S.F.

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PROVIDED = 186 + 135 = 321.00 S.F.

FOR UNIT-B: REQUIRED: 300 S.F.
PROVIDED = 1,424 + 410 = 1,834.00 S.F.

ROOF DECK

MARK	AREA
A	93
B	2218
C	12
TOTAL	2,323

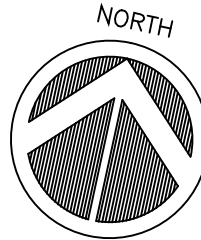
LOT COVERAGE
LOT SIZE = 3,581 S.F.
ALLOWED = 3,581 X 0.65 = 2,327.65
PROPOSED = 2,323 S.F. (64.87%)

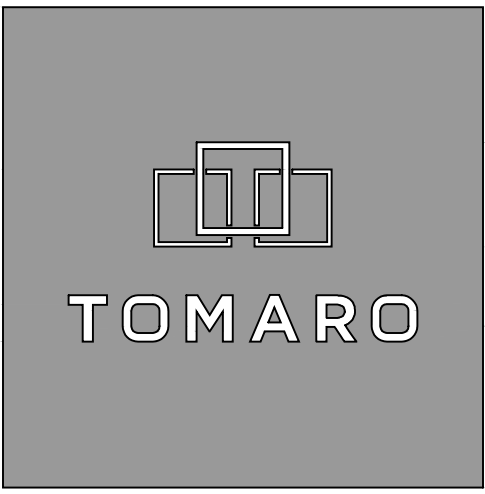
LOT COVERAGE CALCULATION

SCALE: 1/8"=1'-0"

AREA AND OPEN SPACE CALCULATIONS

SCALE: 1/8"=1'-0"





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PROJECT

McKEOWN
RESIDENCE
414 MONTEREY BOULEVARD
HERMOSA BEACH
CALIFORNIA 90254

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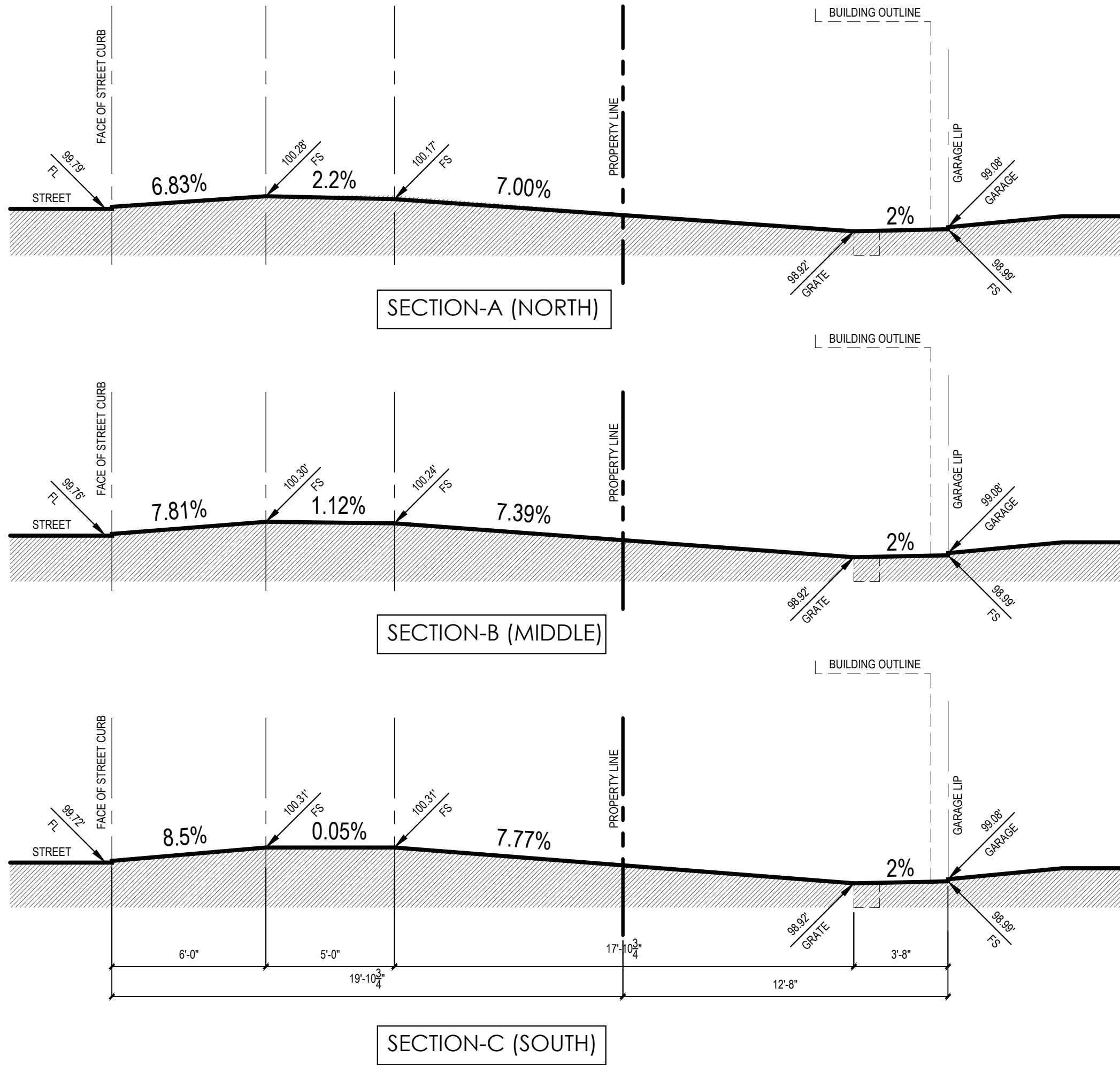
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SITE PLAN

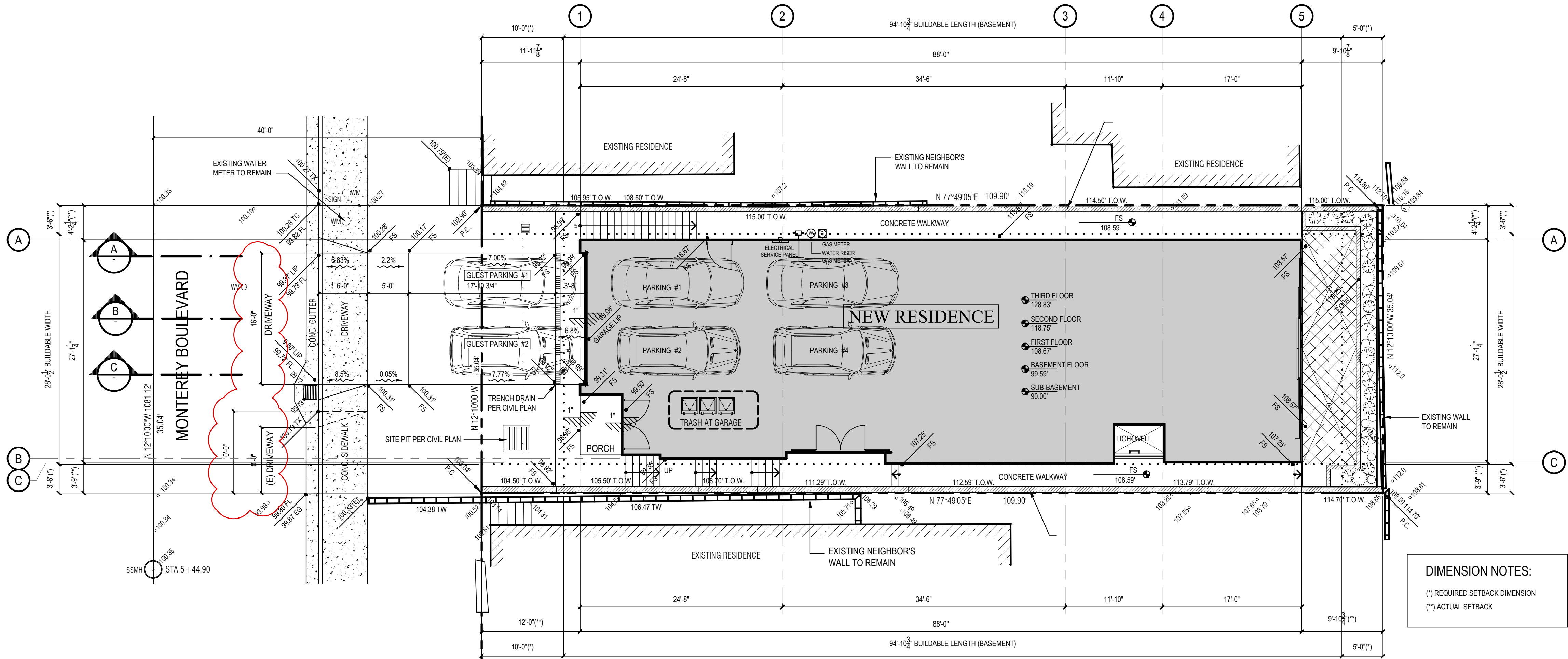
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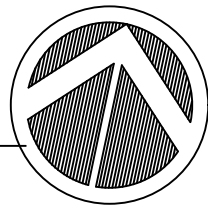
DRIVEWAY PROFILE

SCALE: 1/4"=1'-0"



SITE PLAN

DIMENSION NOTES:
(*) REQUIRED SETBACK DIMENSION
(**) ACTUAL SETBACK



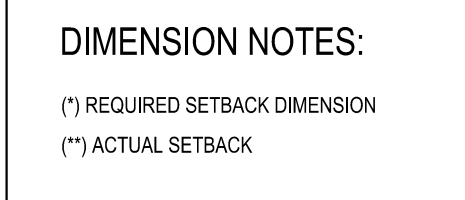
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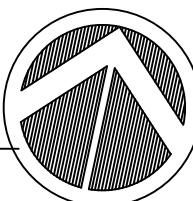
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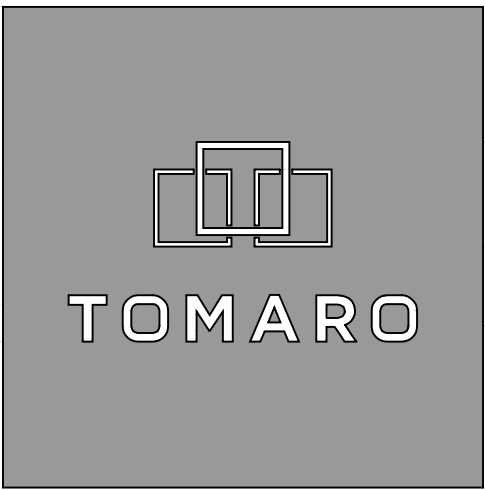
SITE PLAN



SCALE: 1/4"=1'-0"



A.01



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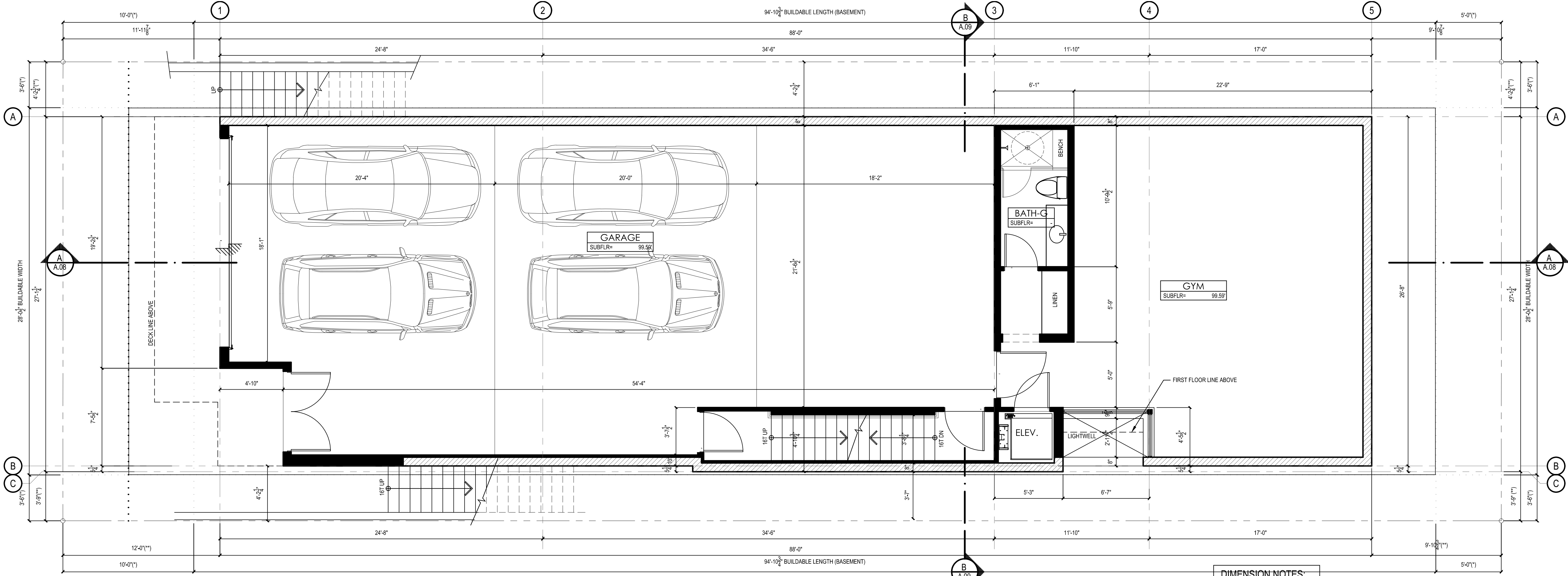
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	DESCRIPTION	

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DRAWING
SUB BSMT. AND
BASEMENT PLAN

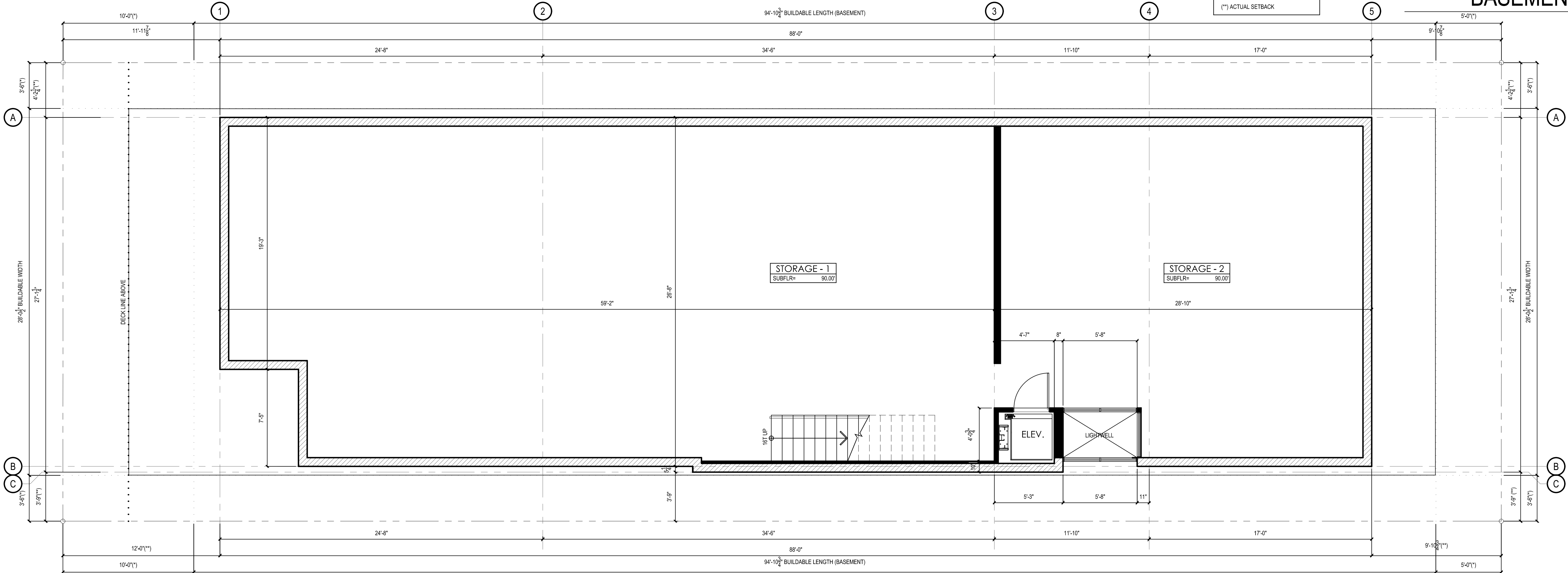
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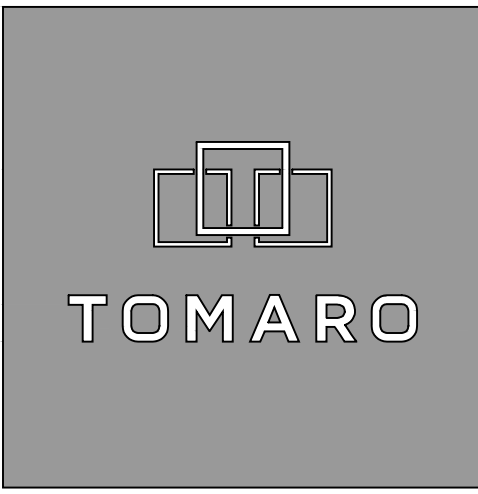
BASEMENT PLAN

SCALE: 1/4"=1'-0"



SUB BASEMENT PLAN

SCALE: 1/4"=1'-0"



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MANHATTAN BEACH, CA 90266
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PROJECT
**McKEOWN
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414 MONTEREY BOULEVARD
HERMOSA BEACH
CALIFORNIA 90254

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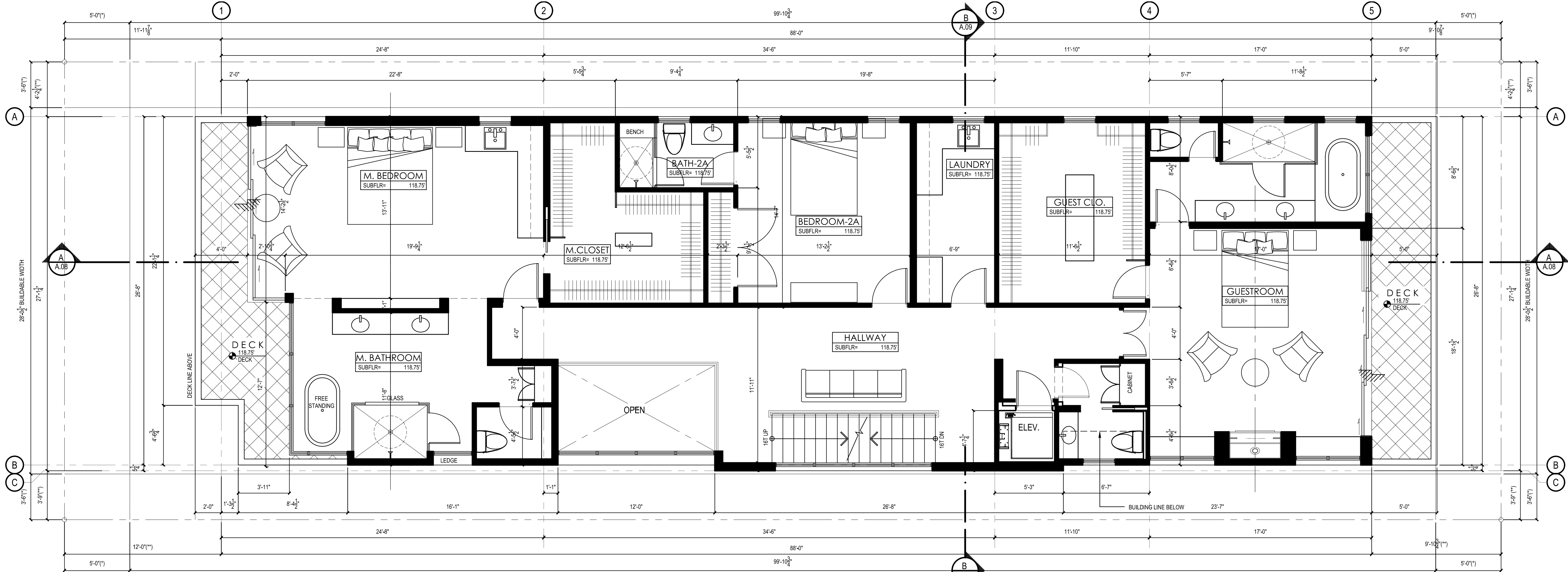
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DRAWING
**FIRST FLOOR AND
SECOND FLOOR
PLAN**

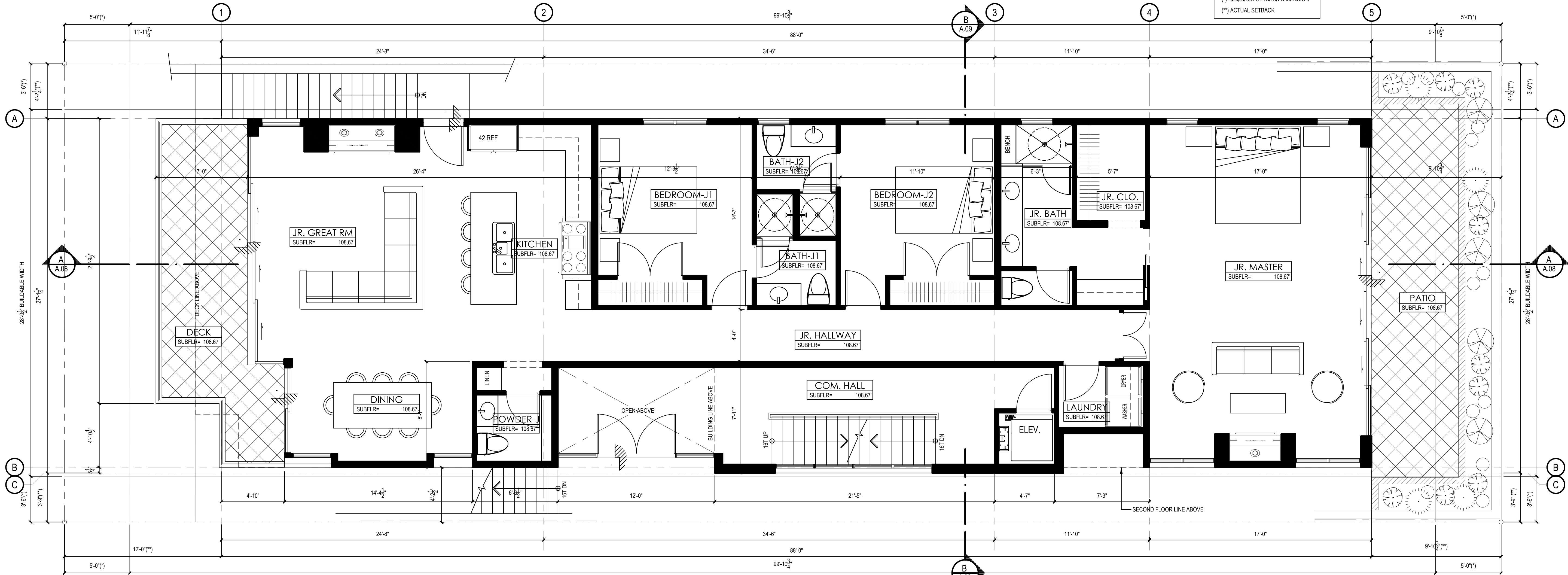
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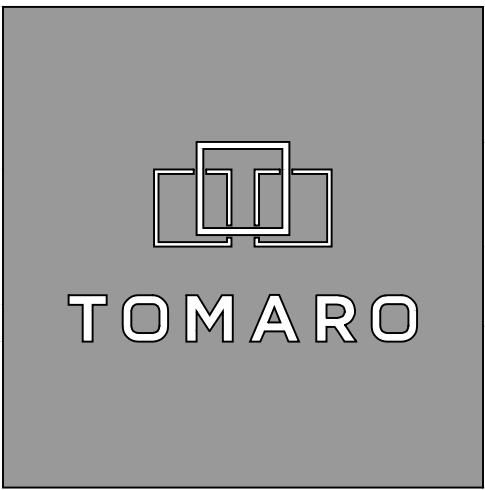
SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



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PROJECT NUMBER
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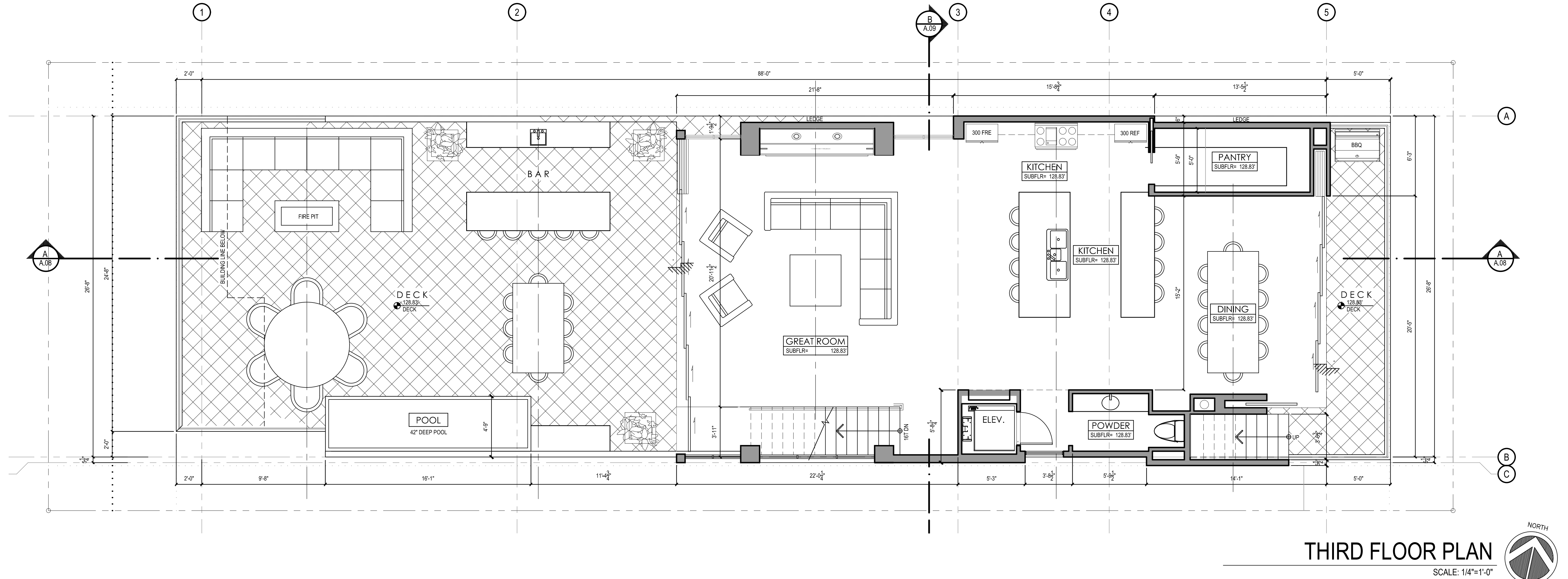
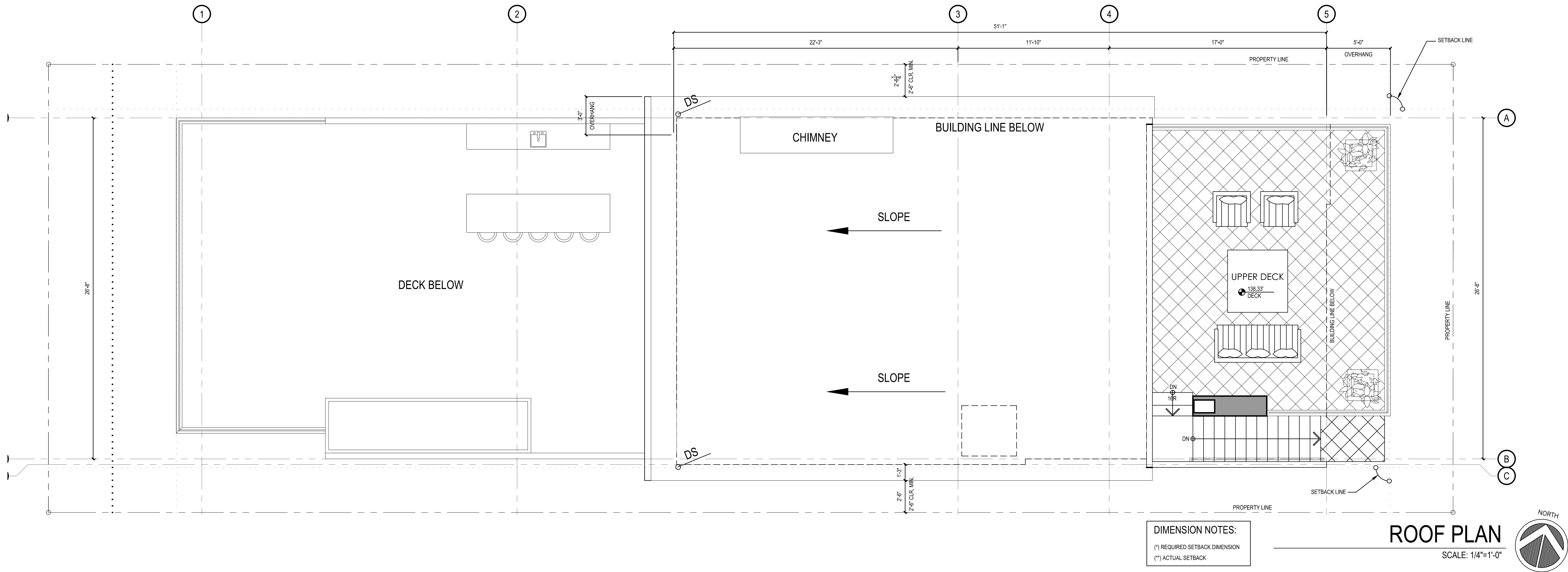
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DRAWING
**THIRD FLOOR PLAN
ROOF PLAN**

SHEET NUMBER
A.04



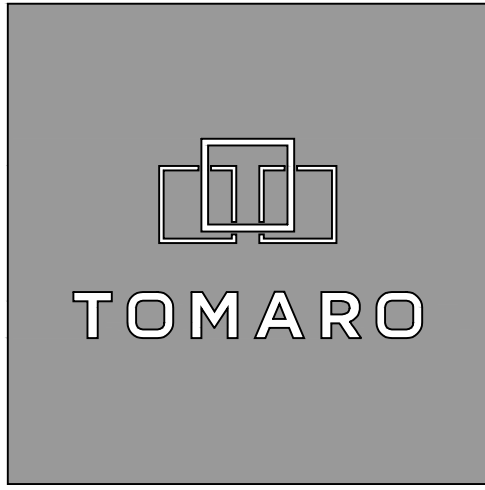


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**McKEOWN
RESIDENCE**
414 MONTEREY BOULEVARD
HERMOSA BEACH
CALIFORNIA 90254

A.05





2617 NORTH SEPULVEDA BLVD.
MANHATTAN BEACH, CA 90286
TEL: 310-318-8089 WWW.TOMARO.COM

PROJECT
**McKEOWN
RESIDENCE**
414 MONTEREY BOULEVARD
HERMOSA BEACH
CALIFORNIA 90254

STAMP

PROJECT NUMBER
21026

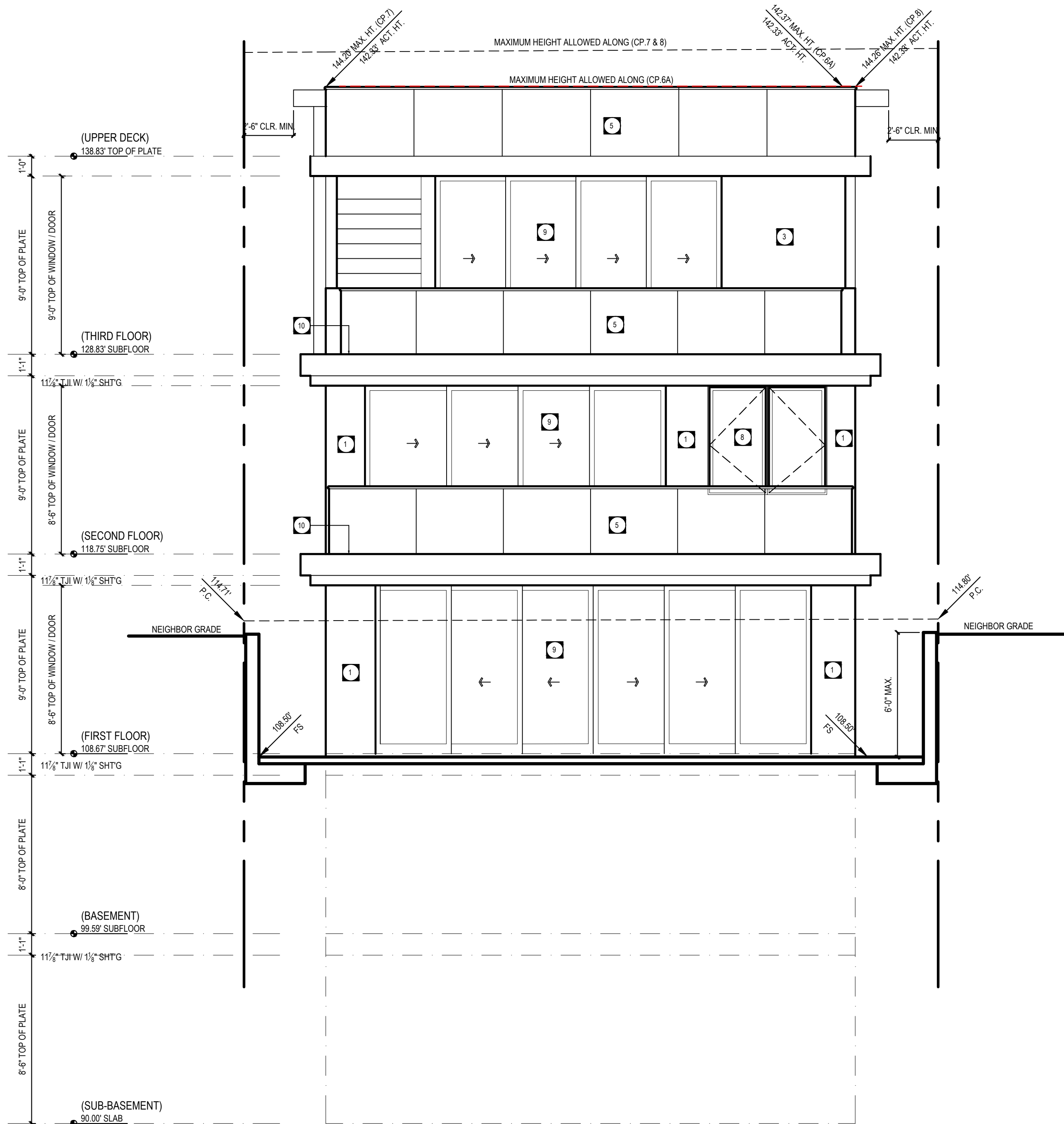
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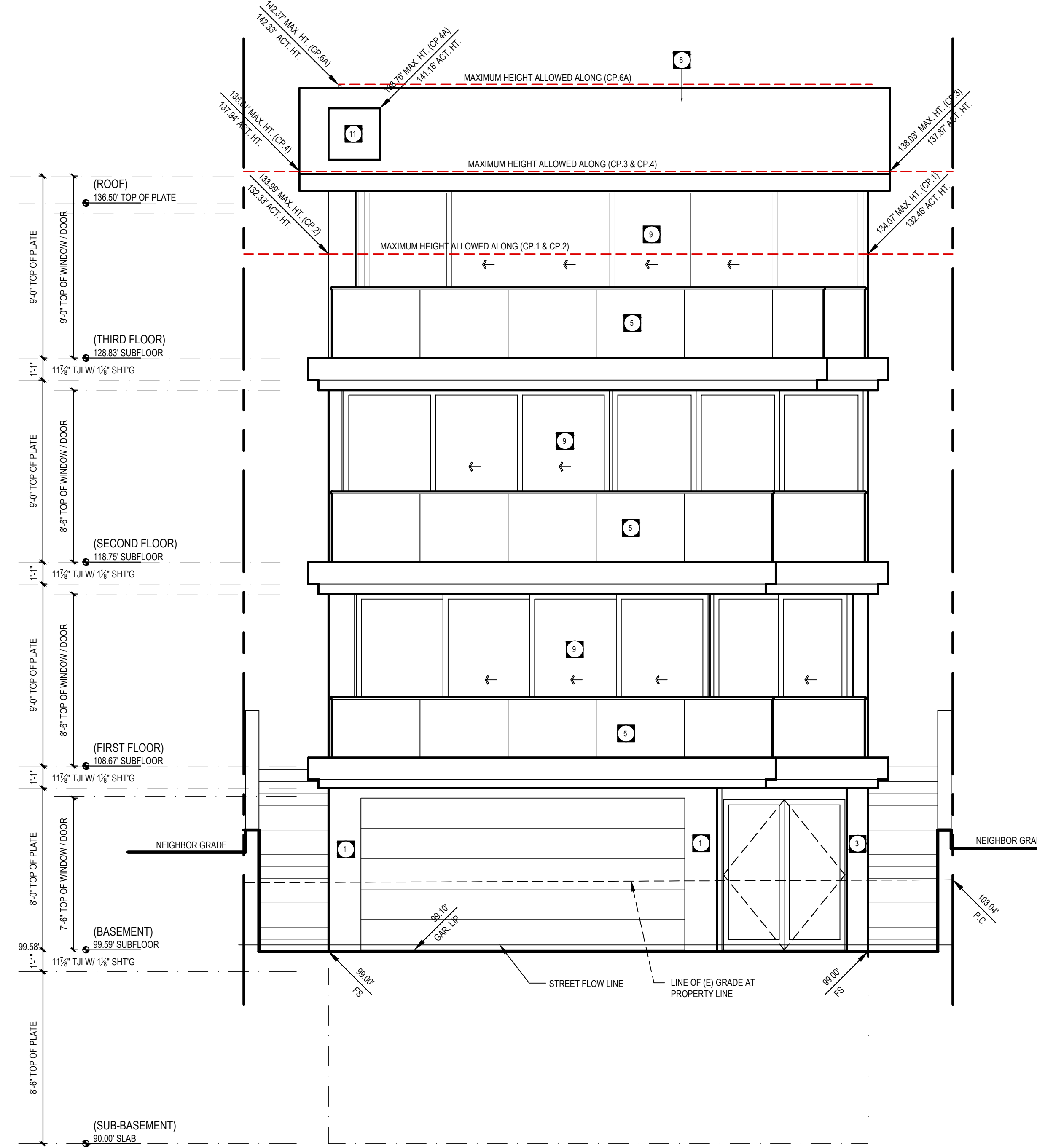
DRAWING
ELEVATIONS

SHEET NUMBER
A.06



EAST ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

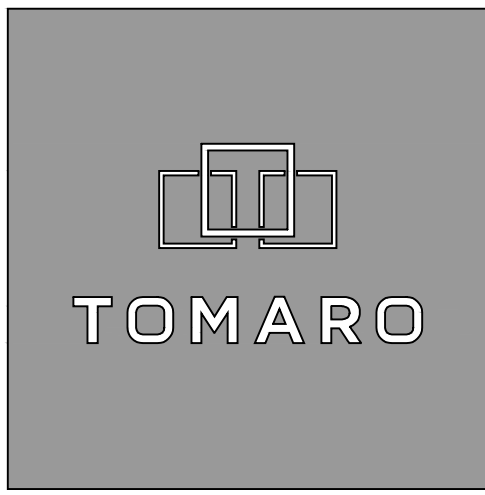
SCALE: 1/4" = 1'-0"



2617 NORTH SEPULVEDA BLVD.
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A.07





2617 NORTH SEPULVEDA BLVD.
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RESIDENCE**
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HERMOSA BEACH
CALIFORNIA 90254

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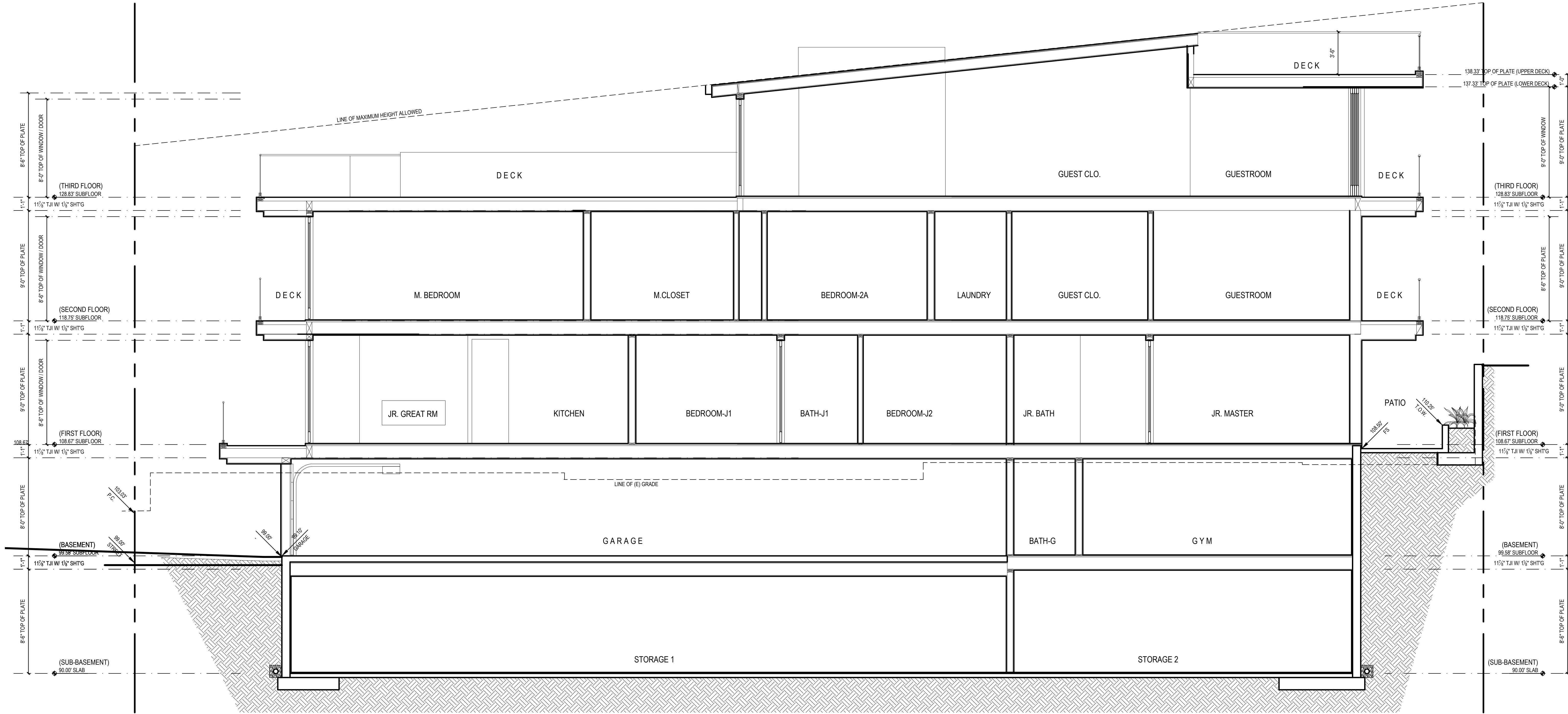
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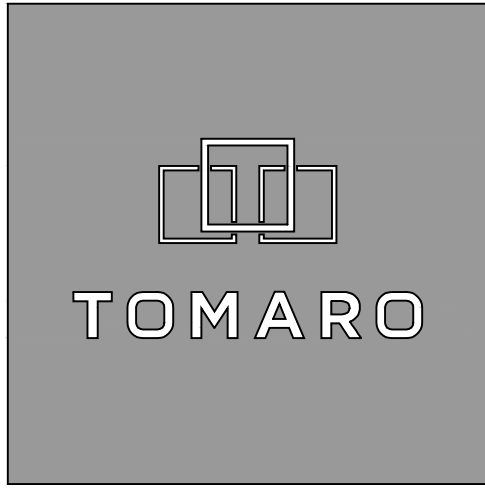
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A.08



SECTION - A

SCALE: 1/4" = 1'-0"



2617 NORTH SEPULVEDA BLVD.
MANHATTAN BEACH, CA 90286
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PROJECT
**McKEOWN
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CALIFORNIA 90254

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REVISION SCHEDULE		
NUMBER	DESCRIPTION	DATE

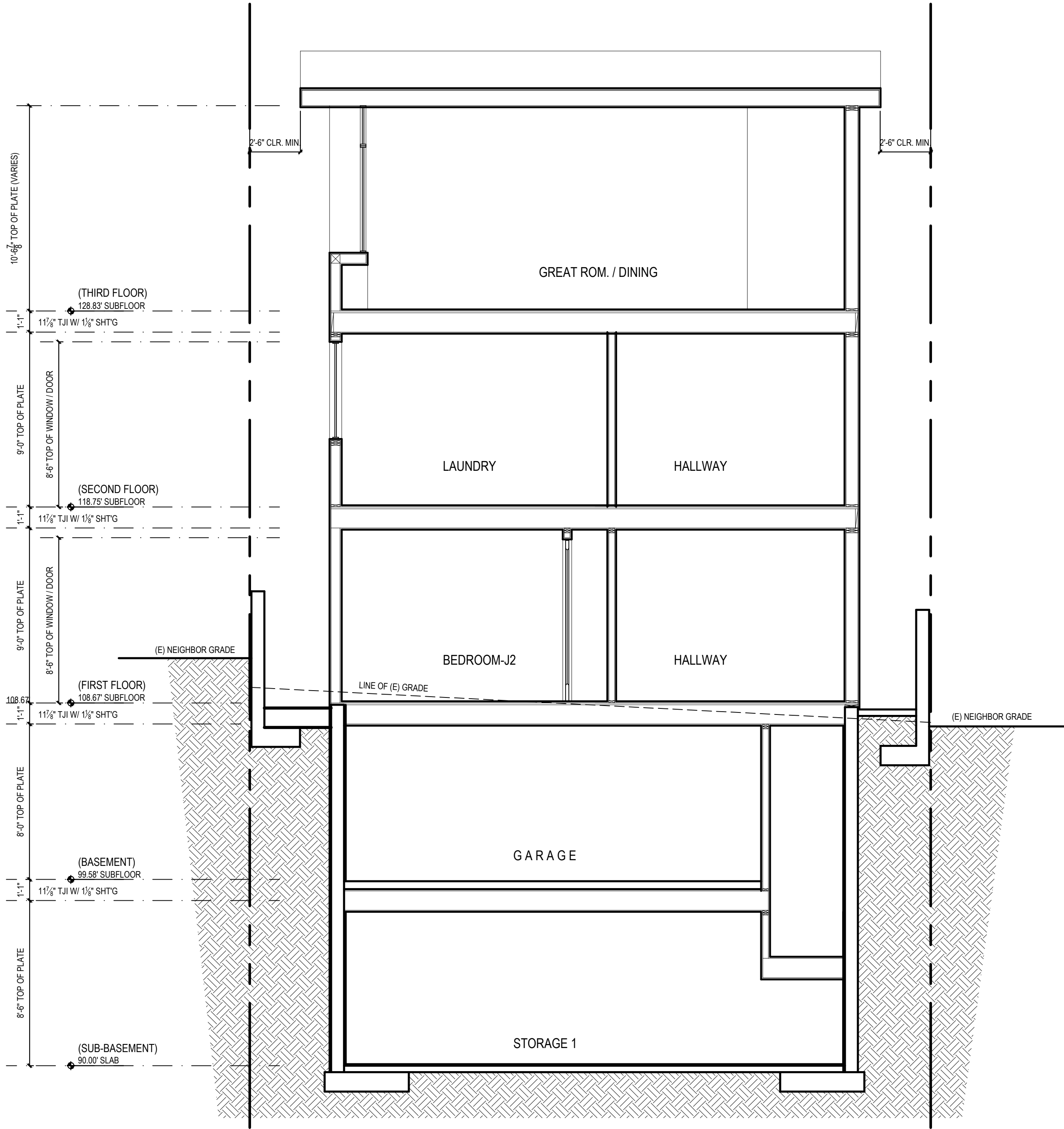
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DRAWING

SECTION

SHEET NUMBER

A.08



SECTION - B

SCALE: 1/4" = 1'-0"