

GENERAL PLAN MAP CHANGE, ZONING CHANGE (ZC23-01), AND ZONING TEXT AMENDMENT (TA23-02), TO EFFECTUATE PROGRAMS IN THE HOUSING ELEMENT



City Council Regular Meeting
October 24, 2023

Overview

- Introduction
- Background
- Analysis
- Public Notification
- Recommendation
- Next Steps

Required Housing Element Zoning

- City is past statutory and extended deadlines
- State Housing Element Law requires zone changes to accompany the Housing Element for certification.
 - Ensure Sites Inventory can realize development capacity
 - Align regulations for Special Housing Types with State law
 - Update development standards
 - Review processes to ensure objectivity
 - Revise parking standards

Background

June 20, 2023

- Planning Commission conducted a public hearing, recommended City Council adopt the Housing Element, and discussed zoning text amendments.

August 8, 2023

- City Council conducted a public hearing and adopted the revised 2021-2029 Housing Element.

August 15, 2023

- Planning Commission conducted a study session to discuss the proposed Zoning Text Amendment for the Housing Element implementation.



Background

September 19,
2023

- Planning Commission conducted a public hearing and recommended City Council adopt the Housing Element General Plan Map Change, Zoning Map Changes, and Zoning Text Amendment, with several minor revisions.

October 10, 2023

- City Council conducted a discussion on the proposed Land Value Recapture Program and provided feedback to staff.

October 17, 2023

- Planning Commission reviewed minor revisions discussed on September 19, 2023 and adopted a resolution reflecting those revisions.

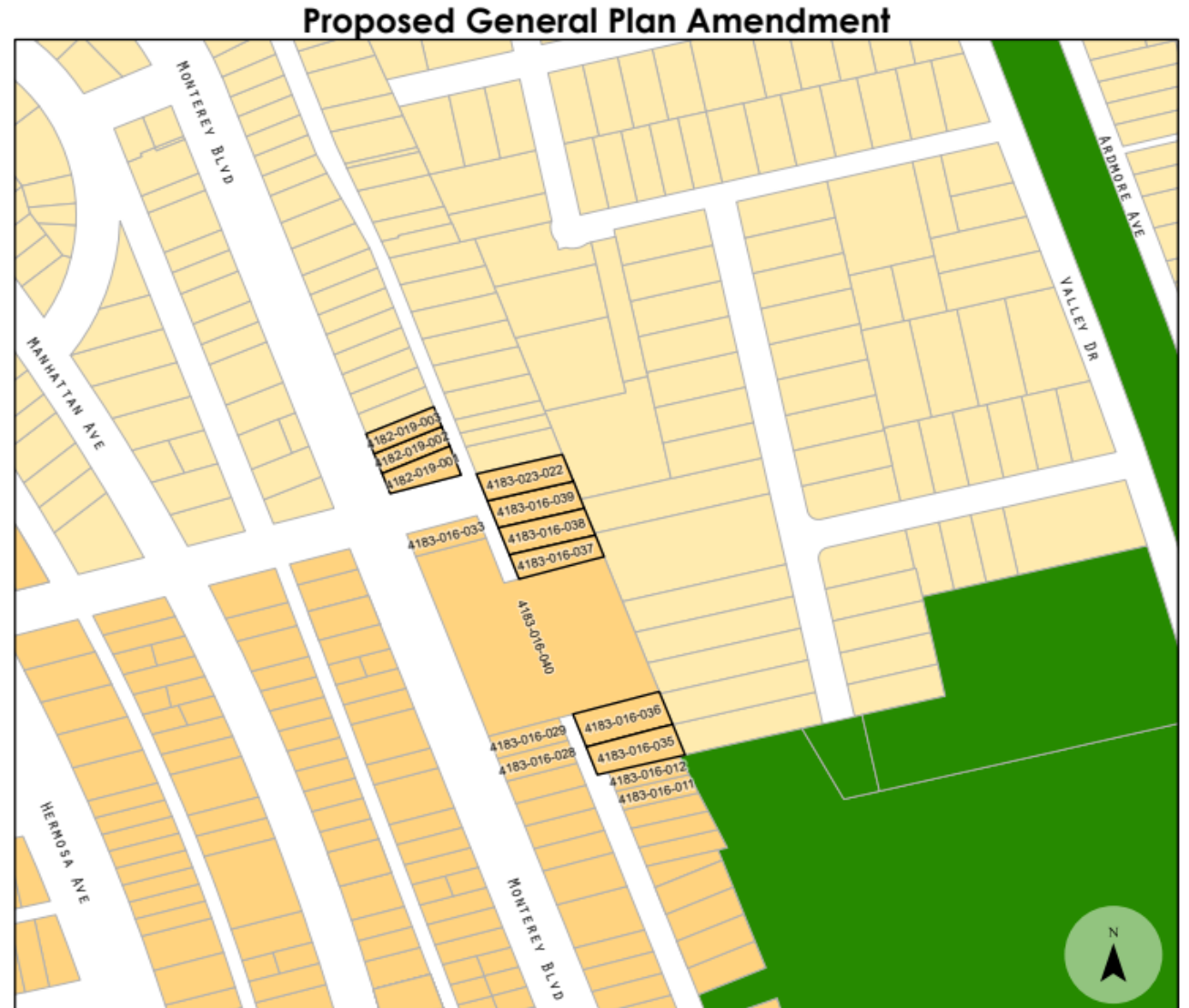
OCTOBER 10, 2023 CITY COUNCIL FEEDBACK

- Discussion on the Land Value Recapture (LVR) Program
- The City Council requested a two-tier LVR fee depending on the size of the property.
- Requested additional information on property values for commercially-zones vs. residentially zoned properties.



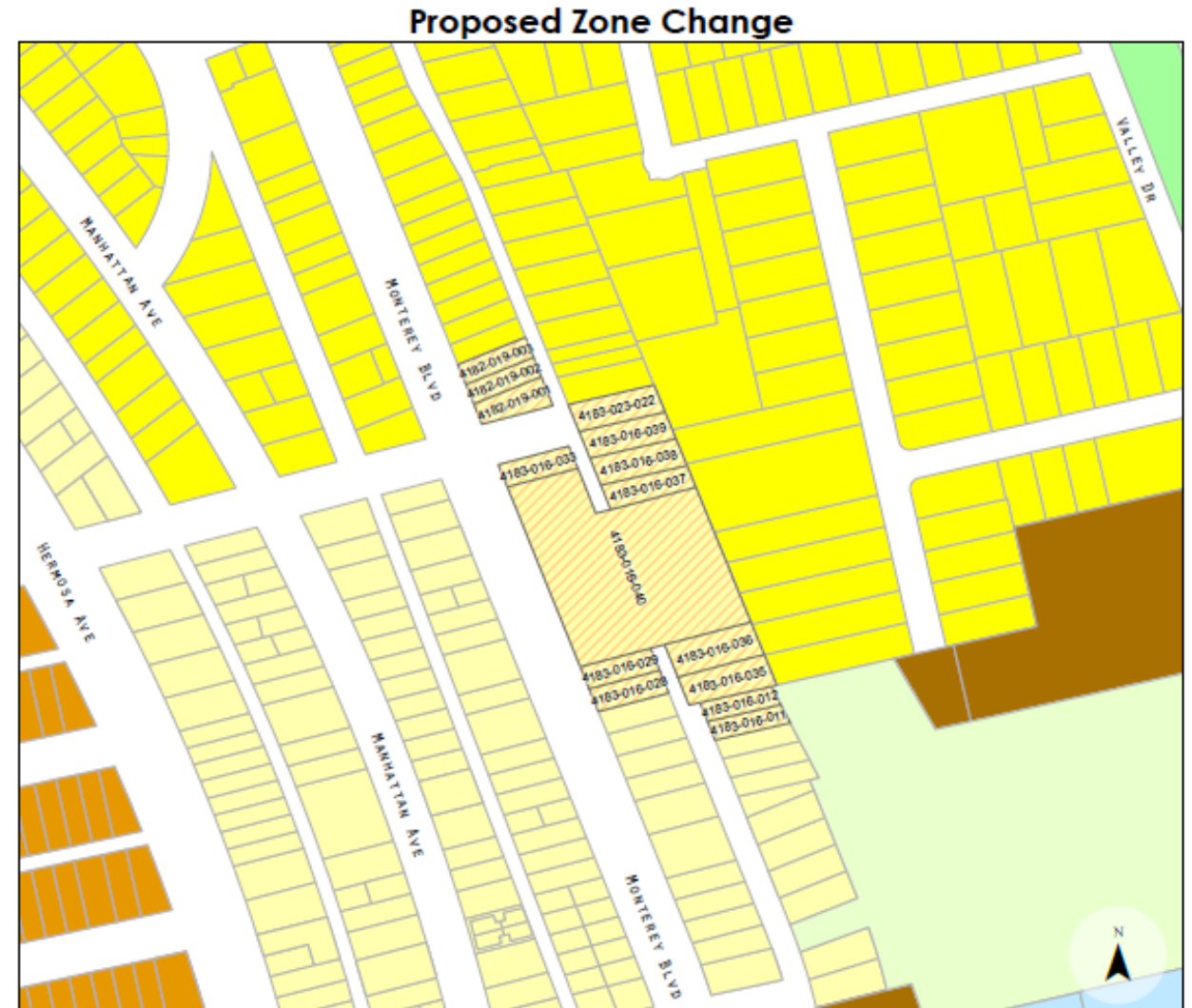
GENERAL PLAN MAP CHANGE

General Plan land use map - Proposed change of 9 parcels at the St. Cross church site from Low Density Residential to Medium Density Residential



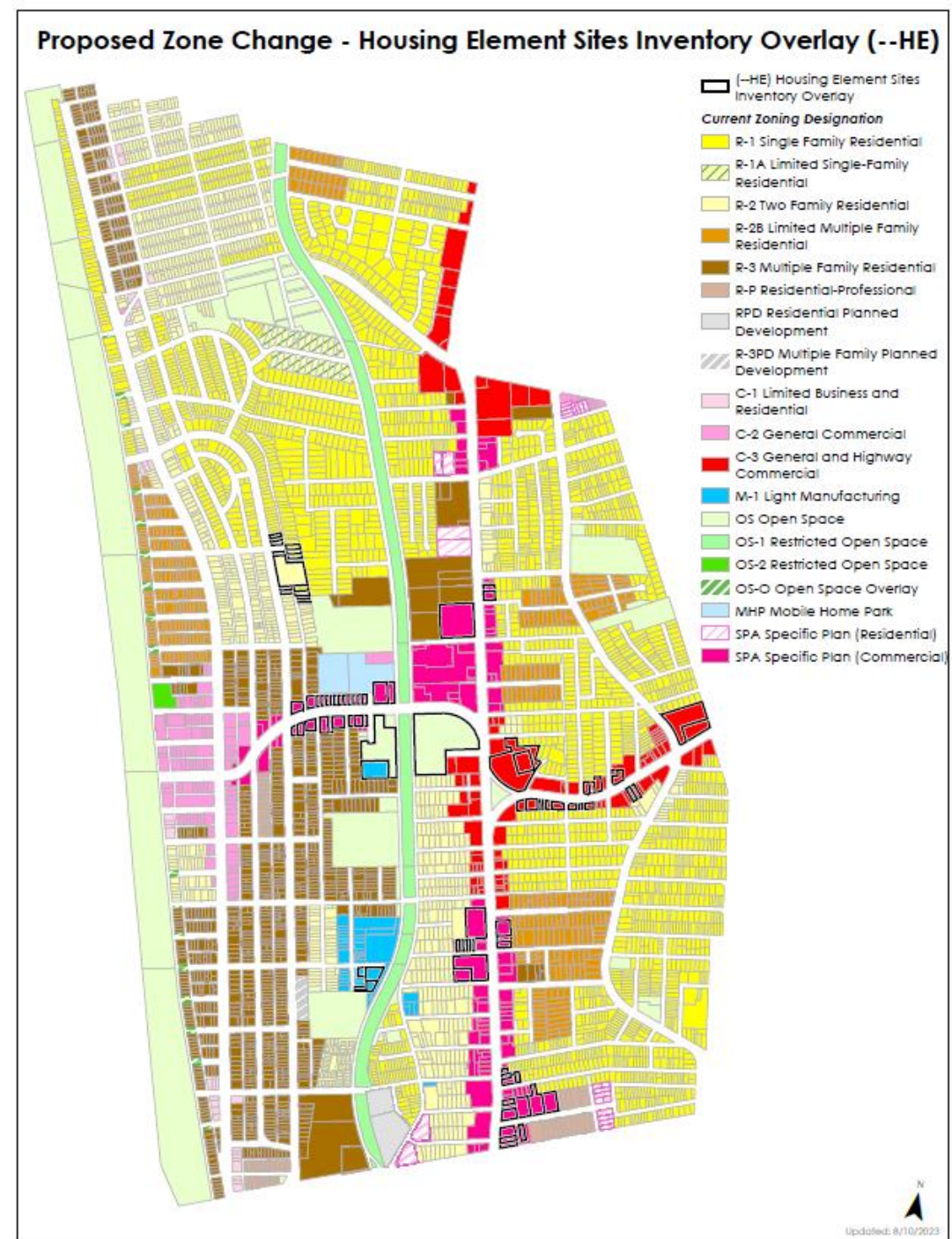
ZONING MAP CHANGE

Change Zoning Map to designate 15 parcels at the St. Cross church site to R2-A – Medium Density Residential (22).



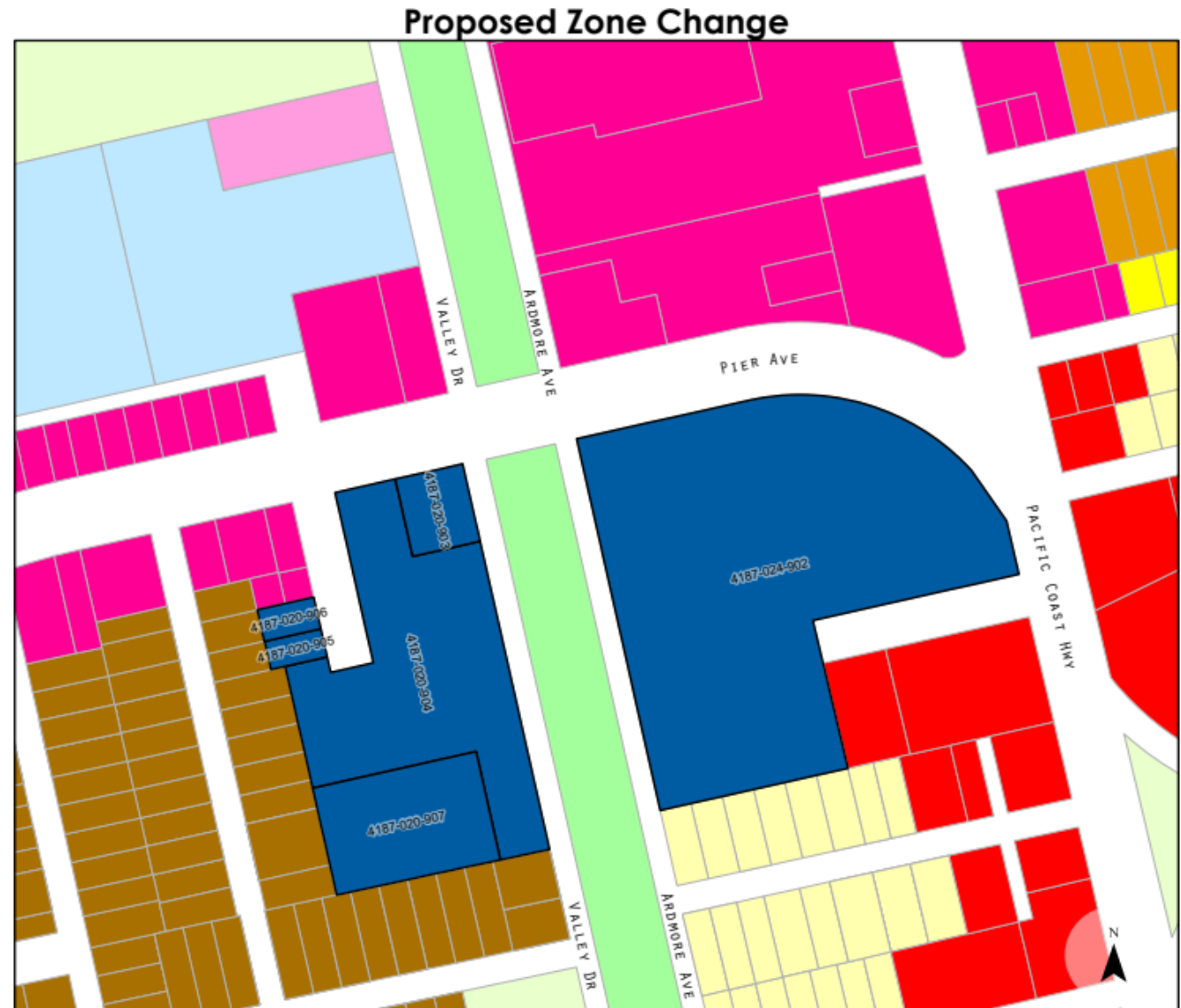
ZONING MAP CHANGE

- Designate Housing Element Sites Inventory sites as (--HE) for identification and tracking.
- Underlying zoning to remain.
- Example: C2 site would be C2--HE



ZONING MAP CHANGE

Change Zoning Map to designate 6 parcels at the Civic Center as Public Facility (new zone) to implement PLAN Hermosa designation of Public Facility.



ZONING TEXT AMENDMENT

- Update Special Housing Types
- Create new R2-A Zone
- Update M-1 Zone
- Create new Public Facility Zone
- Create Housing Element Site Inventory Overlay (--HE)



ZONING TEXT AMENDMENT

- Broaden use of Mixed Use Development
- Revise Density Bonus Regulations
- Restructure Lot Consolidation provisions
- Create Work/Live Standards
- Revise Residential Parking Standards



ZONING TEXT AMENDMENT

- Revise Reasonable Accommodation procedure
- Amend Administrative Use Permits findings
- Update CUP process and add objective findings
- Revise PDP process and add objective standards



Land Value Recapture Program

Applies to Housing Element Sites Inventory Sites (--HE)

- For larger sites (designated capacity of 5 or more units),
 - Projects proposing 100% market rate dwelling units would be subject to the program fee.
 - Projects proposing 10% very-low, 15% low, or 20% moderate income units would be exempt from the fee.
 - Formula for proportional affordability.
- For smaller sites
 - With a designated capacity of 1-4 units,
 - Minimum density in the Sites Inventory and at least one affordable unit: exempt from fee



LVR Proposed Fee

- City Council October 10, 2023 discussion
- Initial recommendation - \$50 - \$60 / sq. ft.
- \$66 – 94 per sq. ft. - economically equivalent to developer providing affordable housing
- City Council discussion / direction
 - Two-tier fee program - 1-2 units / 3+ units
 - \$76 / \$104 per square foot



Environmental Review

- Pursuant to CEQA, the City evaluated and determined that Housing Element-related actions are consistent with PLAN Hermosa Environmental Impact Report.
- Addendum to the PLAN Hermosa Final EIR
- Section 15162 of CEQA State Guidelines
- No significant effects not previously discussed in the PLAN Hermosa Final EIR.



PUBLIC NOTIFICATION

- Legal Ad published in the Easy Reader on October 12th
- Courtesy letter mailed to all property owners identified on the Site Inventory List.
- Published on City Website.



Recommendation / Next Steps

Staff recommends City Council:

1. Adopt a resolution approving General Plan Amendment (GPA23-01), for a land use designation map change.
2. Introduce by title only and waive first reading of an ordinance of the City of Hermosa Beach, CA, approving a Zone Change (ZC 23-01) amending the zoning map for certain sites to allow realization of housing capacity, align zoning on certain sites with the General Plan, and designating Housing Element sites;
3. Introduce by title only and waive first reading of an ordinance of the City of Hermosa Beach, CA, approving Zoning Text Amendment (TA 23-02), to update the zoning ordinance to implement Housing Element policies
4. Direct the City Clerk to publish a summary ordinance.



THANK YOU!

Contact us.

Carrie Tai, Director of
Community Development

310-318-0235
planning@hermosabeach.gov