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NOTE:
PROVIDE ELECTRICAL CONDUITS FOR FUTURE SOLAR
INSTALLATION PER HBMC SECTION 15.32.140

NO PLUMBING WILL BE LOCATED IN COMMON WALLS (
HBMC SECTION 17.46.010.B)

THIS PROJECT SHALL MEET STC 52 MIN.

CONDUIT FROM ROOF TO ELECTRIC SERVICE PANEL WILL BE
PROVIDED FOR EACH UNIT.

SITE NOTES:
1. ALL UTILITIES SHALL BE UNDERGROUND, CONTACT
SOUTHERN CALIFORNIA EDISON FOR THEIR REVIEW
2. ALL SITE DRAINAGE SHALL BE TERMINATED AT PUBLIC
WAY VIA NON-EROSIVE DEVISE, PER HBMC.
3. DRAINAGE FIXTURE LOCATED BELOW THE NEXT
UPSTREAM MANHOLE OR BELOW THE MAIN SEWER
LEVEL REQUIRES INVESTIGATION TO ASCERTAIN THE
NECESSITY FOR SEWER BACKWATER DEVICE
INSTALLATION. CONTRACTOR TO VERIFY PRIOR TO
CONSTRUCTION

NOTE: PROPERTY LINE SHOWN ON PLANS ARE SQUARED FOR CLARITY.
CONTRACTOR SHALL REFER TO CIVIL SURVEY PLAN FOR EXACT PROPERTY LINE
BOUNDARIES. NOTIFY ARCHITECT FOR ANY DISCREPANCIES. CONTRACTOR SHALL
MEET ALL MINIMUM SETBACKS INDICATED PER PLAN

DEVELOPMENT PROGRAM

PROJECT LOCATION: 645 10TH STREET HERMOSA BEACH, CA
OWNERS NAME: MARK SLUSARZ TEL _____
ADDRESS _____
LEGAL DESCRIPTION: APN= 4187-028-024
LOT 4, BLOCK 78, SECOND ADDITION TO HERMOSA BEACH TRACT, IN THE CITY OF HERMOSA
BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK
3, PAGES 11 & 12 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
ZONING R2

GENERAL BUILDING INFORMATION

LOT AREA = 4,107.19 SQ.FT. Total Building Area 7,034 Sq.Ft.

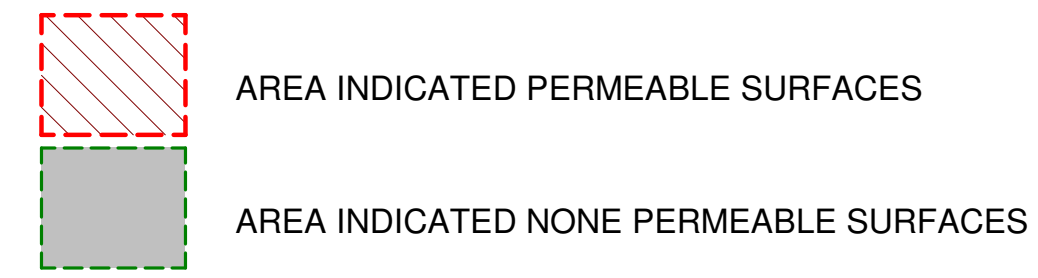
	UNIT A	UNIT B
1ST LEVEL LIVING AREA	273	406
GARAGE	378	378
2ND LEVEL LIVING AREA	1281	1274
2ND LEVEL DECKS/BALCONIES	50	147
3RD LEVEL LIVING AREA	1050	1020
3RD LEVEL DECKS/BALCONIES	301	293
ROOF DECKS	413	413
TOTAL LIVING AREA	2604	2700
TOTAL DECKS/BALCONIES	764	853
NUMBER OF BEDROOMS	4	4
NUMBER OF BATHROOMS	3.5	3.5

ZONING INFORMATION

Area	Required	Provided
LOT AREA PER DWELLING UNIT	4107.2=2,166 SF	
LOT COVERAGE	4107.19 SF X 65% = 2,669.67	2,605 63%
Yards		
FRONT	5'	5'
SIDE	3.8'	3'-10"
REAR	5' 3"	5' 3"
Parking and Driveway		
NUMBER OF SPACES	4	4
GUEST SPACES	1	1
PARKING SETBACK		
PARKING STALL DIMENSION	17x20	17 x 20'
TURNING AREA	24'	24'
DRIVEWAY WIDTH	9'	12'
DRIVEWAY MAXIMUM SLOPE	12.5% MAX	12.3%
Fences / Walls		
HEIGHT FROM FINISHED SURFACE	6'	6'
LINEAL FEET		
Open Space		
TOTAL		
PRIVATE		
UNIT A	UNIT A 300 SF	UNIT A 257 + 100 (MAX) = 357 SF
UNIT B	UNIT B 300 SF	UNIT B 161 + 224 + 100 (MAX) =485 SF
Private Storage Space		
CUBIC FEET PER UNIT	CUBIC FEET PER UNIT (REQ.D)	CUBIC FEET PER UNIT (PROVIDED)
UNIT A	UNIT A 200	UNIT A 111 CF + 171 CF= 282 CF
UNIT B	UNIT B 200	UNIT B 111 CF + 124 CF= 235 CF

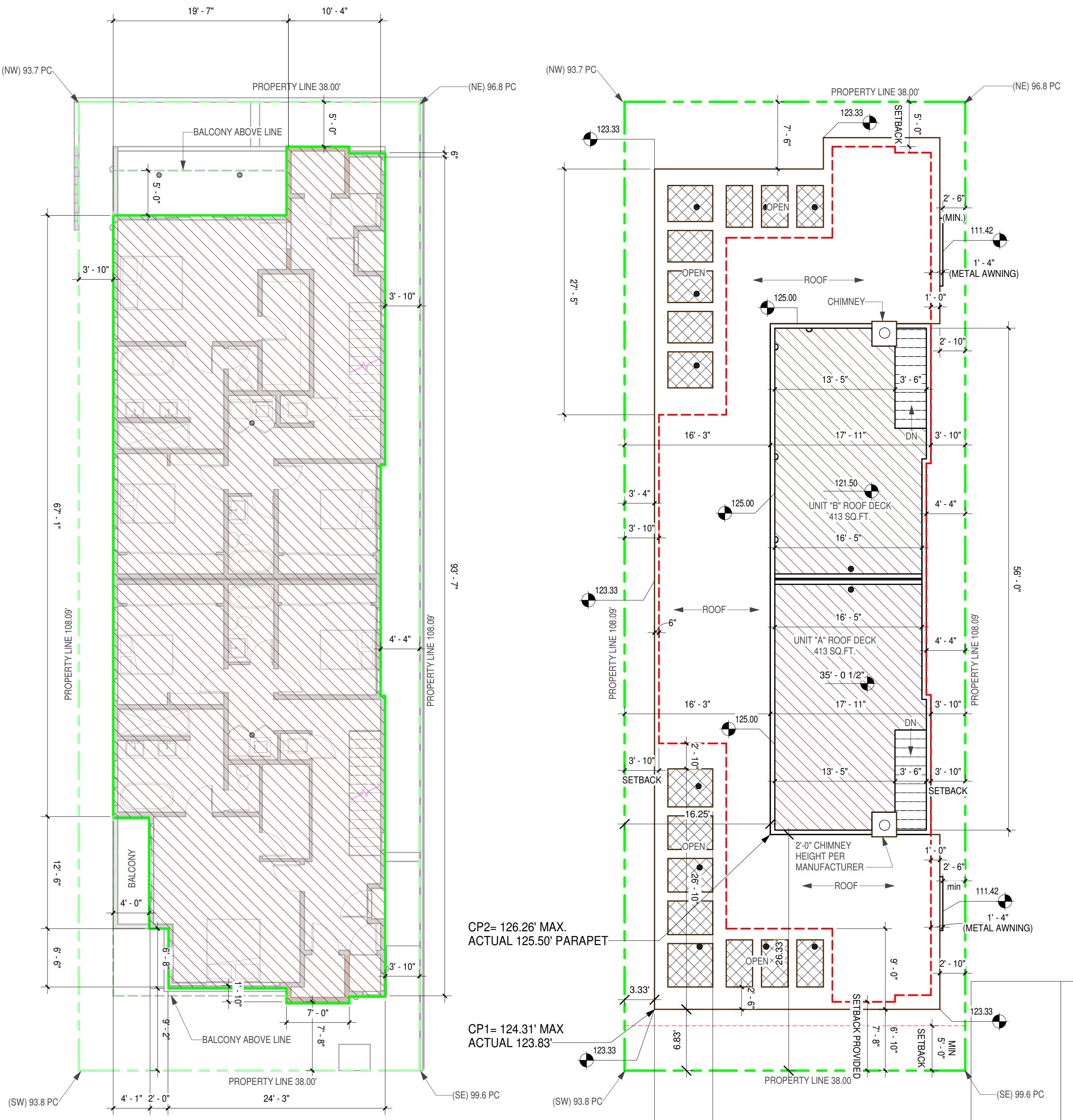
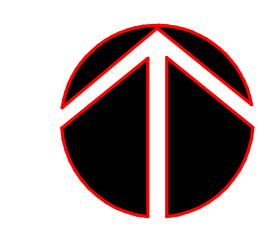
Sheet List

Sheet Number	Sheet Name
A101	Title, Site, Lot Cov., Roof Plans
A102	Site Driveway Plan
A103	Floor Plans
A104	Elevations
A105	Sections
A106	Landscape Plan
A107	Level 1 Floor Plan
A108	Level 2 Floor Plan
A109	Level 3 Floor Plan
A110	Schedules
C101	Civil Survey
R-01	RENDERING



TOTAL SITE 4,107 SF - 1,580 SF FOOTPRINT= 2,527 SF
 TOTAL PERMEABLE REQUIRED IS 2,527 SF X 50% (1/2 OF SITE)= 1,264 SF
 TOTAL PERMEABLE AREA PROVIDED IS = 1,277 SF
 TOTAL NONE PERMEABLE AREA PROVIDED IS = 1,250 SF

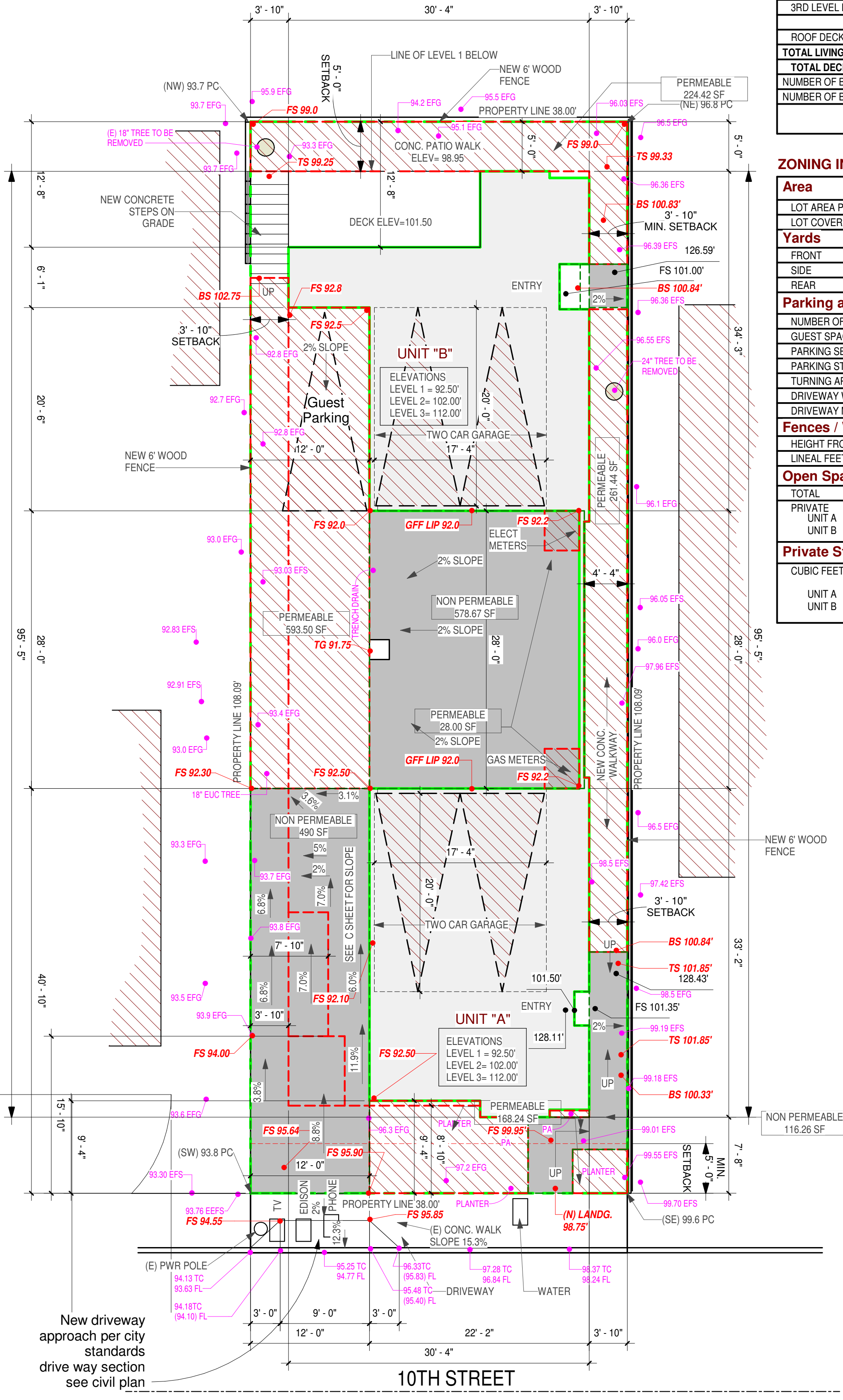
BASEMENT QUALIFICATION:
 TOTAL LINEAR FOOT OF BASEMENT = 251.48 (2)= 125.74 LIN FT REQUIRED TO QUALIFY
 151.00 LIN FT PROVIDED 60% LINEAR FT QUALIFIED AS BASEMENT
 (SEE SHEET A102)



Lot Coverage Plan
1/8" = 1'-0"

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04 Roof
1/8" = 1'-0"



Site
1/8" = 1'-0"

Revision:		
No.	Description	Date

SITE NOTES:
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2. ALL SITE DRAINAGE SHALL BE TERMINATED AT PUBLIC WAY VIA NON-EROSIVE DEVICE, PER HBMC.
3. DRAINAGE FIXTURE LOCATED BELOW THE NEXT UPSTREAM MANHOLE OR BELOW THE MAIN SEWER LEVEL REQUIRES INVESTIGATION TO ASCERTAIN THE NECESSITY FOR SEWER BACKWATER DEVICE INSTALLATION, CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION

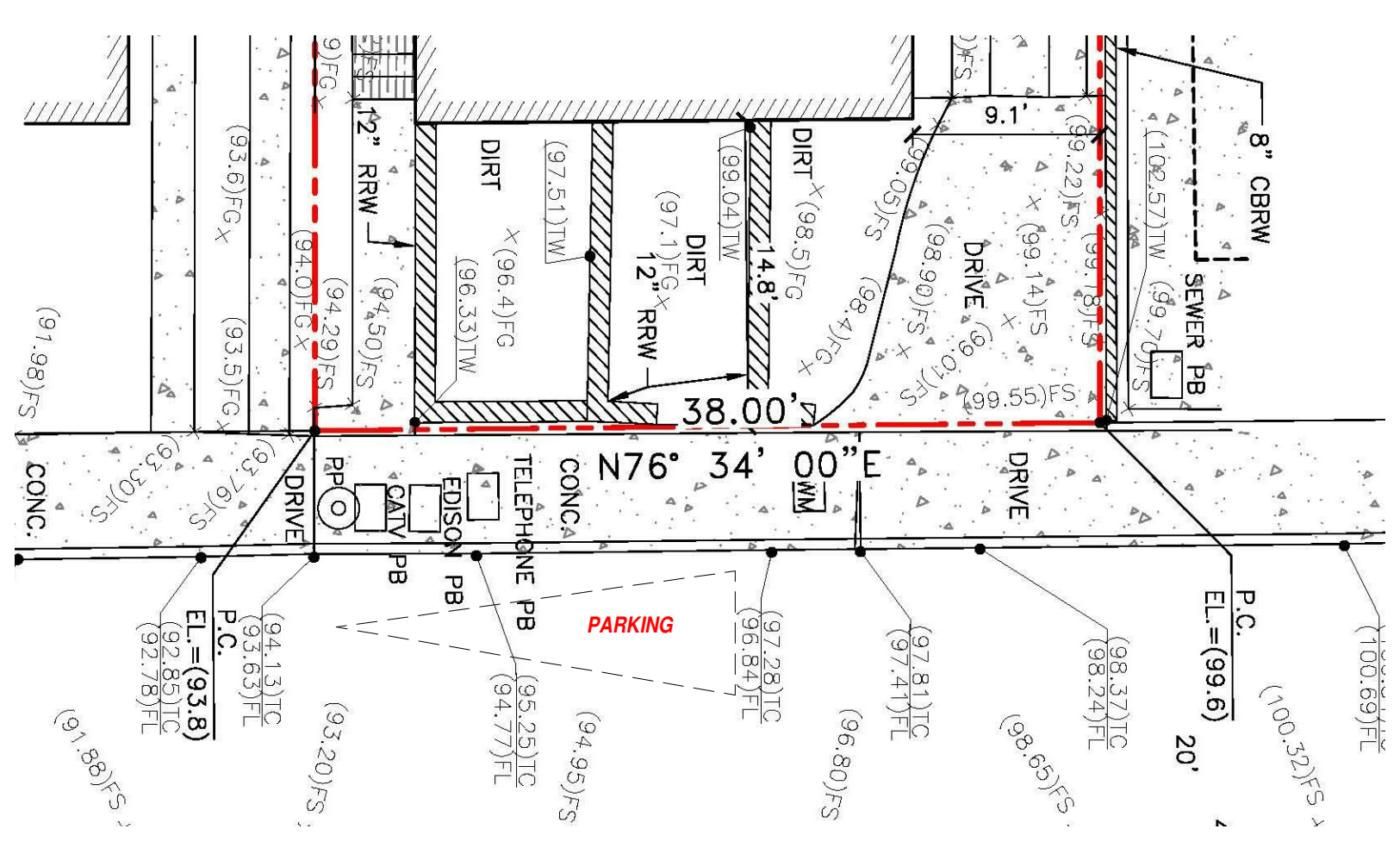
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NOTE: PROVIDE ELECTRICAL CONDUITS FOR FUTURE SOLAR INSTALLATION PER 15.32.140

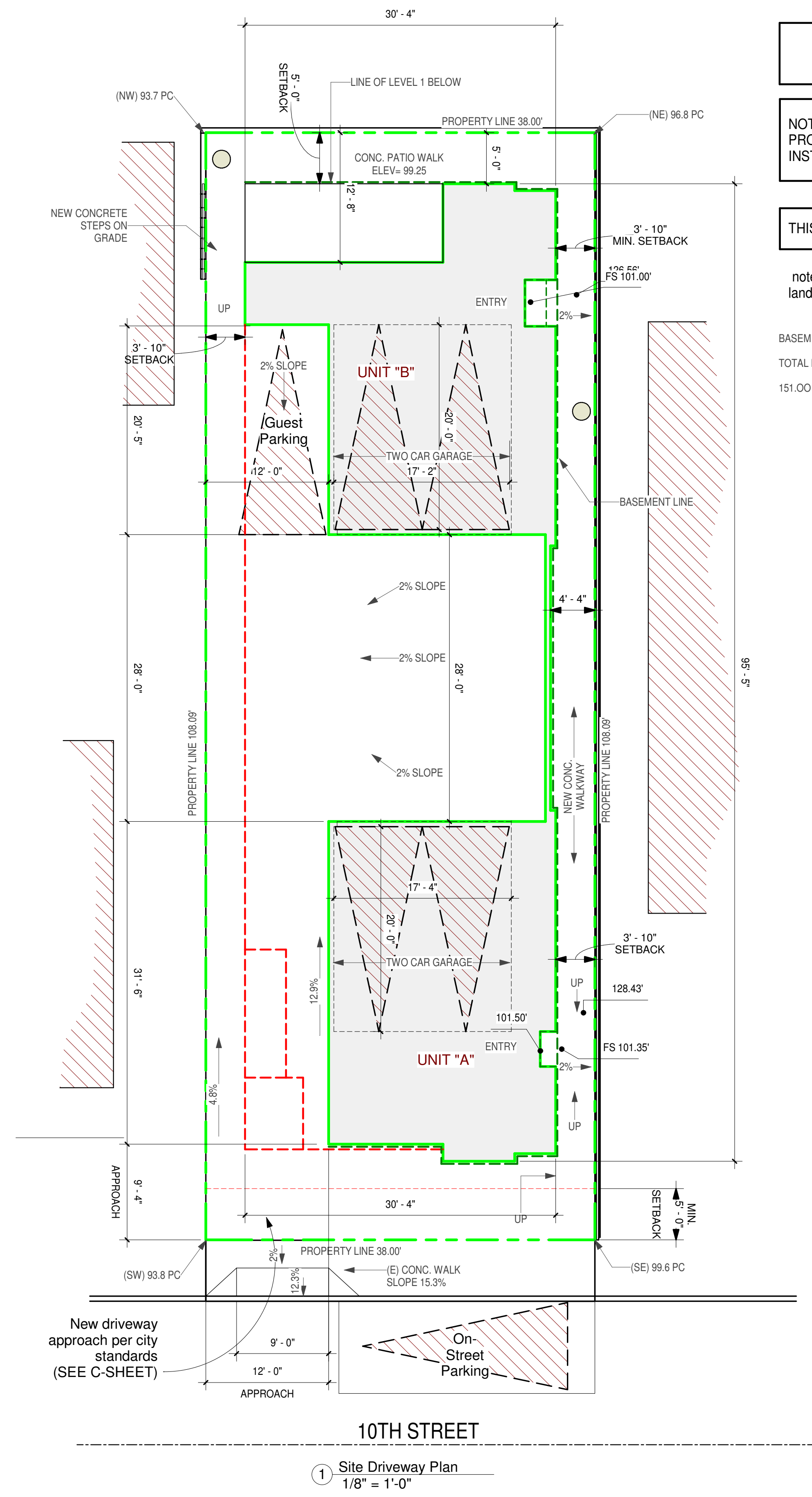
THIS PROJECT SHALL MEET STC 52 MIN.

note : "automatic and moisture sensor sprinkler" will be provided on the landscape plan

BASEMENT QUALIFICATION:
TOTAL LINEAR FOOT OF BASEMENT = 251.48 /2= 125.74 LIN FT REQUIRED TO QUALIFY
151.00 LIN FT PROVIDED 60% LINEAR FT QUALIFIED AS BASEMENT



2 Existing Street Parking
1/8" = 1'-0"



1 Site Driveway Plan
1/8" = 1'-0"

Client (Owner's) Name
Mark Slusarz

Project Name & Location
Two-Unit Development
645 10TH STREET
HERMOSA BEACH, CA

Floor Plans

Drawing Name

Project Status
Project Status

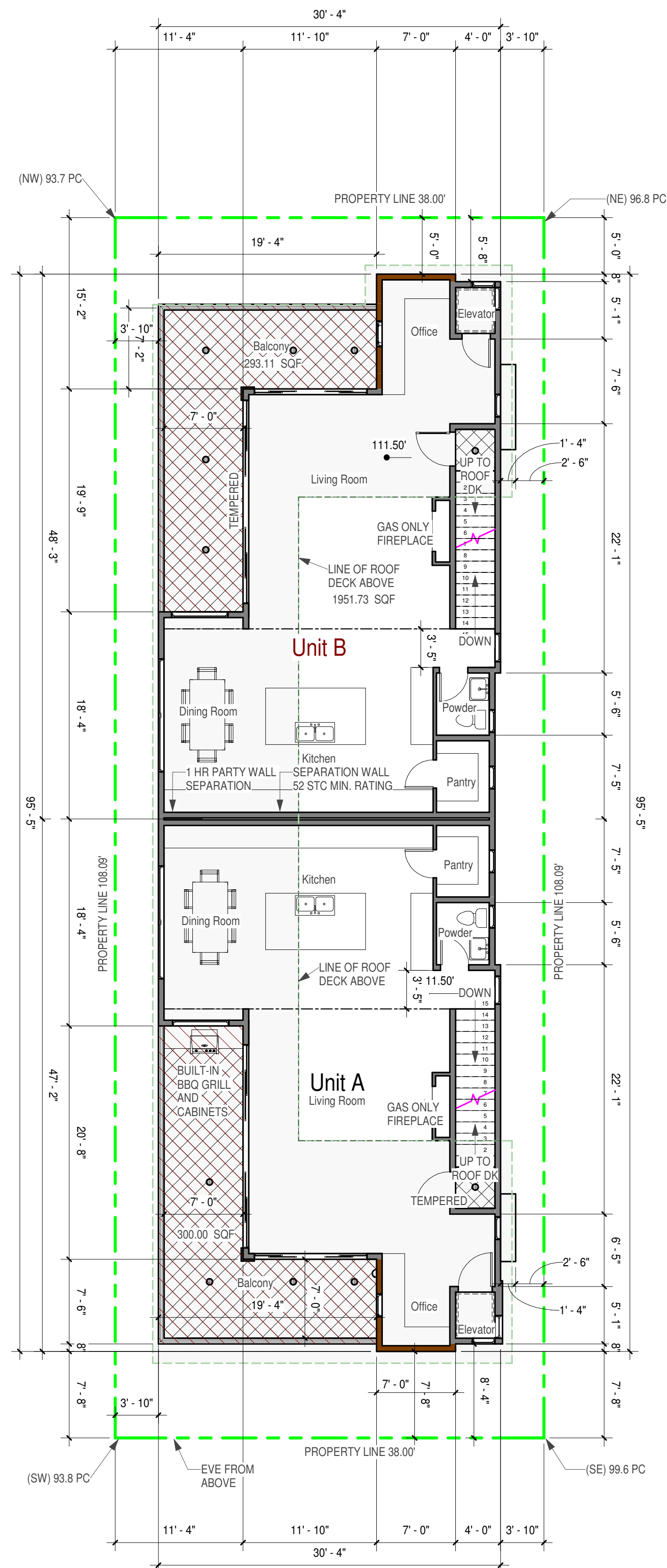
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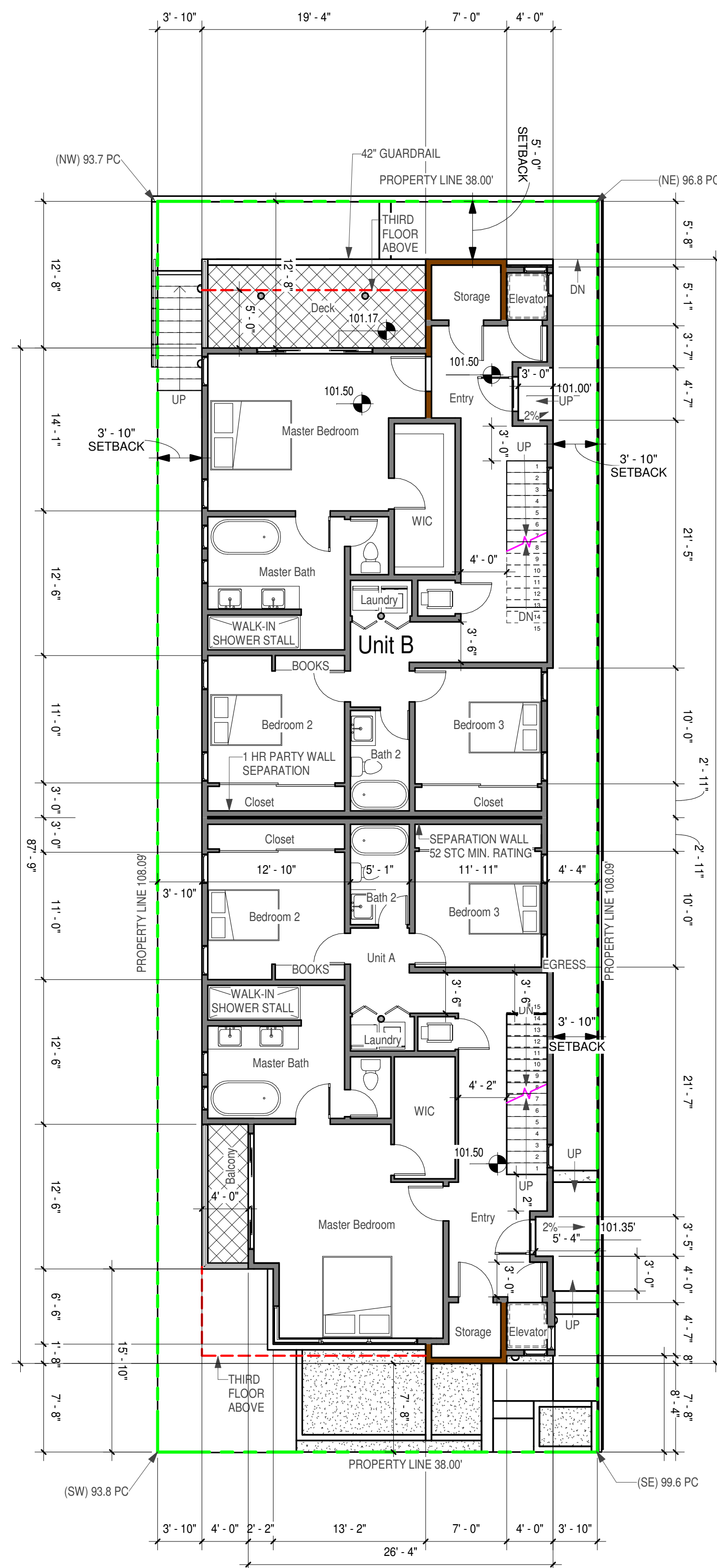
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No.	Description	Date

Drawing Number

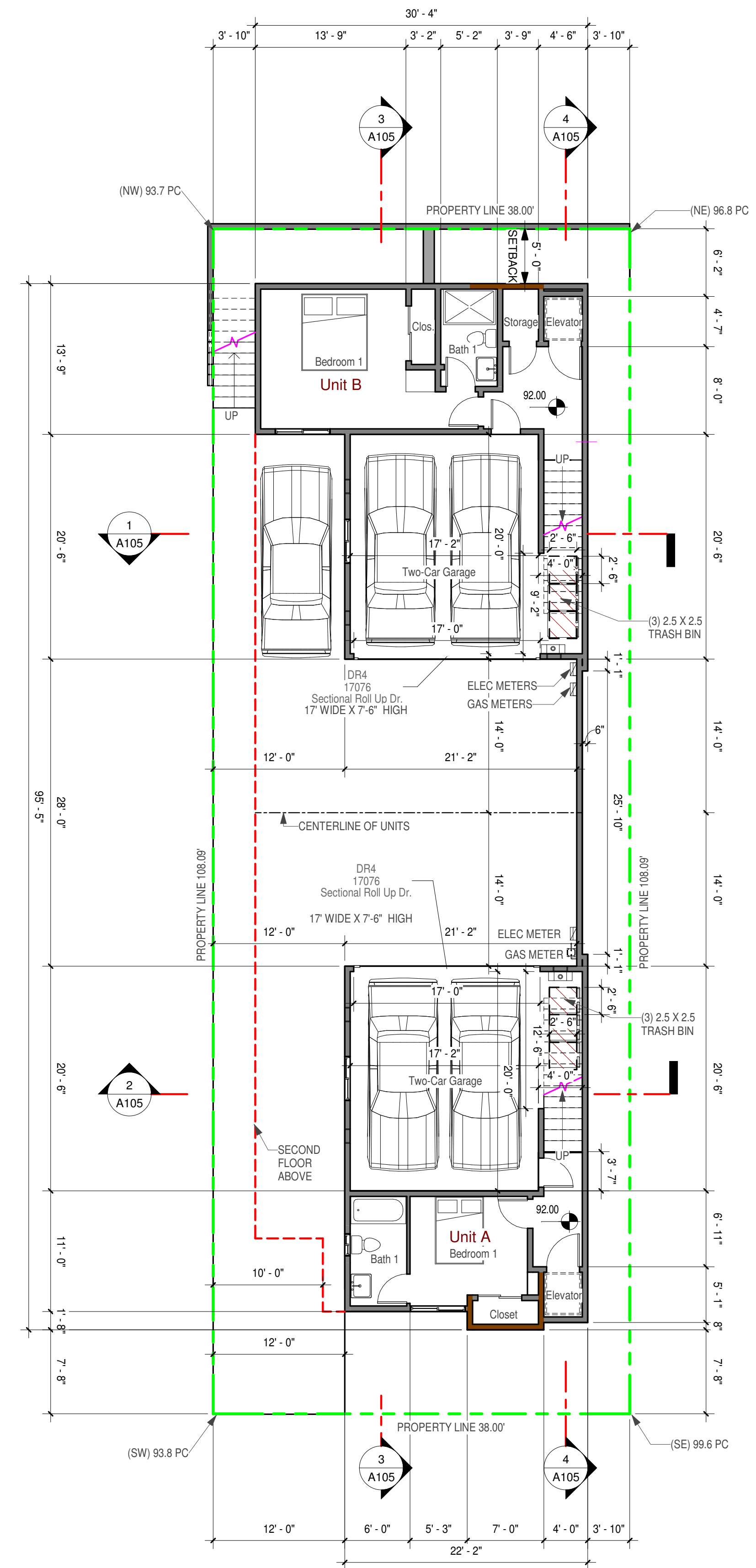
A103



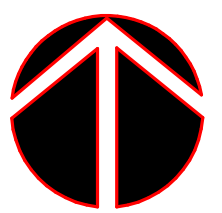
03 Third Floor 1/8" SCALE
1/8" = 1'-0"



02 Second Floor 1/8" SCALE
1/8" = 1'-0"

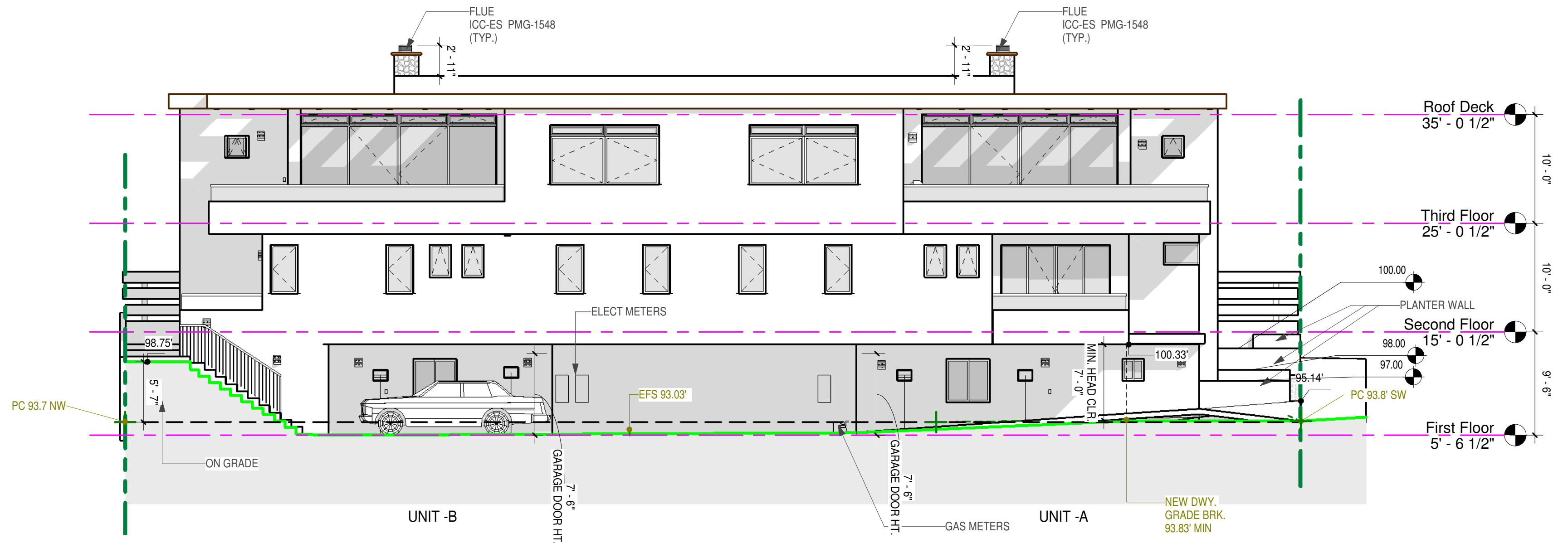


01 First Floor 1/8" SCALE
1/8" = 1'-0"

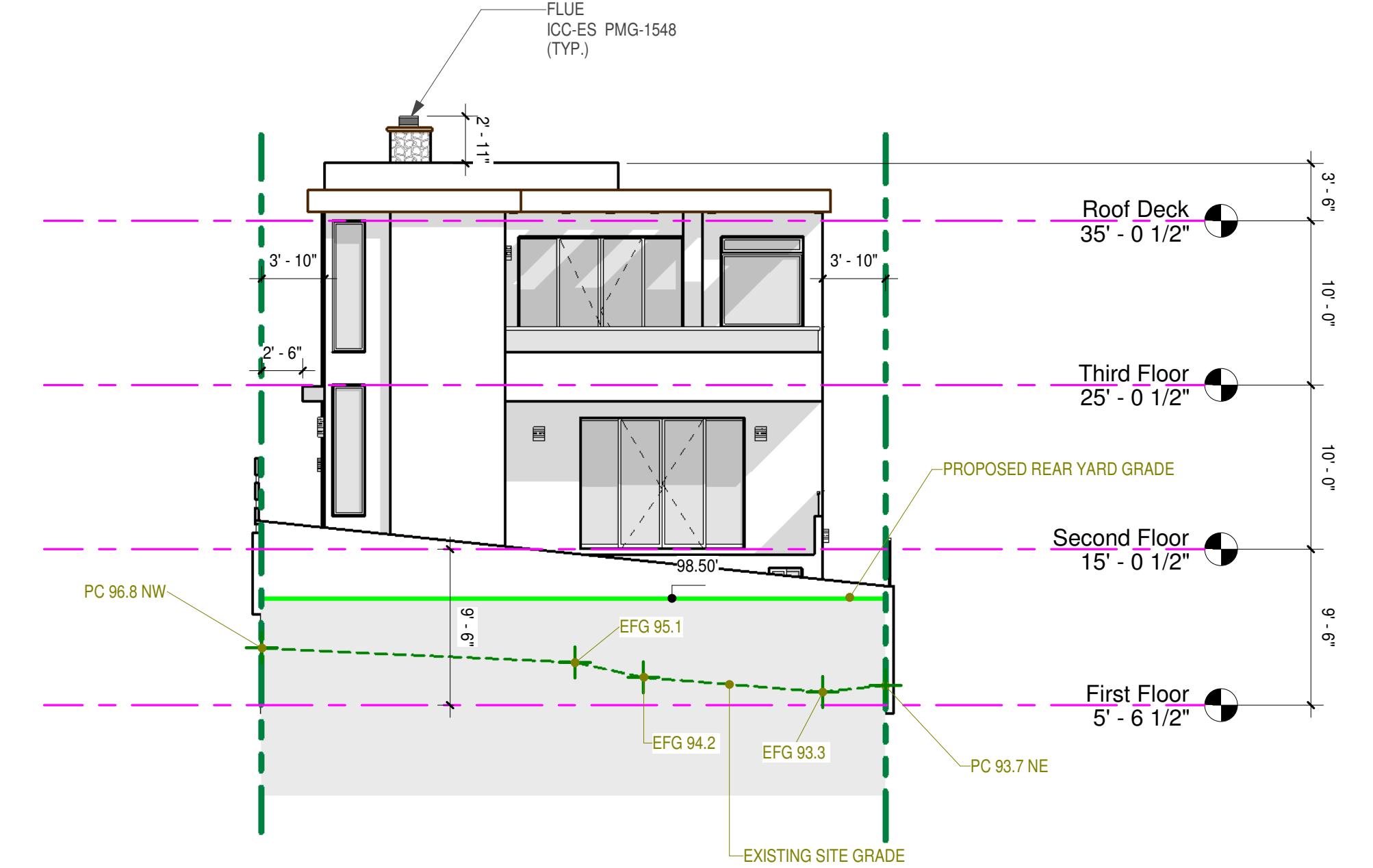


- Elevation Key Notes**
1. Smooth stucco 7/8" plaster over wire lath over 2-# 15 left attached with 8d cooler nails @ 6" o.c. Color to be determined.
 2. Sectional roll-up stained metal and frosted garage door.
 3. Horizontal wood siding. Minimum class B fire rated shake panels over #15 felt. Color to be dark stained.
 4. +42" high modern style aluminum guardrail and rail per detail, natural brushed metal finish.
 5. Brushed aluminum box awning over doors & windows per elevation.
 6. Seamless anodized aluminum roof fascia eave.
 7. Exposed stained wood siding under cantilevers and roof eave overhangs.
 8. Solid +42" stucco guardrail.
 9. Aluminum panels over framing. Natural brushed metal color.
 10. Brick veneer over wood framing.

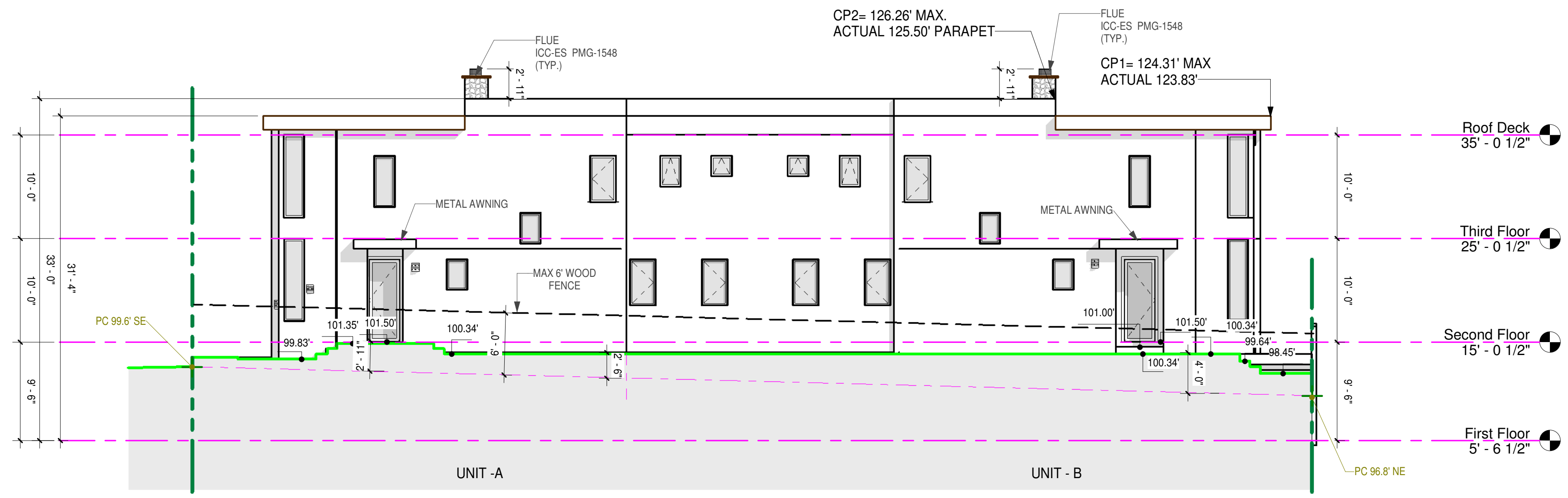
CHECK HEIGHT OF CHIMNEY PER MANUFACTURER



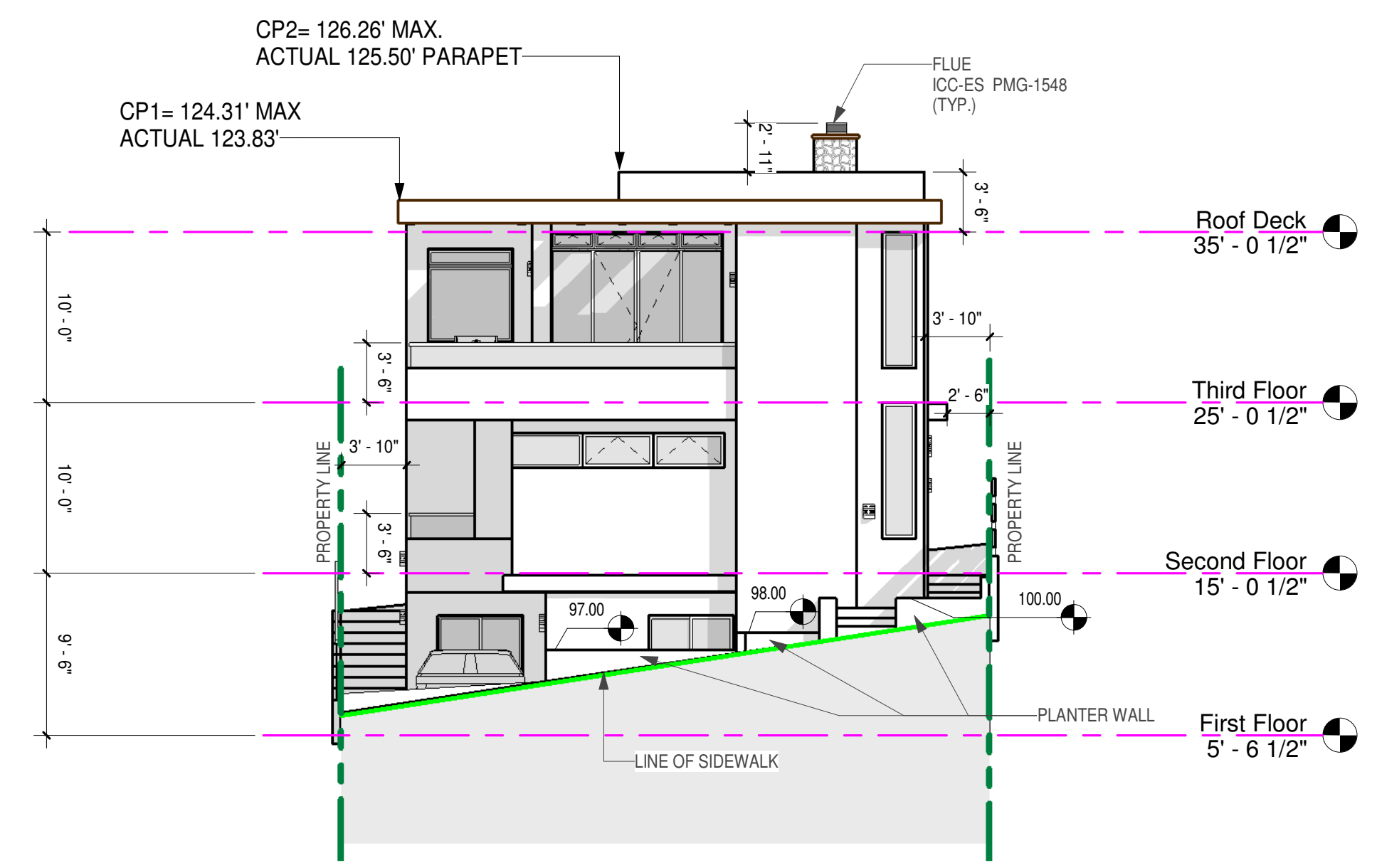
West
1/8" = 1'-0"



North UNIT-B
1/8" = 1'-0"



East
1/8" = 1'-0"



South UNIT-A
1/8" = 1'-0"

Client (Owner's) Name
Mark Slusarz

Project Name & Location
**Two-Unit Development
645 10TH STREET
HERMOSA BEACH, CA**

Elevations

Drawing Name

Project Status
Project Status

Scale
As indicated

Date
11/25/2019 12:08:43 PM

Revision:

No.	Description	Date

Drawing Number

A104

Client (Owner's) Name
Mark Slusarz

Project Name & Location
**Two-Unit Development
645 10TH STREET
HERMOSA BEACH, CA**

Sections

Drawing Name

Project Status
Project Status

Scale
1/8" = 1'-0"

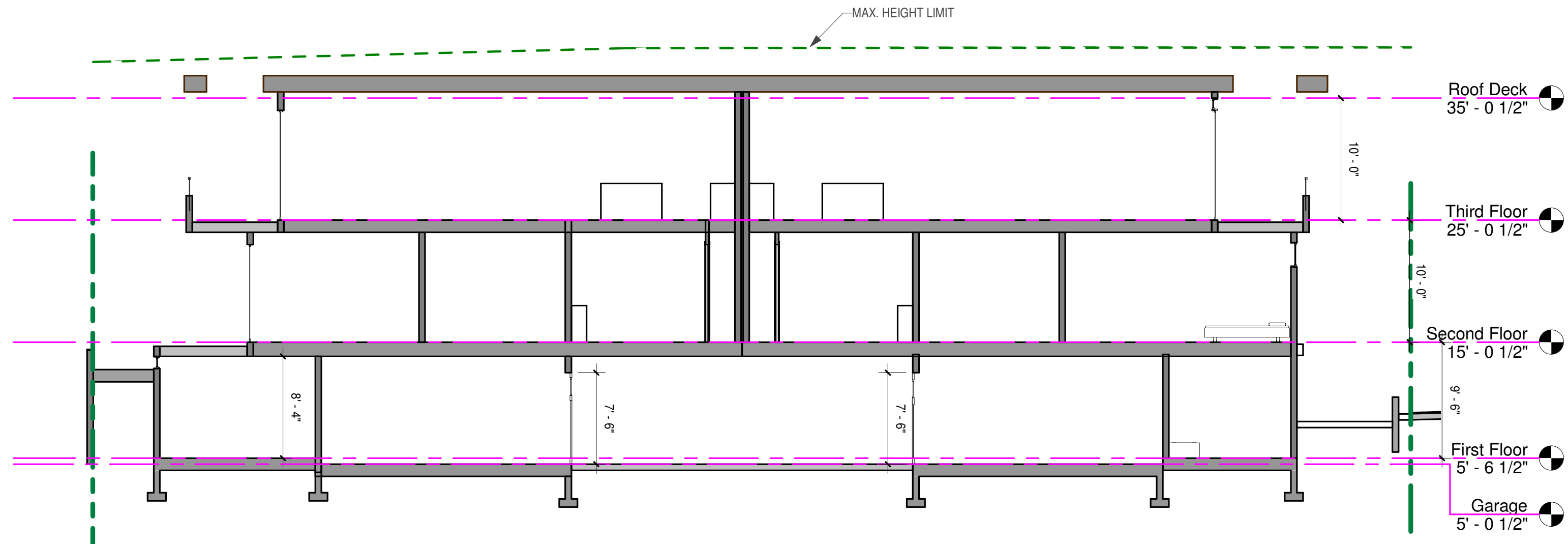
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Revision:		
No.	Description	Date

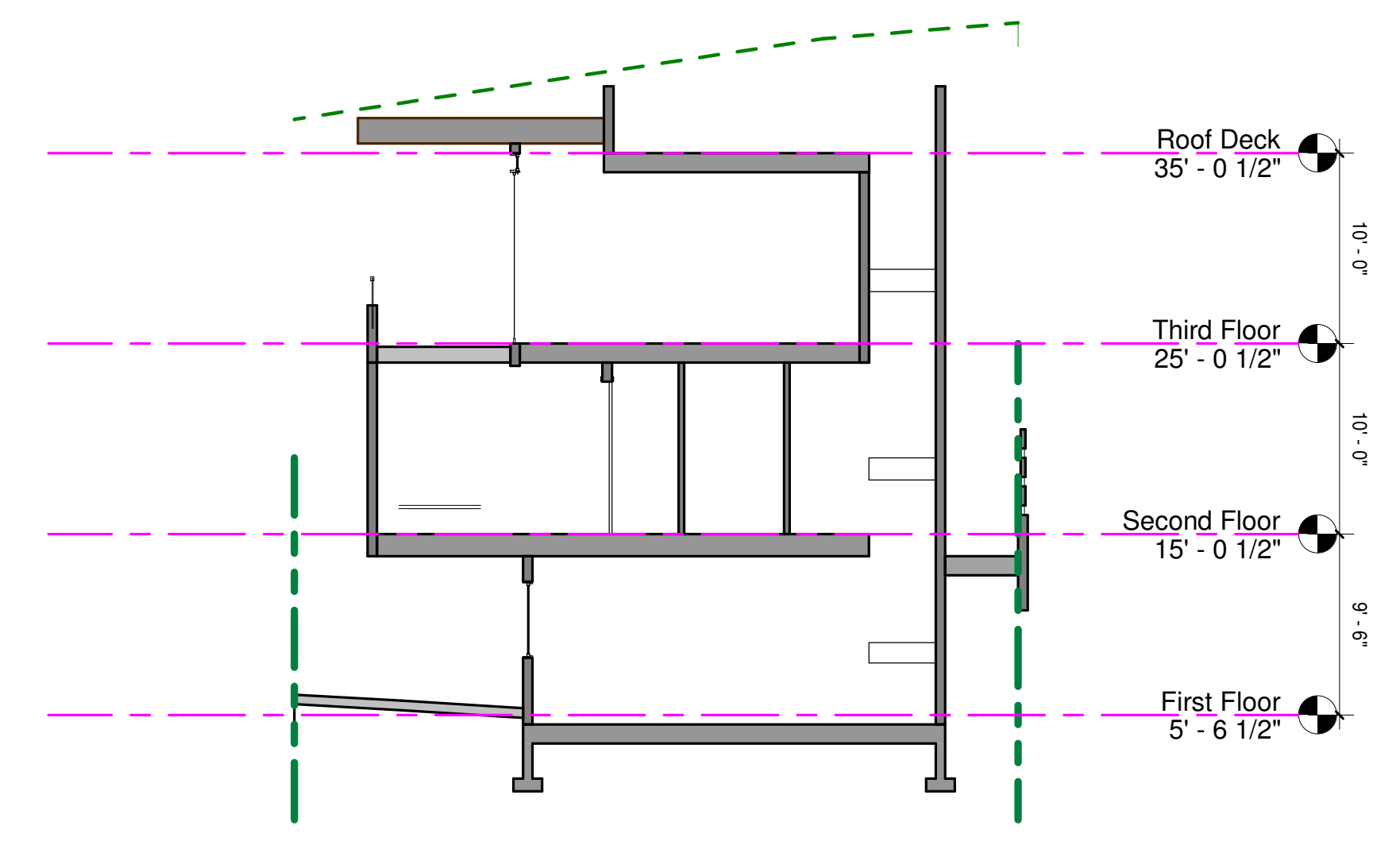
Drawing Number

A105

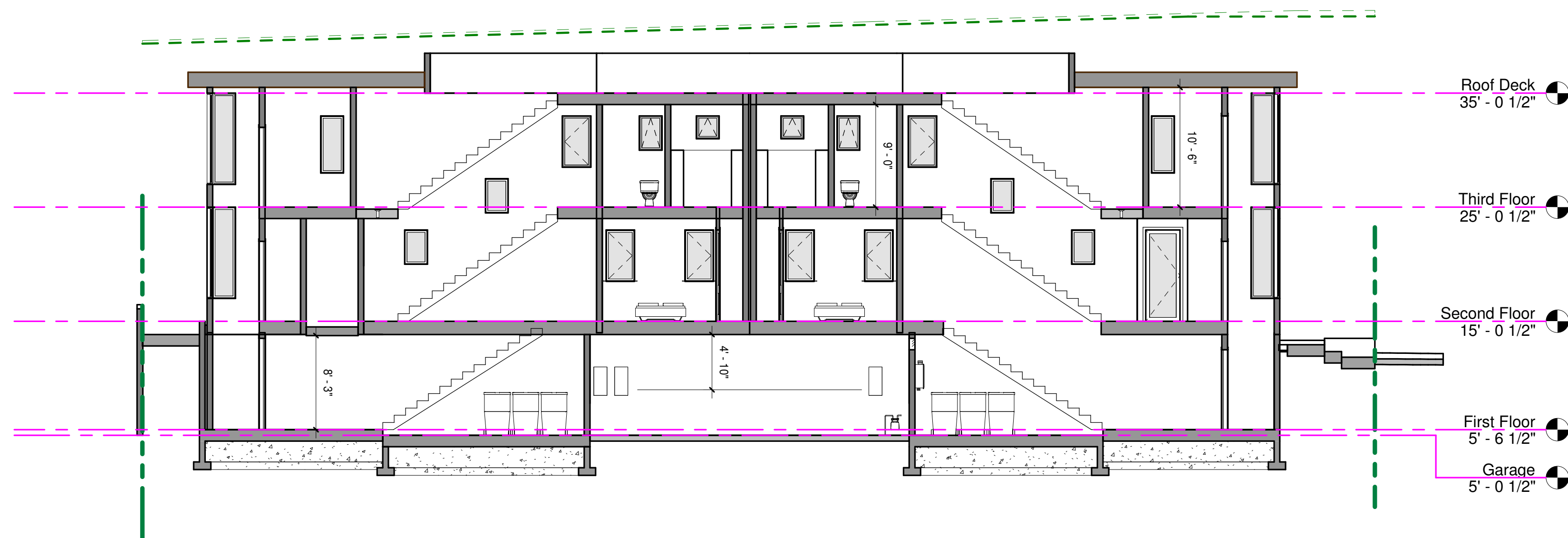
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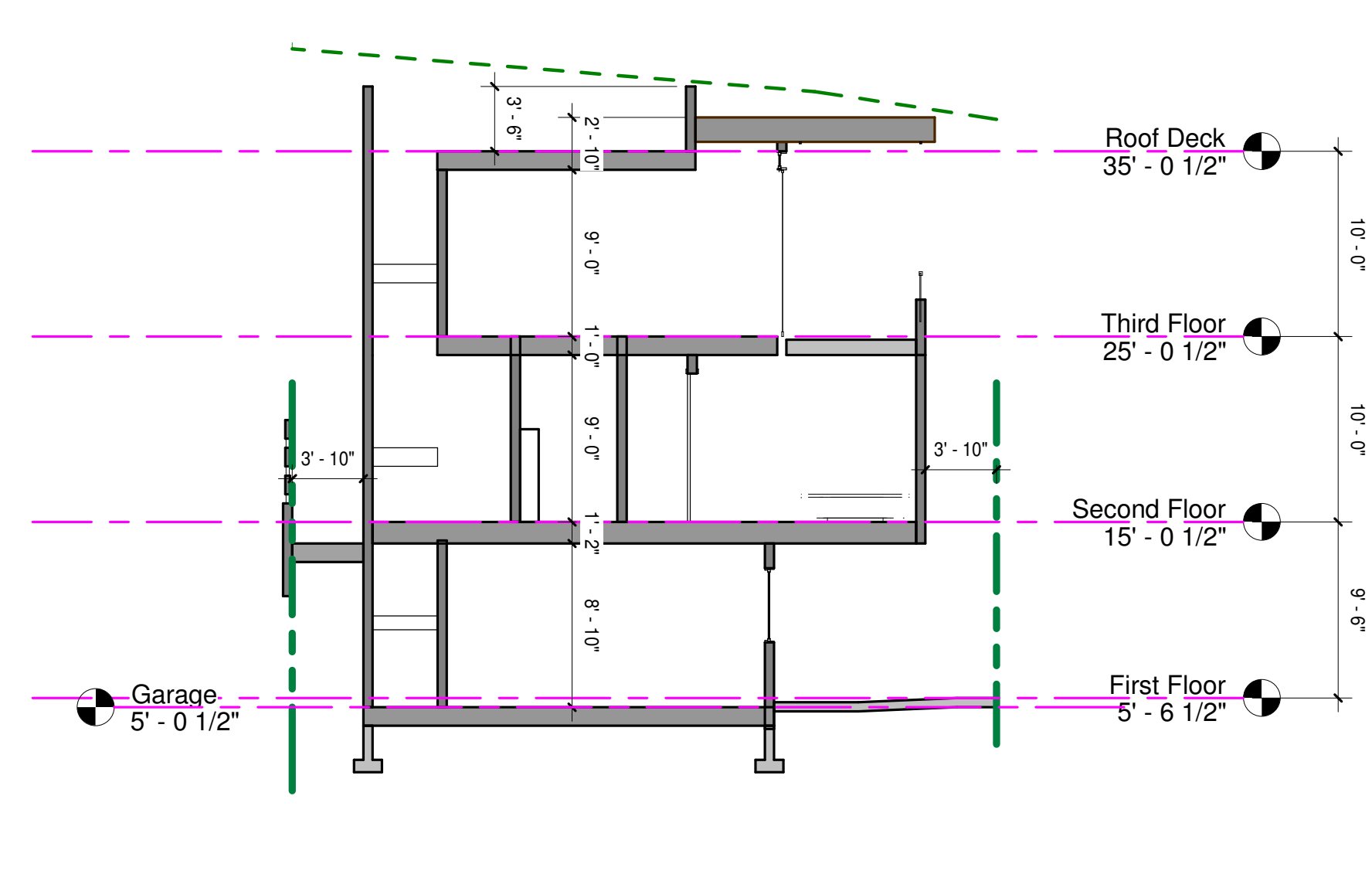
Section 3
1/8" = 1'-0"



Section 2
1/8" = 1'-0"



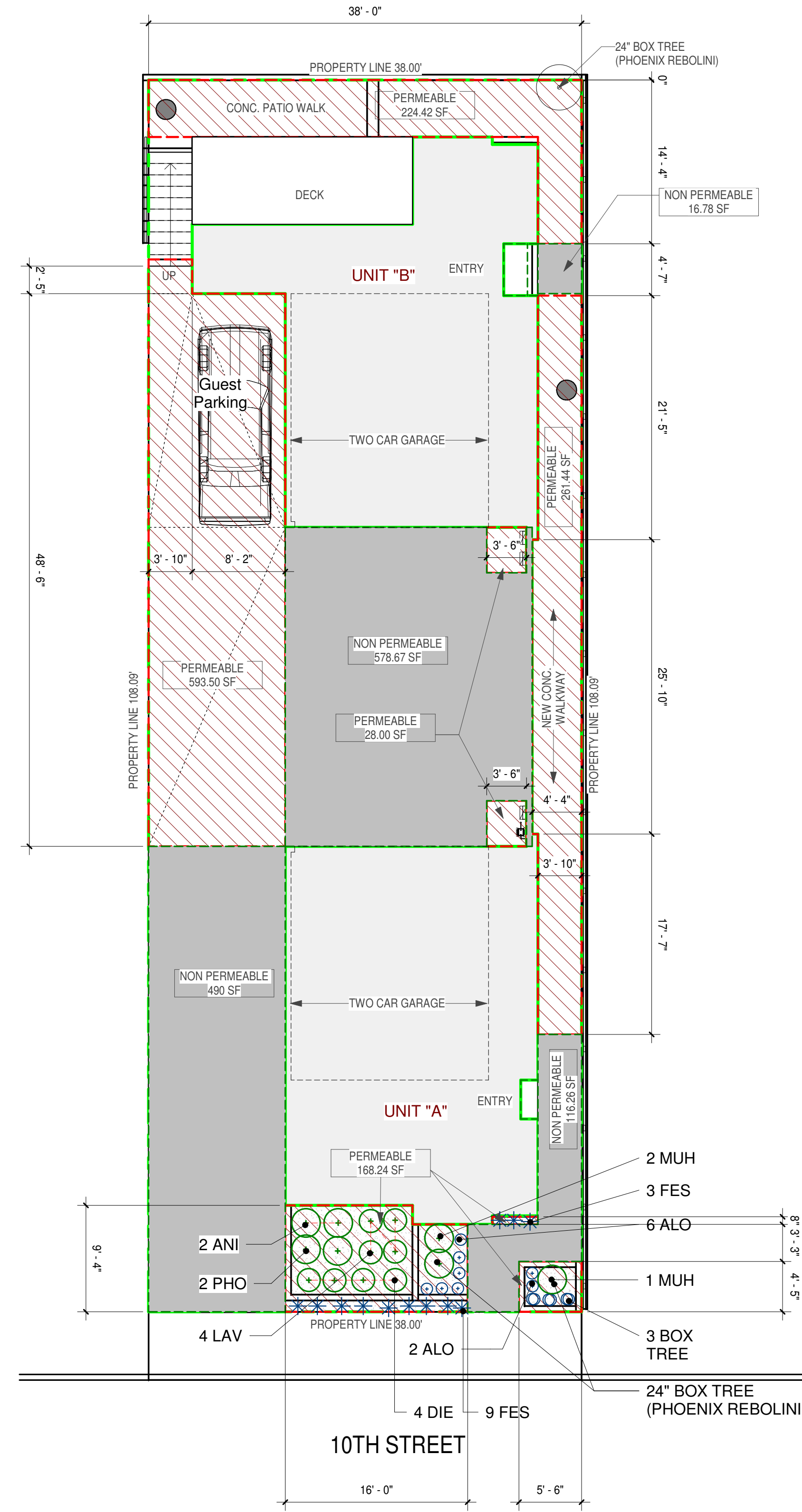
Section 4
1/8" = 1'-0"



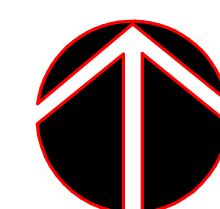
Section 1
1/8" = 1'-0"

Slusarz Planting List Wucols #3 Zone

<p>ALOE NOBILIS, GOLD TOOTH ALOE</p> 	<p>ANIGOZANTHOS 'RED CROSS' KANGAROO PAWS</p> 
<p>PHORMIUM TENAX 'JACK SPRATT' NEW ZEALAND FLAX</p> 	<p>DIETES BICOLOR BUTTERFLY IRIS</p> 
<p>FESTUCA GLAUCA ELUAH BLUE FESCUE</p> 	<p>LAVANDULA INTERMEDIA 'GROSSO' LAVENDER</p> 
<p>MUHLENBERGIA RIGENS DEER GRASS</p> 	



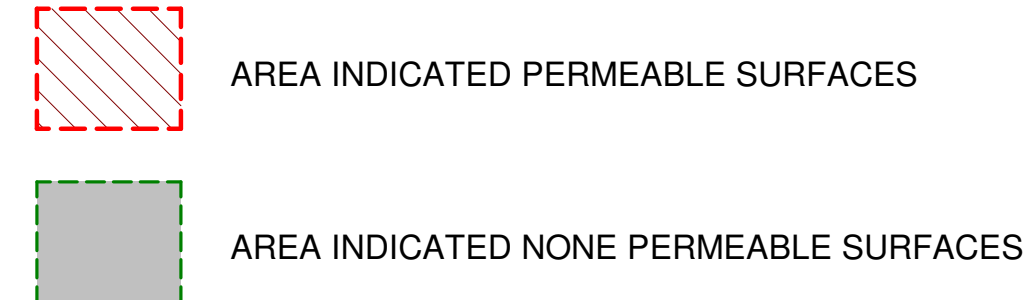
Site Landscape
1/8" = 1'-0"



PLANT LEGEND

Symbol	Botanical Name	Common Name	SIZE	TYPE	WATER	HEIGHT / WIDTH at MATURITY
PHX	PHOENIX ROABELWNII	PYGMY DATE PALM	24" BOX	TREE	LOW	12 feet
ALO	ALOE NOBILIS	GOLD TOOTH ALOE	1 GAL	SHRUB	LOW	1-2 feet / 1-2 feet
ANI	ANIGOZANTHOS 'RED CROSS'	RED CROSS KANGAROO PAWS	5 GAL	PERENNIAL	LOW	4-6 feet / 2-3 feet
FES	FESTUCA GLAUCA	ELUAH BLUE FESCUE	1 GAL	PERENNIAL	LOW	<1 foot / 1-2 feet
LAV	LAVANDULA INTERMEDIA 'GROSSO'	LAVENDER	5 GAL	SHRUB	LOW	2-3 feet / 4-6 feet
PHO	PHORMIUM TENAX 'JACK SPRATT'	NEW ZEALAND FLAX	5 GAL	SHRUB	LOW	18 inches / 18 inches
DIE	DIETES BICOLOR	BUTTERFLY IRIS	5 GAL	SHRUB	LOW	2 feet / 2 feet wide
MUH	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	PERENNIAL	LOW	4-5 feet / 4-6 feet

- PLANTING NOTES**
- BEFORE ANY PLANTS ARE LOCATED, ALL PLANTED AREAS ARE TO BE GRADED IN AN ACCEPTABLE MANNER TO ASSURE POSITIVE DRAINAGE.
 - PLANT SHRUBS A MINIMUM OF 30" FROM ALL LANDSCAPE LIGHT FIXTURE WHERE CIRCUMSTANCES PERMIT.
 - WHERE CIRCUMSTANCES PERMIT, DO NOT PLANT TREES CLOSER THAN 5' (FIVE FEET) TO AN EDGE OF PAVING, HEADERBOARD OR ROOF LINE.
 - WHERE CIRCUMSTANCES PERMIT, DO NOT PLANT SHRUBS CLOSER THAN 3' (THREE FEET) TO AN EDGE OF PAVING OR HEADERBOARD.
 - ANY TREE PLANTED WITHIN 5' OF HARDSCAPE SURFACE (EDGE OF SIDEWALK, WALLS, CURBS, AND BUILDING MUST HAVE ROOT GUARD INSTALLED AT TIME OF PLANTING PER MANUFACTURERS SPECIFICATIONS, INSTALL PER DETAIL.
 - LANDSCAPE PLANS ARE DIAGRAMMATIC FOR CLARITY OF READING. PLANTING MAY BE ADJUSTED IN FIELD.
 - MOUNDING AND ROUGH GRADE TO 1/10 FT. TO BE PROVIDED BY OTHERS. FINISH GRADE TO BE PROVIDED BY LANDSCAPE CONTRACTOR, IF APPLICABLE.
 - WHERE MOUNDING OCCURS ADJACENT TO STREET OR WALKS, SWALES SHALL BE FORMED ALONG THE STREET OR WALK TO CONTROL IRRIGATION RUN OFF.
 - PLANT QUANTITY LIST IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR AND IS NOT INTENDED FOR ACCURATE BIDDING PURPOSES.
 - IF REQUIRED, THE OWNER OR OWNER'S REPRESENTATIVE SHALL SUBMIT PLANS TO THE APPROPRIATE PLANNING AND AGRICULTURE DEPARTMENTS PRIOR TO SUBMITTAL FOR BUILDING PERMITS.



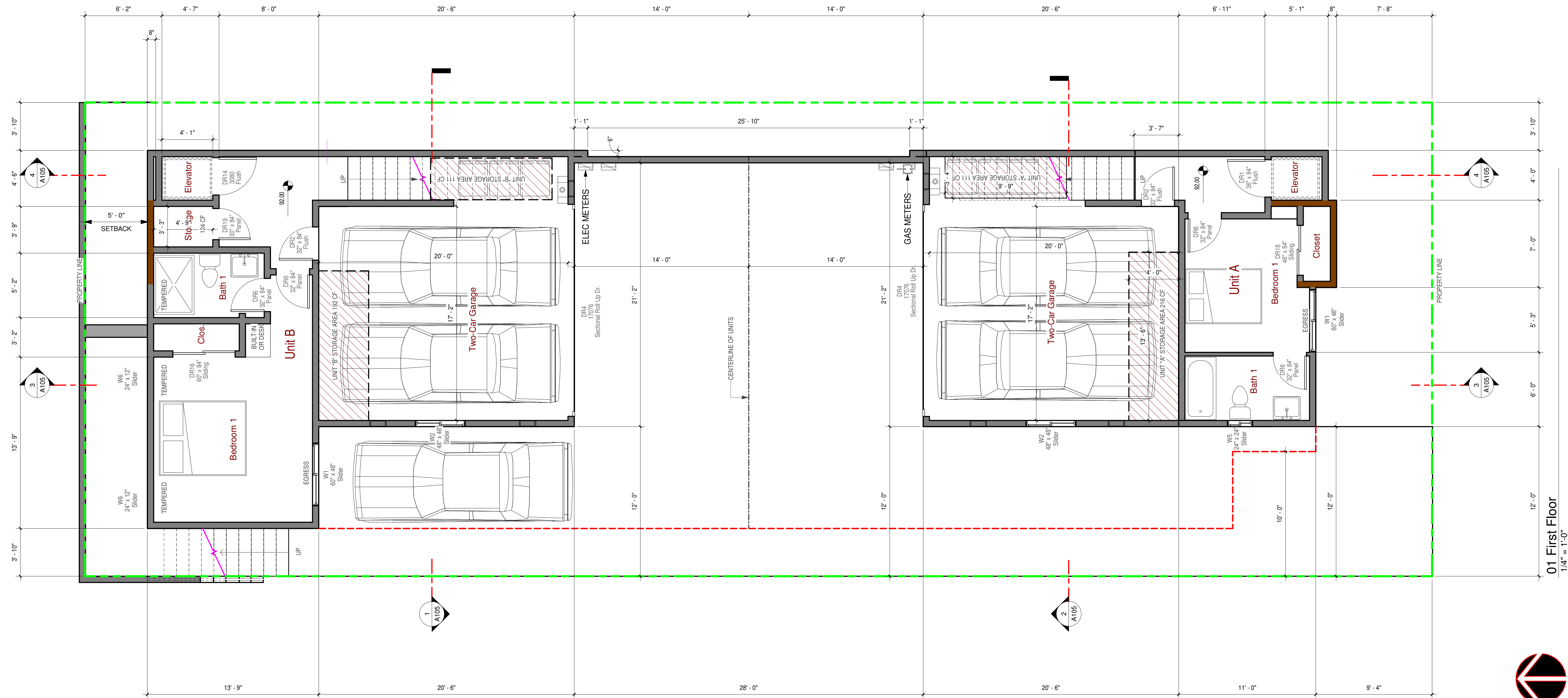
TOTAL SITE 4,107 SF - 1,580 SF FOOTPRINT = 2,527 SF
 TOTAL PERMEABLE REQUIRED IS 2,527 SF X 50% (1/2 OF SITE) = 1,264 SF
 TOTAL PERMEABLE AREA PROVIDED IS = 1,275.60 SF
 TOTAL NON PERMEABLE AREA PROVIDED IS = 1,201.71 SF

- SPECIFICATION**
- ALL LANDSCAPE AREA TO BE ON AUTOMATIC IRRIGATION SYSTEM. EACH PRIVATE OPEN SPACE SHALL BE ON A PRIVATE DOMESTIC WATER CONTROLLER SHALL BE IN A SEPARATE SYSTEM.
 - ALL IRRIGATION VALVES, CONTROLLER HEADS TO BE BY RAINBIRD OR EQUALLY.
 - ALL PIPES TO BE TO SCHEDULE 200 AND MAIN LINE TO BE IN SCHEDULE. 40

NOTE:
 PLANTS SHALL NOT EXCEED MORE THAN 20% HIGH WATER USE
 AUTOMATIC AND MOISTURE SENSOR SPRINKLER WILL BE PROVIDED

Revision:

No.	Description	Date



Floor Plan Legend

- New 2X Studs Wall or In-Fill @ 16" OC, UNO
- (E) Existing to Remain
- (N) New
- (R) Replaced
- (D) Demolish
- (F) Future Not This Permit

Window or door size, top example indicates 3'-0" width X 4'-0" height, bottom example indicates 2'-6" X 6'-8" height.

- Ⓢ Hard wire smoke alarms with battery back up in sleeping rooms and centrally located in corridors.
- Ⓢ Carbon monoxide detector shall be interconnected hard-wired with battery backup.
- Ⓢ Combination fluorescent light/Exhaust Fan, 50 CFM/in.
- Ⓢ Exhaust fan, 50 CFM. Kitchen airflow rate shall be minimum 100 CFM.

- ### Floor Plan Key Notes
1. Front entrance / exit door minimum 32 inches clear opening width 1-3/4 inches minimum thick.
 2. Vent through wall and or door at laundry room for combustion air, minimum 100 square inch.
 3. Provide mechanical ventilation capable of providing 5 air changers per hour.
 4. Net area of shower receptor shall be not less than 1,024 square inch of floor area, and encompass 30 inch diameter circle.
 5. Lighting 12 inch minimum away from shelves and provide cover for protection of combustible materials.
 6. Forced-Air-Unit (FAU). See energy calculations. Set unit on minimum 18" high wood framed platform or per plan.
 7. Granite slab and counter +36 inches high top (owner to select).
 8. Exit doors shall be operable from the inside without use of key or any special knowledge or effort.
 9. Tankless hot water heater shall be gas or electric, continuous burning gas pilot light are prohibited, see energy calculations.
 10. Provide shelf and pole assembly at all closets and walk in closets.
 11. Water closets shall be located in a 30" wide space and have a clear space in front of toilet shall be minimum of 24 inch in front of the water closet.
 12. Drain inlets (two-3" diameter) 1 drain to be 2 inches above low point for overflow, and the main drain to connect to down spouts or internal drain.
 13. Dryer vent to outside air maximum 14' total length with maximum (2) 90 deg. Bends.
 14. Fireplace Hearth shall be +12" raised non combustible surround.
 15. Provide one-hour resistive construction at walls and ceiling on the enclosed side of stairs as required per code.
 16. Showers and tub-shower shall have either a pressure balance or a thermostat mixing valve.
 17. Guardrail shall be at least 42 inches high. Baluster shall not be permit 4.375 inch diameter to pass through any opening.
 18. Handrail shall be 34" to 38" above tread nosing, with openings less than 4 inch diameter clear.
 19. Emergency escape and rescue from sleeping rooms. See Specific Notes on Sheet A004
 20. Hard wire smoke alarms with battery back up. See Specific Notes on Sheet A004
 21. Exterior waterproofing surface, slope 2% min. to drain (Crossfield Products, Dex-to-lex Weather Ware, ES Report ESR# 1757).
 22. Landing areas adjacent to doors shall have a measured length in the direction of travel no less than 36 inches.
 23. Mechanical ventilation in laundry, bathrooms, and toilet rooms shall be 50 cubic feet per minute. Vent to outside.
 24. Stair risers shall be 4" minimum and 7.75" maximum; treads shall be 11" minimum; headroom 6'-8" minimum; width 36" minimum. Stair landings shall be minimum 7'.
 25. Shower with tempered glass enclosure door.
 26. Required parking area shall be per code, provide 5/8" Type-X drywall at walls and ceiling to achieve an 1-hour rating. Automatic garage door opener equipment and the garage door entrance to be minimum 7'-4" high clear. Provide lowered vents - 14" x 6", 6" above garage floor, verify w/ adjacent grade, adjust as required per code, slope floor 0.5% minimum, 2% maximum. Note, the garage floor shall slope to facilitate the movement of liquids to a drain or toward the main vehicle entry door per CRC section R302.1 or CBC section 406.3.3
 27. Laundry room shall have waterproof the floor area, and install a floor drain. Provide a trap primer, include washing-machine drip pans and electronic shutoff valves that automatically stop the flow of water when they sense a leak.
 28. Fire rated, (20 Minute), self closing, tight fitting door shall be equipped with weather strip and threshold.
 29. Kitchen exhaust fan for local ventilation per code, min. airflow rate shall be 100 CFM.
 30. Combustion air ventilation required when FAU and Water Heaters located in garage area.

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 aga@agarchitecture.com
 www.agarchitecture.com

Client (Owner's) Name
Mark Slusarz
 Project Name & Location
Two-Unit Development
 645 10TH STREET
 HERMOSA BEACH, CA

Drawing Name
Level 1 Floor Plan

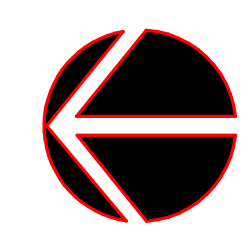
Project Status
 Project Status

Scale
 1/4" = 1'-0"

Date
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No.	Description	Date

Drawing Number
A107



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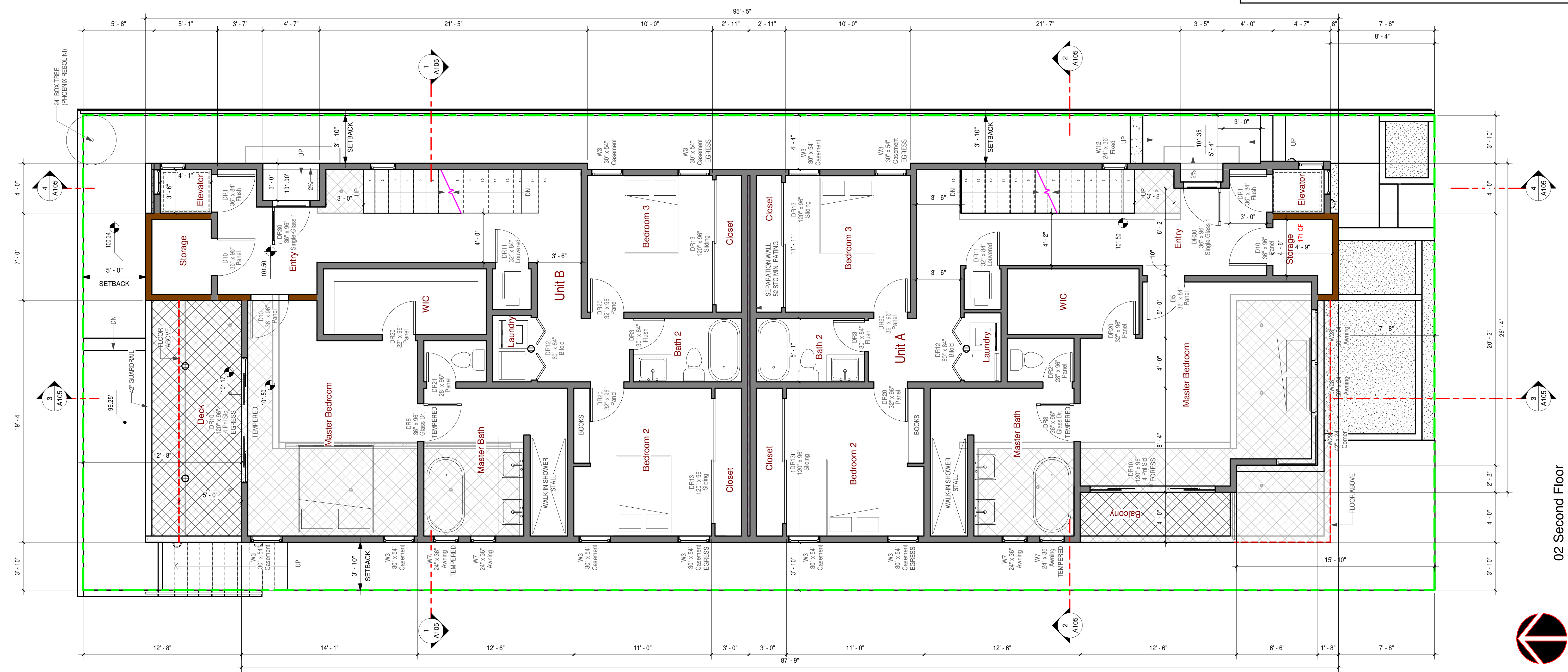
Floor Plan Legend

- New 2X Studs Wall or In-Fill @ 16" OC, UNO
- (E) Existing to Remain
- (N) New
- (R) Replaced
- (D) Demolish
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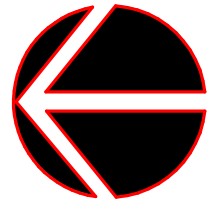
3040, Window or door size, top example indicates 3'-0" width X 4'-0" height, bottom example indicates 2'-6" X 6'-8" height.

- Ⓢ Hard wire smoke alarms with battery back up in sleeping rooms and centrally located in corridors.
- Ⓢ Carbon monoxide detector shall be interconnected hard-wired with battery backup.
- Ⓢ Combination fluorescent light/Exhaust Fan, 50 CFM.
- Ⓢ Exhaust fan, 50 CFM, Kitchen airflow rate shall be minimum 100 CFM.

- ### Floor Plan Key Notes
1. Front entrance / exit door minimum 32 inches clear opening width 1-3/4 inches minimum thick.
 2. Vent through wall and or door at laundry room for combustion air, minimum 100 square inch.
 3. Provide mechanical ventilation capable of providing 5 air changers per hour.
 4. Net area of shower receptor shall be not less than 1,024 square inch of floor area, and encompass 30 inch diameter circle.
 5. Lighting 12 inch minimum away from shelves and provide cover for protection of combustible materials.
 6. Forced-Air-Unit (FAU), See energy calculations. Set unit on minimum 18" high wood framed platform or per plan.
 7. Granite slab and counter +36 inches high top (owner to select).
 8. Exit doors shall be operable from the inside without use of key or any special knowledge or effort.
 9. Tankless hot water heater shall be gas or electric, continuous burning gas pilot light are prohibited, see energy calculations.
 10. Provide shelf and pole assembly at all closets and walk in closets.
 11. Water closets shall be located in a 30" wide space and have a clear space in front of toilet shall be minimum of 24 inch in front of the water closet.
 12. Drain inlets (two 3" diameter) 1 drain to be 2 inches above low point for overflow, and the main drain to connect to down spouts or internal drain.
 13. Dryer vent to outside air maximum 14' total length with maximum (2) 90 deg. Bends.
 14. Fireplace Hearth shall be +12" raised non combustible surround.
 15. Provide one-hour resistive construction at walls and ceiling on the enclosed side of stairs as required per code.
 16. Showers and tub-shower shall have either a pressure balance or a thermostatic mixing valve.
 17. Guardrail shall be at least 42 inches high. Baluster shall not be permit 4.375 inch diameter to pass through any opening.
 18. Handrail shall be 34" to 38" above tread nosing, with openings less than 4 inch diameter clear.
 19. Emergency escape and rescue from sleeping rooms. See Specific Notes on Sheet A004
 20. Hard wire smoke alarms with battery back up. See Specific Notes on Sheet A004
 21. Exterior waterproofing surface, slope 2% min. to drain (Crossfield Products, Dex-o-tex Weather Ware, ES Report ESR# 1757).
 22. Landing areas adjacent to doors shall have a measured length in the direction of travel no less than 36 inches.
 23. Mechanical ventilation in laundry, bathrooms, and toilet rooms shall be 50 cubic feet per minute. Vent to outside minimum. Stair risers shall be minimum 7."
 24. Stair risers shall be 4" minimum and 7.75" maximum; treads shall be 11" minimum; headroom 6'-8" minimum; width 36" minimum. Stair landings shall be minimum 7."
 25. Shower with tempered glass enclosure door.
 26. Required parking area shall be per code, provide 5/8" Type-X drywall at walls and ceiling to achieve an 1-hour rating. Automatic garage door opener equipment and the garage door entrance to be minimum 7'-4" high clear. Provide louvered vents - 14" x 6", 6" above garage floor, verify w/ adjacent grade, adjust as required per code, slope floor 0.5% minimum, 2% maximum. Note, the garage floor shall slope to facilitate the movement of liquids to a drain or toward the main vehicle entry door per CBC section R303.1 or CBC section 408.3.3
 27. Laundry room shall have waterproof the floor area, and install a floor drain. Provide a trap primer; include washing-machine drip pans and electronic shutoff valves that automatically stop the flow of water when they sense a leak.
 28. Fire rated, (20 Minute), self closing, tight fitting door shall be equipped with weather strip and threshold.
 29. Kitchen exhaust fan for local ventilation per code, min. airflow rate shall be 100 CFM.
 30. Combustion air ventilation required when FAU and Water Heaters located in garage area.



02 Second Floor
1/4" = 1'-0"



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Project Name & Location
**Two-Unit Development
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HERMOSA BEACH, CA**

Drawing Name
Level 2 Floor Plan

Project Status
Project Status

Scale
1/4" = 1'-0"

Date
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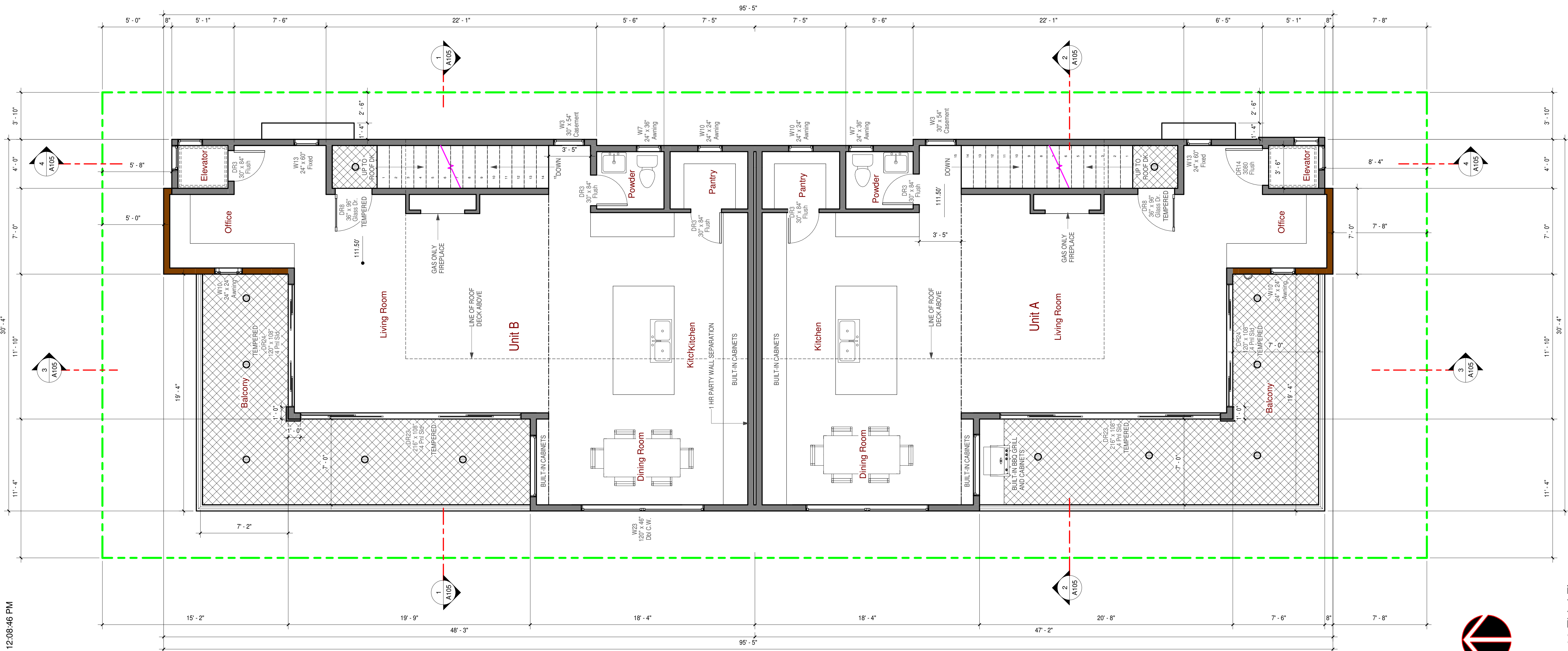
Revision:

No.	Description	Date

Drawing Number
A108

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Floor Plan Legend

- New 2X Studs Wall or In-Fill @ 16" OC, UNO
- (E) Existing to Remain
- (N) New
- (R) Replaced
- (D) Demolish
- (F) Future Not This Permit

3040, 2668 Window or door size, top example indicates 3'-0" width X 4'-0" height, bottom example indicates 2'-6" X 6'-8" height.

- SD Hard wire smoke alarms with battery back up in sleeping rooms and centrally located in corridors.
- CD Carbon monoxide detector shall be interconnected hard-wired with battery backup.
- CFM Combination fluorescent light/Exhaust Fan, 50 CFM/Min.
- EF Exhaust fan, 50 CFM, Kitchen airflow rate shall be minimum 100 CFM.

- ### Floor Plan Key Notes
1. Front entrance / exit door minimum 32 inches clear opening width 1-3/4 inches minimum thick.
 2. Vent through wall and/or door at laundry room for combustion air, minimum 100 square inch.
 3. Provide mechanical ventilation capable of providing 5 air changers per hour.
 4. Net area of shower receptor shall be not less than 1,024 square inch of floor area, and encompass 30 inch diameter circle.
 5. Lighting 12 inch minimum away from shelves and provide cover for protection of combustible materials.
 6. Forced Air Unit (FAU). See energy calculations. Set unit on minimum 16" high wood framed platform or per plan.
 7. Granite slab and counter +36 inches high top (owner to select).
 8. Exit doors shall be operable from the inside without use of key or any special knowledge or effort.
 9. Tankless hot water heater shall be gas or electric, continuous burning gas pilot light are prohibited, see energy calculations.
 10. Provide shelf and pole assembly at all closets and walk in closets.
 11. Water closets shall be located in a 30" wide space and have a clear space in front of toilet shall be minimum of 24 inch in front of the water closet.
 12. Drain inlets (two-3" diameter) 1 drain to be 2 inches above low point for overflow, and the main drain to connect to down spouts or internal drain.
 13. Dryer vent to outside air maximum 14' total length with maximum (2) 90 deg. Bends.
 14. Fireplace Hearth shall be +12" raised non combustible surround.
 15. Provide one-hour resistive construction at walls and ceiling on the enclosed side of stairs as required per code.
 16. Showers and tub-shower shall have either a pressure balance or a thermostatic mixing valve.
 17. Guardrail shall be at least 42 inches high. Baluster shall not be permit 4.375 inch diameter to pass through any opening.
 18. Handrail shall be 34" to 38" above tread nosing, with openings less than 4 inch diameter clear.
 19. Emergency escape and rescue from sleeping rooms. See Specific Notes on Sheet A004
 20. Hard wire smoke alarms with battery back up. See Specific Notes on Sheet A004
 21. Exterior waterproofing surface, slope 2% min. to drain (Crossfield Products, Dex-o-tex Weather Ware, ES Report ESR# 1757).
 22. Landing areas adjacent to doors shall have a measured length in the direction of travel no less than 36 inches.
 23. Mechanical ventilation in laundry, bathrooms, and toilet rooms shall be 50 cubic feet per minute. Vent to outside.
 24. Stair risers shall be 4" minimum and 7.75" maximum; treads shall be 11" minimum; headroom 6'-8" minimum; width 36" minimum. Stair landings shall be minimum 7'.
 25. Shower with tempered glass enclosure door.
 26. Required parking area shall be per code, provide 5/8" Type-X drywall at walls and ceiling to achieve an 1-hour rating. Automatic garage door opener equipment and the garage door entrance to be minimum 7'-4" high clear. Provide louvered vents - 14" x 6", 6" above garage floor, verify w/ adjacent grade, adjust as required per code, slope floor 0.5% minimum, 2% maximum. Note, the garage floor shall slope to facilitate the movement of liquids to a drain or toward the main vehicle entry door per CRC section R309.1 or CBC section 406.3.3
 27. Laundry room shall have waterproof the floor area, and install a floor drain. Provide a trap primer, include washing-machine drip pans and electric shutoff valves that automatically stop the flow of water when they sense a leak.
 28. Fire rated, (20 Minute), self closing, tight fitting door shall be equipped with weather strip and threshold.
 29. Kitchen exhaust fan for local ventilation per code, min. airflow rate shall be 100 CFM.
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Level 3 Floor Plan

Drawing Name

Project Status
Project Status

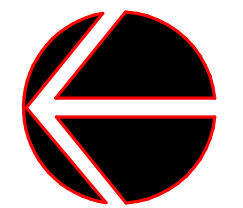
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No.	Description	Date

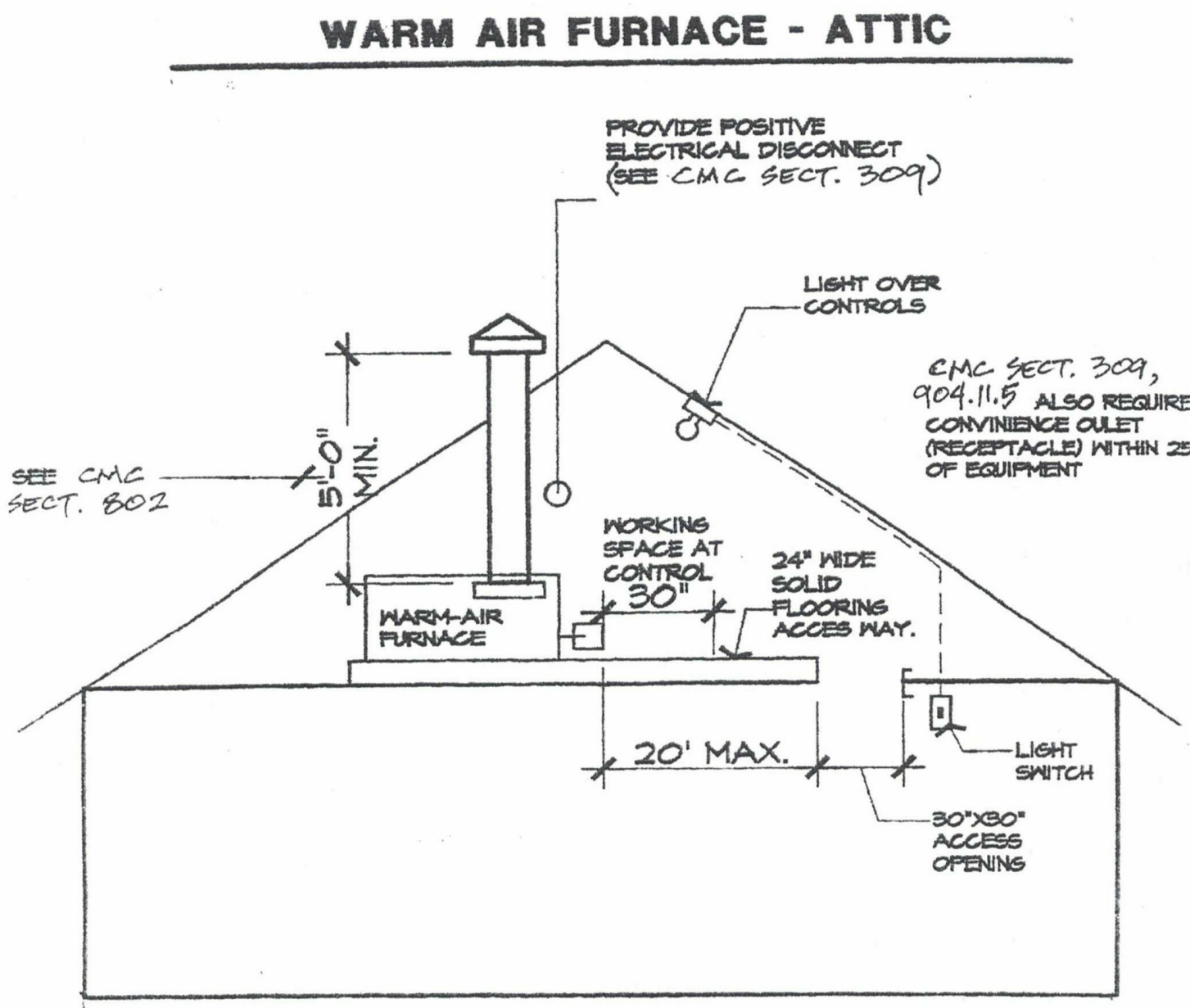
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A109

03 Third Floor
1/4" = 1'-0"



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RELATED CODE SECTION: C.M.C. SECT. 931

CENTRAL WARM-AIR FURNACES INSTALLED IN AN ATTIC MUST BE ACCESSIBLE FOR ROUTINE INSPECTIONS AND MAINTENANCE BY THE OWNER/OCCUPANT AND FOR SERVICE AND REPAIR AS NEEDED. CHANGING FILTERS, LUBRICATING MOTOR AND FAN BEARINGS, CHECKING BELT TENSION, AND RELIGHTING THE PILOT FOLLOWING A SERVICE INTERRUPTION ARE NORMAL OWNER FUNCTIONS. ADEQUATE LIGHT, AND ELECTRICAL OUTLET, SAFE ACCESS WAY AND SUFFICIENT WORKING SPACE ON THE CONTROL SIDE ALL ENCOURAGE AND FACILITATE MAINTENANCE AND ALSO ENABLE RAPID EGRESS IN AN EMERGENCY.

NOTES:

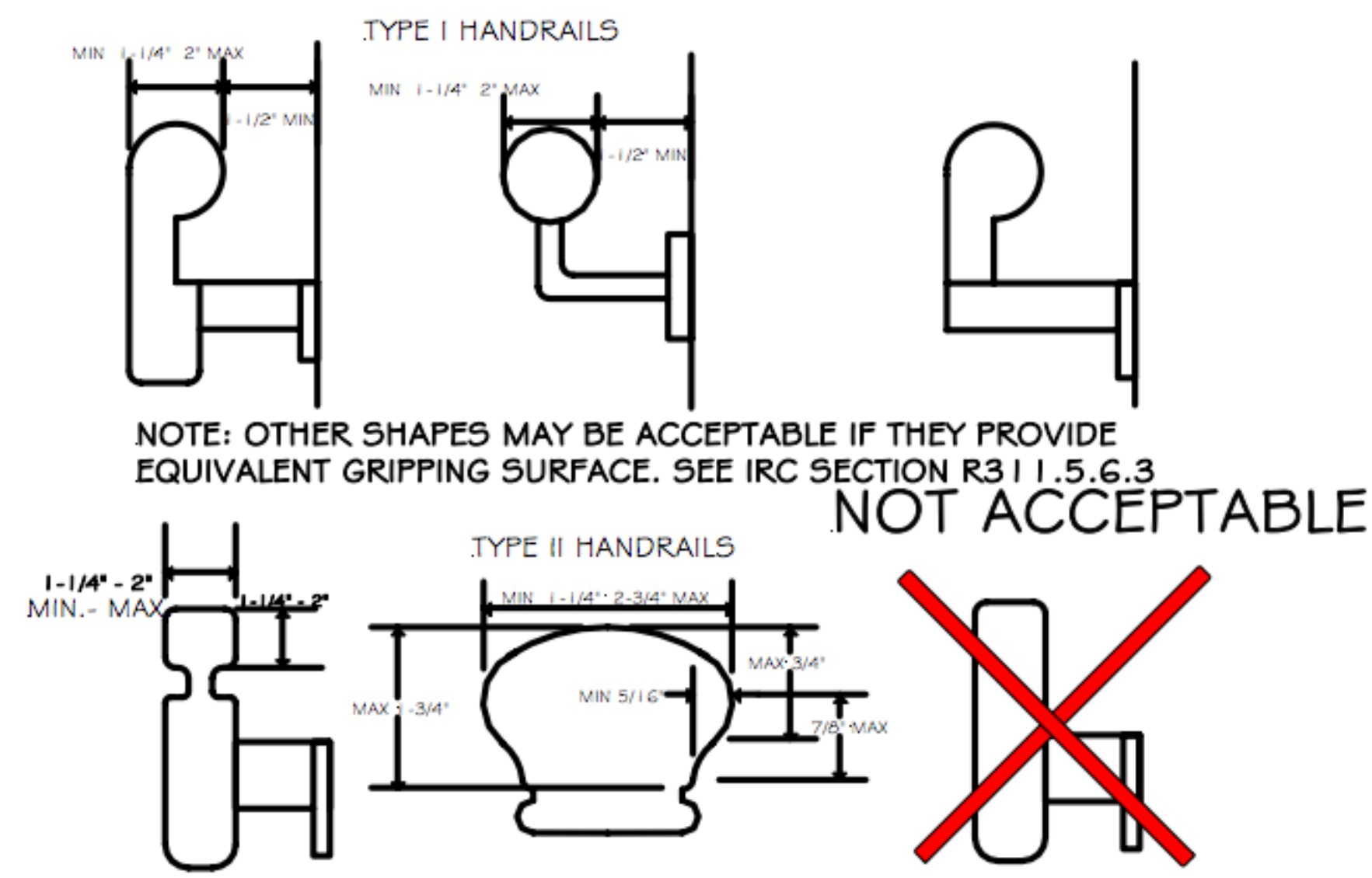
1. PROVIDE DOUBLE JOISTS BELOW UNIT
2. PROVIDE SEISMIC BRACES OR ANCHOR UNIT TO PLATFORM
3. CONDENSATE DRAIN SHALL TERMINATE AT AN APPROVED PLUMBING FIXTURE

⑤ Warm Air Furnace Attic
12" = 1'-0"

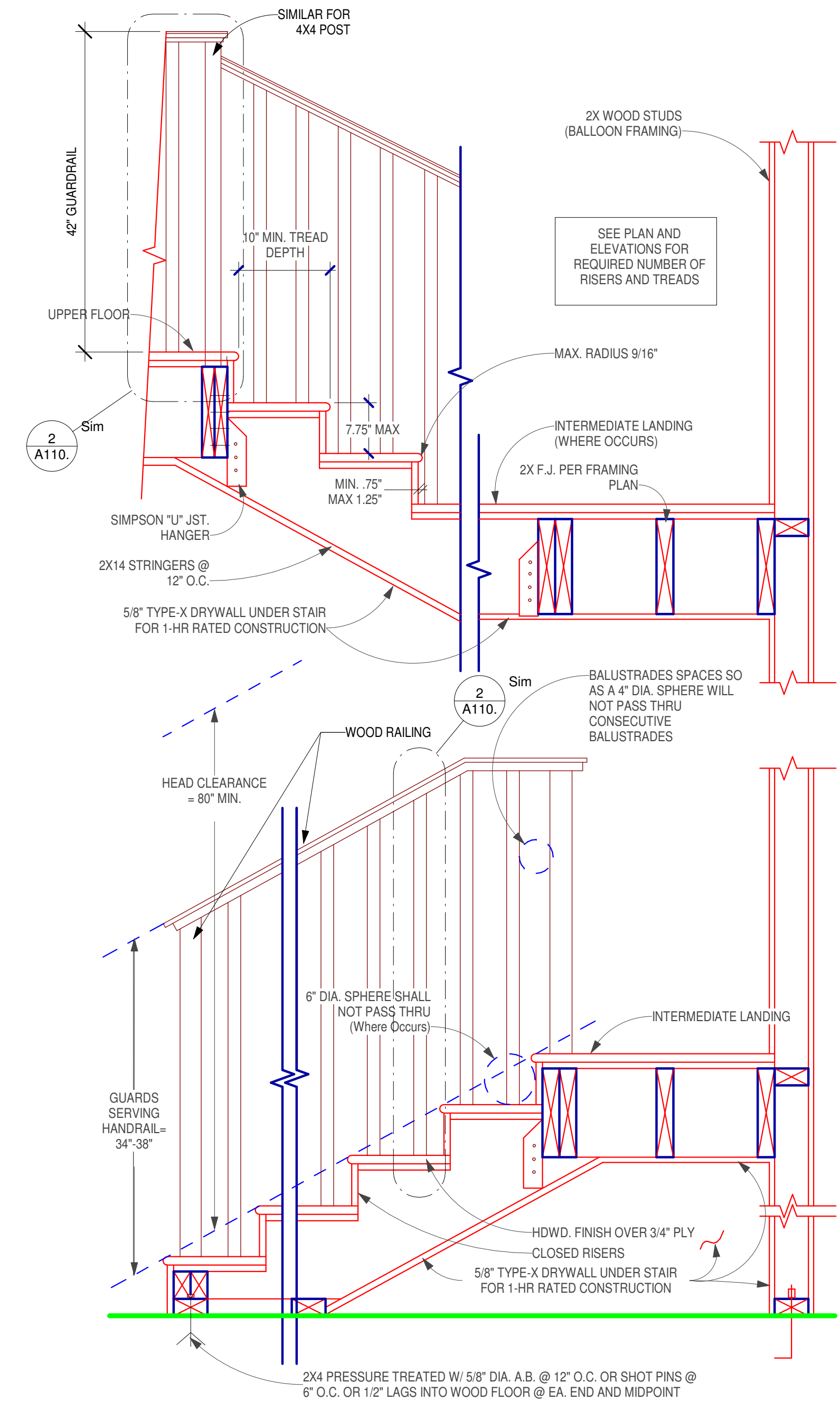
R311.5.6.3 Handrail grip size. All required handrails shall be of one of the following types or provide equivalent grasp-ability.

1. Type I. Handrails with a circular cross section shall have an outside diameter of at least 1-1/4 inches (32 mm) and not greater than 2 inches (51 mm). If the handrail is not circular it shall have a perimeter dimension of at least 4 inches (102 mm) and not greater than 6-1/4 inches (160 mm) with a maximum cross section of dimension of 2 1/4 inches (57 mm).

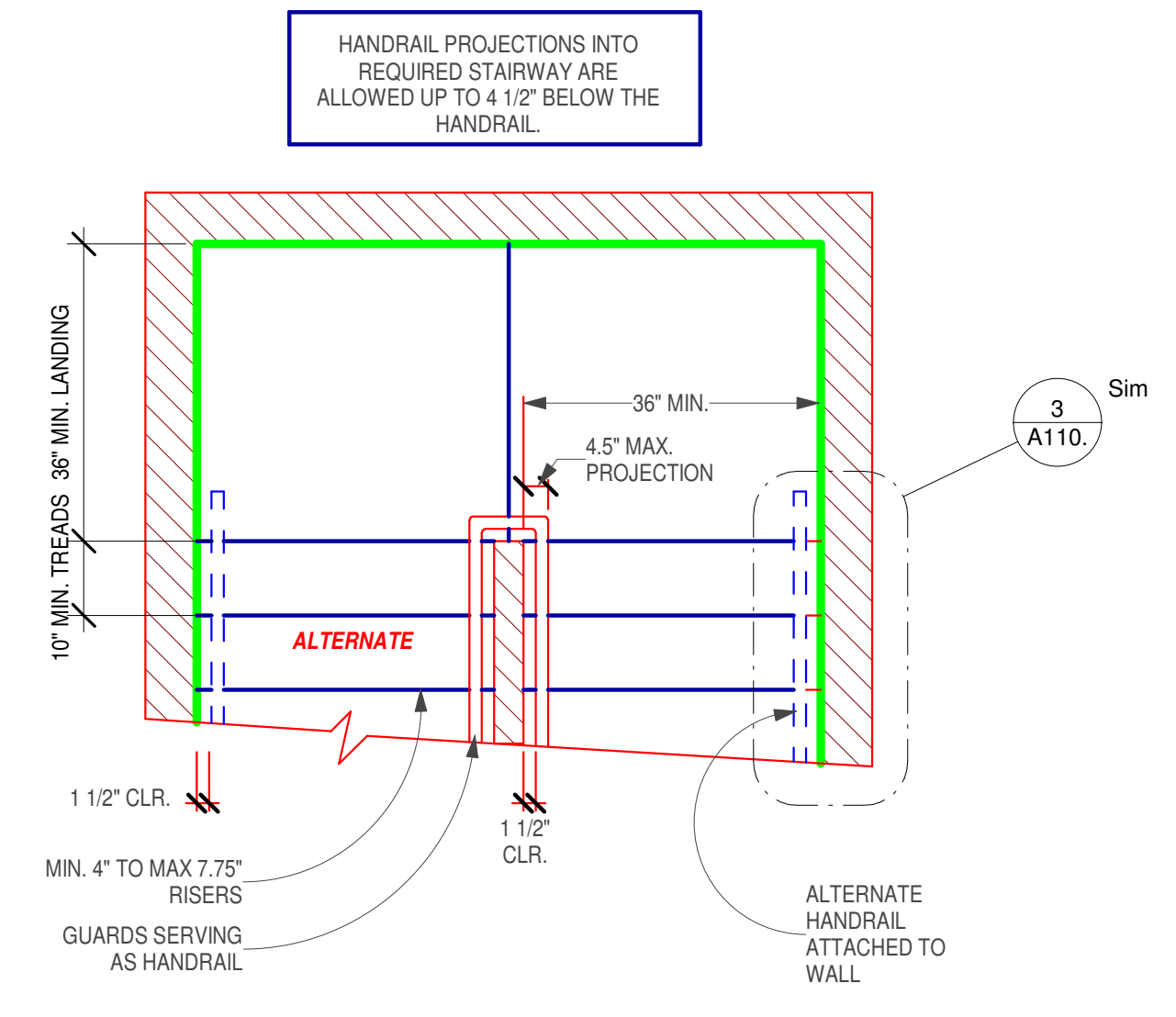
2. Type II. Handrails with a perimeter greater than 6-1/4 inches (160mm) shall provide a graspable finger recess area on both sides of the profile. The finger recess shall begin within a distance of 3/4 inch (19 mm) measured vertically from the tallest portion of the profile and achieve a depth of at least 5/16 inch (8mm) within 7/8 inch (22mm) below the widest portion of the profile. This required depth shall continue for at least 3/8 inch (10mm) to a level that is not less than 1-3/4 inches (45 mm) below the tallest portion of the profile. The minimum width of the handrail above the recess shall be 1-1/4 inches (32 mm) to a maximum of 2-3/4 inches (70 mm). Edges shall have a minimum radius of 0.01 inches (0.25 mm).



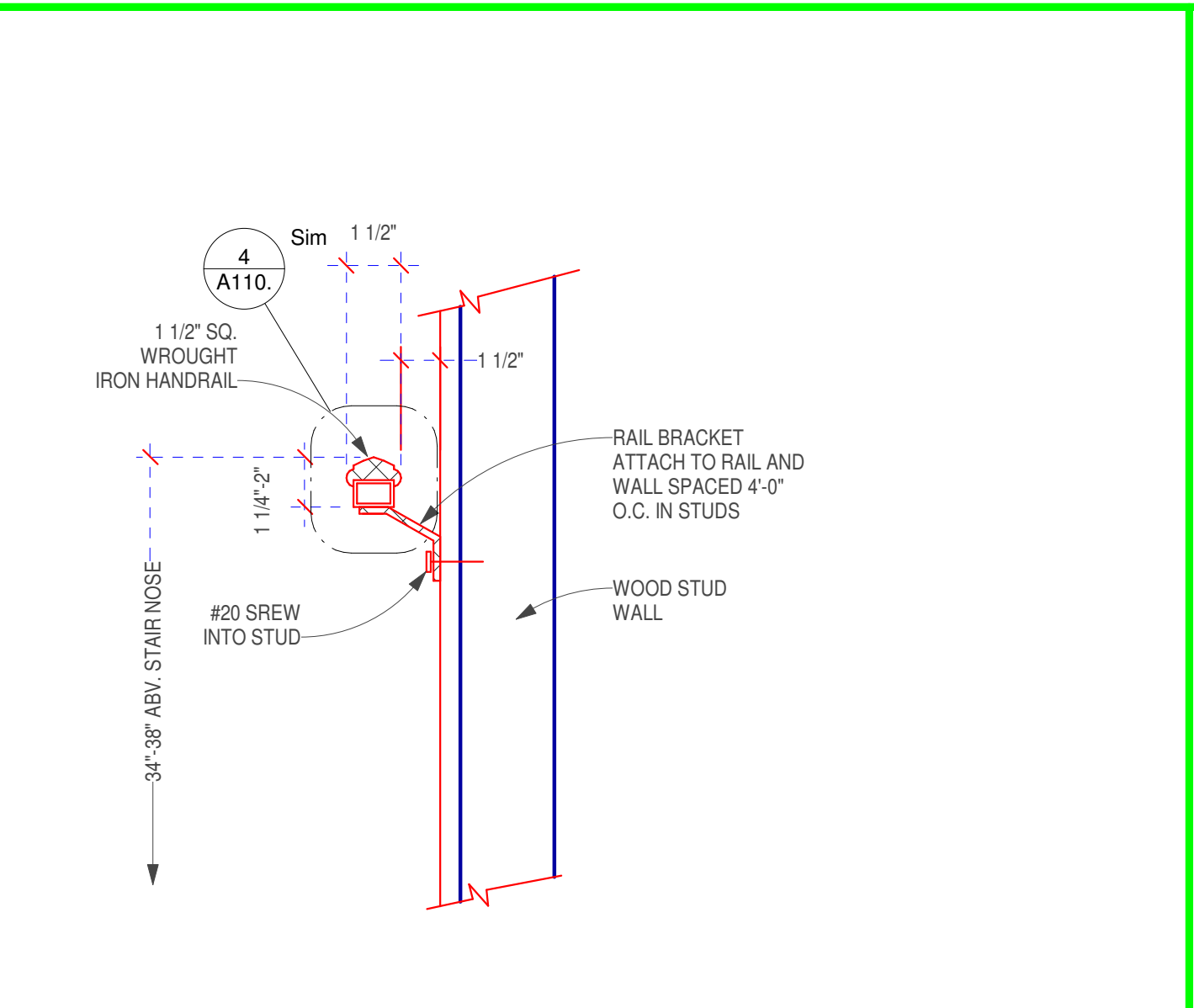
④ Handrail Grip
1" = 1'-0"



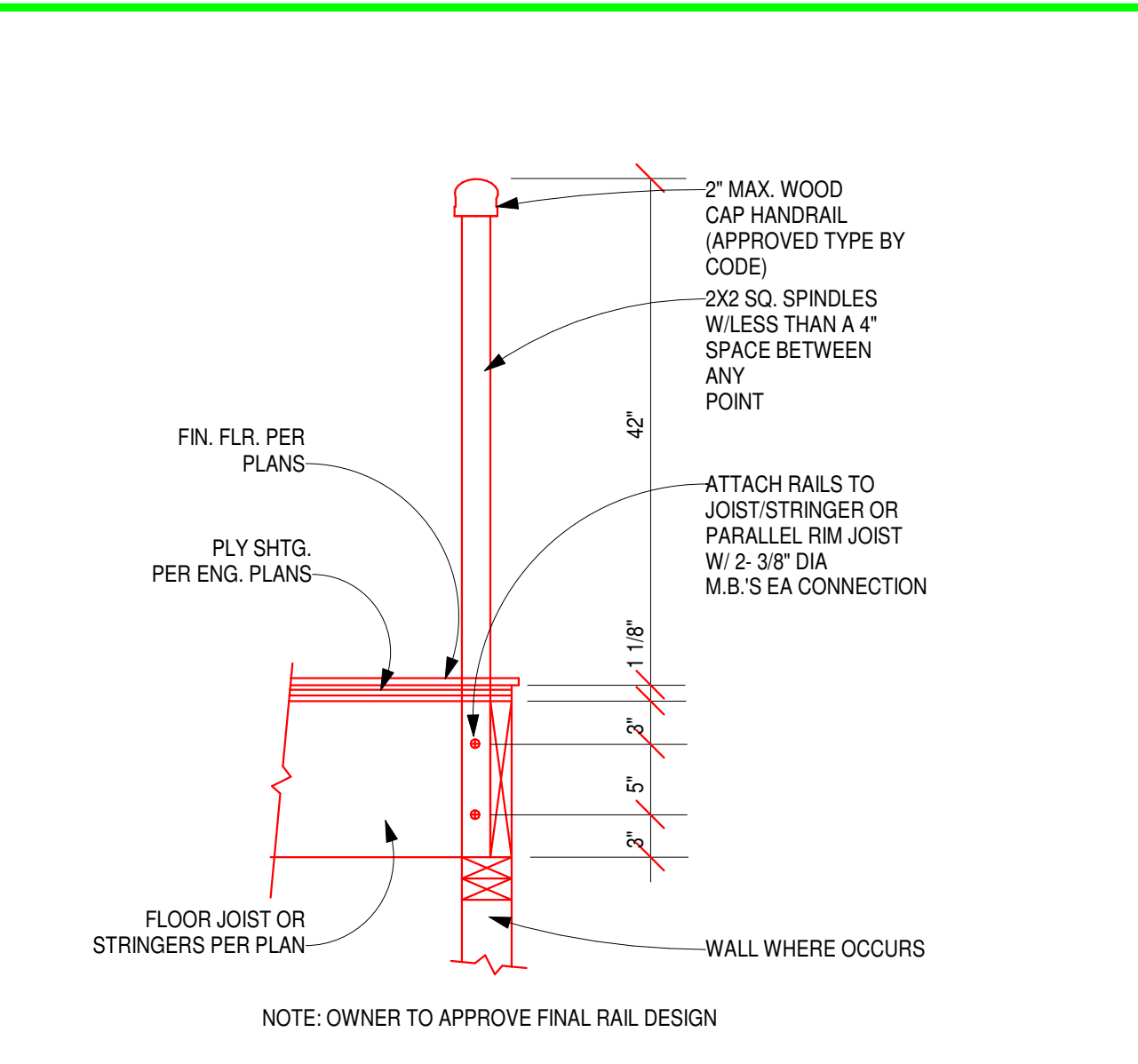
① Stairs and Wood Railing
1" = 1'-0"



② Interior Wood Guardrail
1" = 1'-0"



③ Handrail to Wall
1" = 1'-0"



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Drawing Name
Schedules

Project Status
Project Status

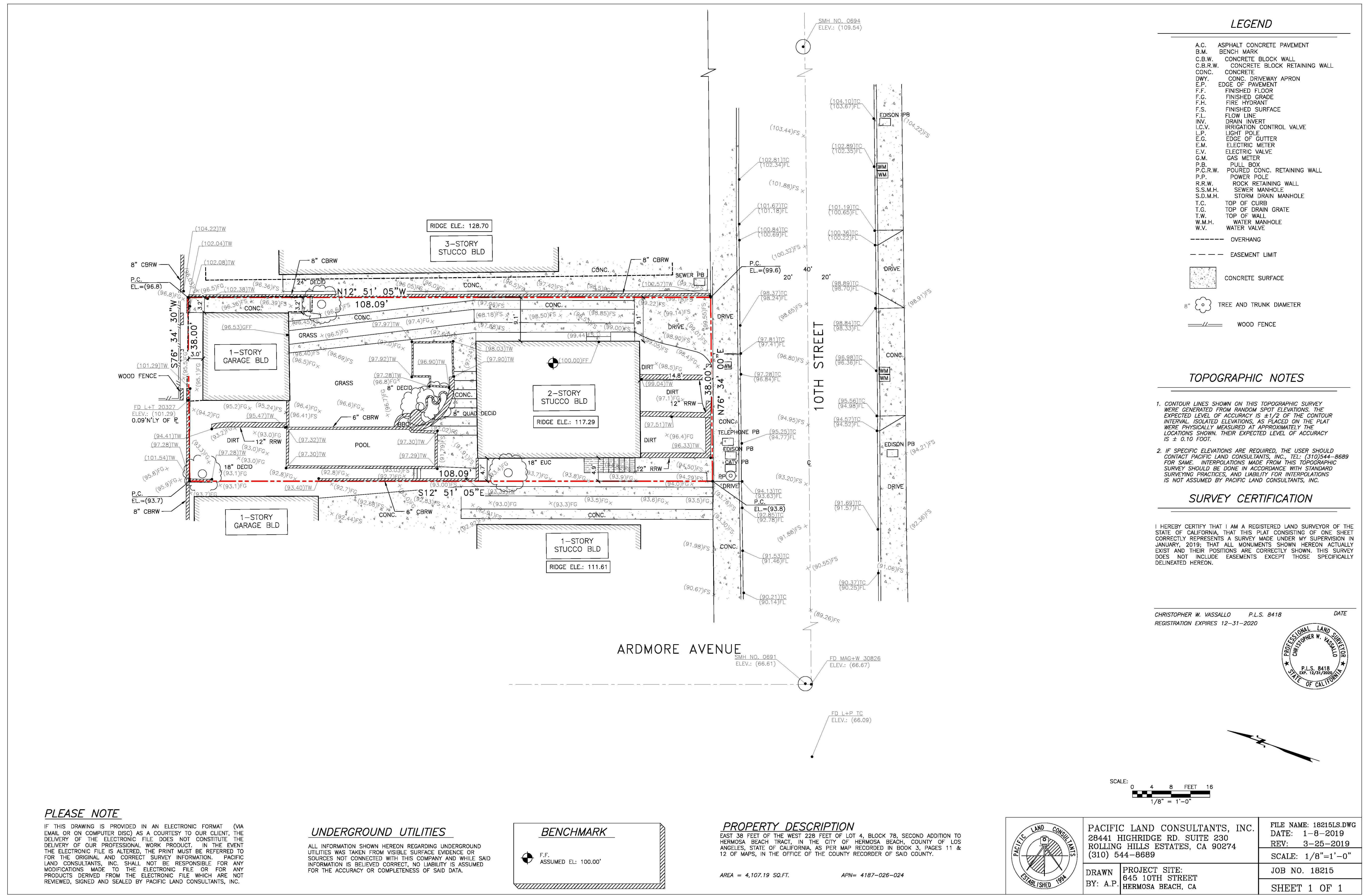
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Drawing Name
Civil Survey

Project Status
Project Status

Scale
1" = 10'-0"

Date
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Drawing Number
C101



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

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Project Name & Location
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Drawing Name
RENDERING

Project Status
Project Status

Scale
12" = 1'-0"

Date
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Revision No.	Description	Date

Drawing Number
R-01