

GENERAL NOTES:

1. Double joists required under parallel partitions.
2. Impact glass at doors, tubs, etc., to be fully tempered.
3. Gas fired appliances shall have intermittent ignition devices, not continuously burning pilot lights; i.e., furnaces under 175,000 BTU, all fan-type furnaces, clothes dryers, stoves, etc.
4. Heating equipment shall comply with efficiency standards.
5. All interior finish materials shall meet class III flame spread classification.
6. Inspection of nailing required for drywall and all lathe when in place. Corner beads to be nailed.
7. All new glazing shall comply with standards of the U.S. Consumer Product Safety Commission. Manufacturer to supply Certificate of Compliance to owner.
8. All new work shall conform with the minimum standards of the City of Hermosa Beach and the applicable edition of the (CBC) California Building Code.
9. All dimensions are taken to stud / concrete surfaces, unless noted otherwise. On additions or remodels align new rough framing to existing.
10. Provide one hour fire resistant protection under stairs and walls when area under stairs is enclosed, at party walls, and all wall / floor assemblies common to garage area. Provide 5/8" type "X" gypsum board throughout.
11. Provide one layer of 15# felt under all exterior wall coverings.
12. Exterior doors and windows, and their hardware shall conform to the security provisions of the applicable CBC.
13. Insulation compliance card shall be posted at a conspicuous location within the dwelling.
14. Re-circulating hot water piping in attics, garages, crawl spaces or unheated spaces shall be insulated.
15. The new forced air unit compartment dimensions shall have 3" clearance on sides and back; 6" minimum clearance from front of equipment to combustion air intake. Area of combustion air openings of one sq. inch per 1,000 BTU (200 sq. in. min.); is to be in not in the same door of 24 inch minimum width. Water heaters with non-rigid water connections shall be strapped for lateral support.
16. Gas fired water heater requires 100 sq. inches of combustion air opening within 12 inches of the ceiling and 100 sq. inches within 12 inches of the floor, and shall have no compartment.
17. Sliding glass doors and sliding glass windows shall be capable of withstanding the tests set forth in California Building Code.
18. All shall bear forced-entry-resistant labels.
19. Glazing and insulation shall conform to the State Energy Insulation Standards.
20. A single swinging door, active leaf of a pair of doors, and the bottom leaf of Dutch doors shall be equipped with a deadbolt and a dead locking latch, both key-operated from the outside. Deadbolt shall have a hardened insert one inch minimum throw and 5/8 inch minimum embedment into jamb.
21. Swinging wooden door and panels of wooden doors shall be not less than 1-3/8 inch thick, unless key-operated from the inside.
22. Door stops of wood jambs of in-swinging doors shall be one-piece construction or joined by rabbet.
23. Windows and door lights within 40 inches of the locking device of the door shall be fully tempered / approved burglary resistant protected by bars, screens or grates or the locks shall be key-operated from the inside.
24. Baths not vented by natural means shall be provided with an exhaust fan capable of producing a change of air at the rate of five times per hour.
25. Provide a 22" x 30" (minimum) attic access to attic space with a minimum 30" clear headroom above opening.
26. Provide 26 GA. galvanized (corrosion resistant) weep screed at mudsills for all exterior walls.
27. Provide a 24" wide x 18" high crawl-hole or door to underfloor area, not more than (20) twenty feet from plumbing cleanouts or Forced Air Unit. Pipes, ducts and other non-structural construction components shall not interfere with accessibility.
28. Provide 1 x 6 continuous diagonal let-in bracing, let into studs spaces not over 16" on center and placed at an angle so as to include at least five studs in a wall height of (8) eight feet. Braces shall be nailed at plates and studs by (3) 8 penny nails.
29. Gas and electric meters must clear the property lines by (3) three feet minimum.
30. Garage door springs shall have break retainers and manufacturer's label.
31. Prefabricated fireplaces shall be I.C.C. listed and installed per manufacturer's specifications.
32. All water heaters with non-rigid water connections shall be strapped for lateral support.
33. Protect all heat producing appliances (18) eighteen inches above the garage floor.
34. All construction report shall be provided to the Building Department for all fills.
35. All cripple walls exceeding (4) four feet in height shall be framed of studs having the required size for an additional story and bracing.
36. A certificate of fabrication shall be submitted to the Building Department by the shop performing the welding.
37. Provide sub-drains for all retaining walls.
38. Provide staggered bolting with 1/2" diameter machine bolts at (24) twenty-four inches on center for triple joists or more, except where noted.
39. All smoke detectors shall be located within (12) twelve inches of the ceiling.
40. Eave projections directly over required openings for light/ventilation shall be 30" from property line, other eave projections to be a min of 24" from property line CBC 503.2.1 & 1204
41. Combustible eave overhangs within 3' of property line shall be of one hour fire-resistivity or heavy timber construction conforming to section 605.6
42. Protection of joint penetrations in fire rated assemblies shall be not be concealed from view until inspected and approved - cbc section 108.5.1
43. Exterior lath: Provide 2 layers of grade D paper over all wood based sheathing (CBC 2506.4)
44. Show a weep screed for stucco at the foundation plate line a min 8" above earth or above paved areas (CBC 2506.5)
45. Wall coverings shall be cement plaster, tile or approved equal to 70" above drain inlet at showers or tub with showers. Materials other than structural elements to be moisture resistant. (CBC 807.1.3 & 2912)
46. Bay windows or architectural projections into the side yard shall not contain floor area or plumbing fixtures.
47. The structure shall comply with the security provisions of appendix chapter 10
48. Windows by showers or windows located 5' from stairways and landings, and 24" from exterior doors shall be tempered glazing - as per CBC Section 2406.4.
49. The door between the Garage and Dwelling shall be a 20 minute fire assembly with self closer - per CBC Section 3-2.4 exception 3.
50. Water closets shall be located in a 30" wide wall space and have 24" clear in front of the unit - per CBC Section 2904
51. Shower compartments shall have a minimum 30" wide radius circular floor space - per CBC Section 412.7.

OPEN SPACE CALCCS:

UNIT A

2ND FLR FRONT DECK 7'x7' =
49 SF OPEN SPACE

3RD FLR DECK 8.58"x17.79" =
152 SF OPEN SPACE

ROOF DECK OPEN SPACE 16.92"x13.54" =
228.05 SF

100 SF TOTAL ALLOWED

SUMMARY:
49+152+100= 301 SF TOTAL OPEN SPACE - UNIT A

UNIT B

2ND FLR DECK 7'x22' =
154 SF OPEN SPACE

3RD FLR DECK OPEN SPACE 17.29"x10.33" =
178.6" +
6.91"x5.04" = 30.3

UPPER DECK OPEN SPACE = 208.89'

SUMMARY:
154+208.89= 362.89 SF TOTAL OPEN SPACE - UNIT B

PERMIT NOTES:

SEPARATE PERMITS REQUIRED FOR:

- 1) MECHANICAL WORK
- 2) ELECTRICAL WORK
- 3) PLUMBING WORK

NOTE: THERE IS AN EXISTING SEWER CONNECTION AT THE SITE.

GENERAL LEGEND

INTERIOR ELEVATION

NOTATION

1

2

3

4

FACE OF WALL (FINISH SURFACE).

FACE OF STUD (on Floor Plans, Framing Plans, & Face of concrete on Foundation Plan).

GALVANIZED IRON (SHEET METAL)

DOWNSPOUT

NOTE: Dimensions shown on Site Plan are to finish surfaces.

All other plans are dimensioned to Face of Stud.

GENERAL REQUIREMENTS

1. All Stairs to have a minimum of one conforming handrail. (Provide one at each side for exterior stairs.)

2. Structural observation per CBC requirements shall be provided when so designated by the architect or engineer of record, or when required specifically by the building official.

3. All drainage to terminate to street via non-erosive device.

4. Alternate furnace location within an alcove or closet shall not open into den/guest room per section 315 of CMC and shall have minimum dimensions of 12 inches plus width of furnace with a minimum 3 inch clear working space along the sides, back and top of furnace. The listing on the furnace does not eliminate the working space requirements.

5. Provide individual control valves of the pressure balance of thermostatic mixing valve type for showers and tub shower combinations.

6. Water heater shall be strapped per UPC 510-5

7. Condensate drain to approved plumbing fixture and overflow drain shall be separate from required condensate drain and point of discharge to location where it is readily observable - CMC 1105

INDICATES NOT APPLICABLE TO THIS PROJECT

H.B .SITE RELATED NOTES

1) CONTRACTOR TO PROVIDE AUTOMATED SPRINKLERS FOR ALL AREAS. LOCATION OF TIMER DETERMINED BY CONTRACTOR. QUANTITY AND LOCATION OF SPRINKLER SYSTEM COMPONENTS TO CONFORM TO CITY AND STATE REQUIREMENTS.

2) SEE GRADING / DRAINAGE PLAN FOR ALL SITE DRAINAGE INFORMATION AND ALL NATURAL GRADE ELEVATION HEIGHTS. ALL SITE DRAINAGE TO BE TERMINATED AT PUBLIC WAY VIA NON EROSION DEVICE - AS PER HPMC

3) CONSTRUCTION DUST CONTROL-- DURING CONSTRUCTION DUST CONTROL MEASURES SHALL BE REQUIRED IN ACCORDANCE W/ CITY DUST CONTROL ORDINANCE. GRADING SHALL BE DISCONTINUED DURING FIRST STAGE SMOG ALERTS AND SUSPENDED DURING HIGH WINDS (15MPH+). ALL TRUCKS SHALL HAVE LOADS COVERED OR WETTED AND LOAD BELOW THE SIDEBARDS TO MINIMIZE DUST.

4) A SHORING PERMIT SHALL BE REQUIRED FOR ANY CUT / FILL THAT IS GREATER THAN 5' IN HEIGHT PER ENGINEERS PLANS AS PER SECTION CBC 33012

5) SEE SHEET A2 FOR GENERAL CONSTRUCTION SPECIFICATIONS AND HIERARCHY OF ARCHITECTURAL AND STRUCTURAL NOTES

6) UNDER GROUNDING OF ALL UTILITIES IS REQUIRED FOR THIS PROJECT.

7) ONLY FLAT TYPE SKYLIGHTS ARE ALLOWED IF PROPOSED.

8) PROTECTION SHALL BE AFFORDED TO THE PUBLIC DURING CONSTRUCTION - AS PER CBC SECTION 3303

9) A LIGHTED BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY SEEN AND LEGIBLE FROM THE STREET - AS PER HPMC SECTION 502

INDICATES NOT APPLICABLE TO THIS PROJECT

MATERIAL NOTES

1 - R13 BATT INSULATION TO BE USED IN ALL EXTERIOR AND PARTY WALLS IF ADDED OR MODIFIED.

2 - GAS FIRE PLACE W/ UL - ICC APPROVAL REQUIRED

3 - DECK FLOOR FINISH DEXTOTX OR APP. EQUAL TREX PLANKS RECOMMENDED OVER DECK SURFACE FOR WALKING

4 - BASEMENT WALL MATERIAL ELASTO-DECK BT A WATERPROOFING MATERIAL FOR SUBTERRANEAN WALLS AND SLABS CLA REPORT NO - RR24350

5 - VELUX SKYLIGHTS ESR-4108 OR APPROVED EQUAL

DESIGN DATA

APPLICABLE CODES

C.R.C. (2019) EDITION

C.G.B.C. (2019) EDITION

C.B.C. (2019) EDITION

C.M.C. (2019) EDITION

C.P.C. (2019) EDITION

C.F.C. (2019) EDITION

C.E.C. (2019) EDITION

C.E.E.C. (2019) EDITION

T-24 ACCESSIBILITY CODE

ALL PLANS AND WORK ON THIS PROJECT SHALL CONFORM TO THESE CODES WITH LOCAL AMENDMENTS

(FIRE DPT. NOTES:

1) Approved building address numbers, building numbers or approved building identification shall be provided and maintained so as to be plainly visible and legible from the street fronting the property. The numbers shall contrast with their background, be Arabic numerals or alphabet letters, and be a minimum of 4 inches high with a minimum stroke width of 0.5 inch. Fire Code

2) The required fire flow for fire hydrants at this location is 500 gpm, at 20 psi residual pressure, for a duration of 1 HR over and above maximum daily domestic demand. Fire Code 507.3, Appendix B105.1(1) and Appendix B105.1(2).

3) SEE A11 for Fire Hydrant Locations within 450' of the Project Site.

BUILDING SUMMARY

JOB ADDRESS:

856 CYPRESS AVE - HERMOSA BEACH, CALIFORNIA 90254

JOB DESCRIPTION-
SCOPE OF WORK:

NEW 2 UNIT RESIDENTIAL CONDOMINIUM PROJECT -
DEMOLISH EXISTING SINGLE FAMILY HOUSE.

CLIENT NAME:

KYLE AND WENDY BERGSTRESSER

CLIENT TELEPHONE:

404-234-9666

CODE INFORMATION

BLDG. OCCUPANCY:

R3-U

CONSTRUCTION TYPE:

V-B SPRINKLERED

ZONING

R-3

BUILDING CODE:

C.B.C. 2019 EDITION - WITH CITY MODIFICATIONS

HEIGHT LIMIT:

30'-0" TO ROOF ROUGH FRAMING

NUMBER OF STORIES:

3 STORIES

LEGAL DESCRIPTION:

APN# 4187-014-024

LOT INFORMATION:

30'X105' = 3,150 SQ.FT.

LOT SIZE:

30'X105' = 3,150 SQ.FT.

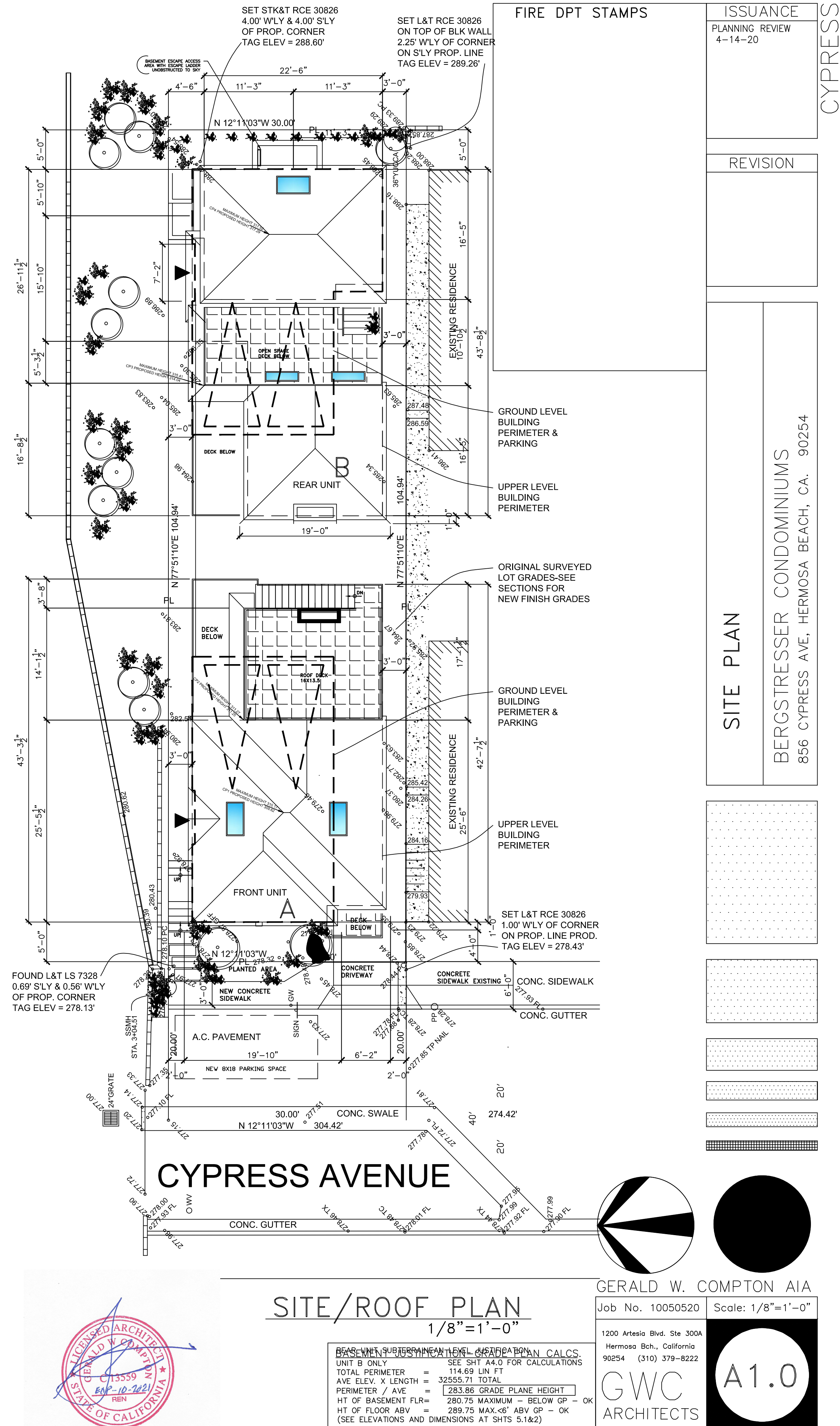
PROPOSED LOT COVERAGE:

2030.15 SQ.FT. = 64.45 % - 65% MAXIMUM ALLOWED -OK

BUILDING SQ.FT. AREAS BY UNIT AND FLOOR			TOTALS
	UNIT A	UNIT B	
SUBTERRAINEAN FLR REAR			
HABITABLE	0	354	354
GARAGE	0	364	364
PATIO	0	0	0
FIRST FLOOR			
HABITABLE	258	1017	1275
GARAGE	364	0	364
SECOND FLOOR			
HABITABLE	966	878	1844
DECK SREAS	49 OS	154 OS	203
THIRD FLOOR			
HABITABLE	836	325	1161
DECK AREAS	152 OS	208.9 OS	360.9
ROOF DECK			
ROOF DECK AREA	258	0	
OPEN SPACE	100 OS	0	
TOTALS			
HABITABLE AREA	2060	2574	4634
DECK AREA	301	362.9	663.9
TOTAL OPEN SPACE			
300 SF PER UNIT REQD.	OK	OK	
ACTUAL OPEN SPACE	301	362.9	663.9

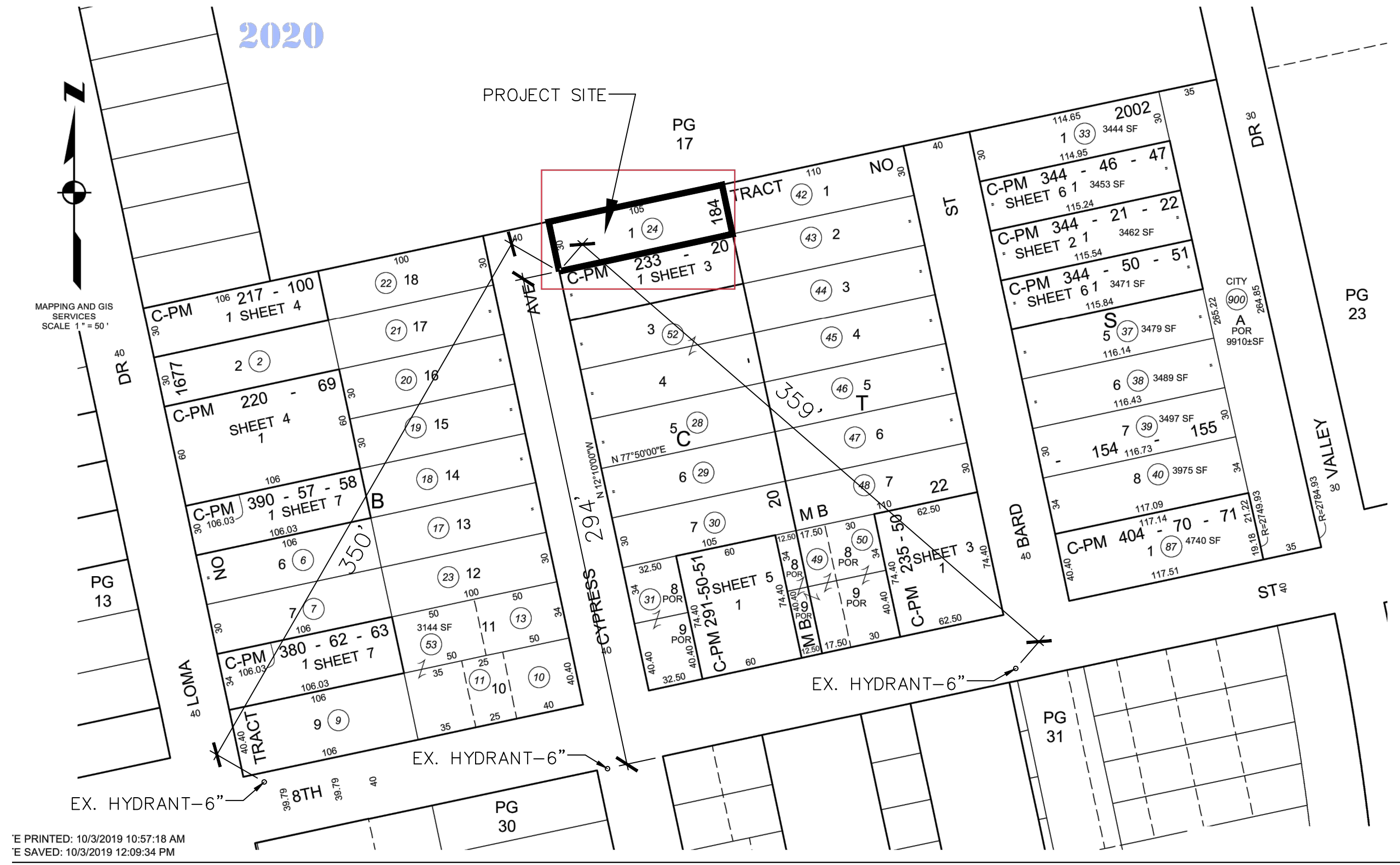
SHEET INDEX

SHEET NO	SHEET TITLE
	ARCHITECTURAL
A1.0	SITE PLAN- GENERAL NOTES
A1.1	SITE PLAN-CRITICAL HT POINTS-FIRE HYDRANT LOCATIONS
A1.01	SITE PLAN-STREET PARKING PLAN
A2	GEN. NOTES & SPECIFICATIONS
A3	GEN. NOTES & SPECIFICATIONS
A4.0	SITE AND FLOOR PLANS - 1/8" SCALE-GRADE PLANE & CP POINTS
A4.1	FLOOR PLANS FRONT UNIT A
A4.2	THIRD FLOOR UNIT B REAR - ROOF PLANS
A4.3	FLOOR PLANS REAR UNIT B
A5.1	ELEVATIONS
A5.2	ELEVATIONS
A6.1	SECTIONS
A6.2	SECTIONS
AD1	ARCHITECTURAL DETAILS
	CIVIL
C1.0	SURVEY
C1-4	GRADING-CONST. NOTES-LID-HYDROLOGY
	LANDSCAPE PLANS
L-1	LANDSCAPE PLAN - AREA ANALYSIS
E-1	ENCROACHMENT PLAN - LANDSCAPE
	STRUCTURAL

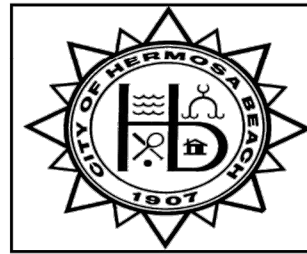


CONSTRUCTION NOTES

- All dimensions featured with these plans must be verified in the field prior to construction and any discrepancies must be reported to the architect immediately for construction remediation.
- These plans shall comply with all provisions of the 2016 California Residential Code, the 2016 edition of the California Building Code, the 2016 edition of the CMC and CPC codes, the 2016 edition of the California Electrical Code (C.E.C.) and the 2016 California Energy code and/or disabled access requirements.
- These plans shall comply with all applicable city codes and planning resolutions where applicable.
- Any changes made to these plans shall be referred to the architect of record, being Gerald W. Compton AIA, a licensed and registered architect in the state of California and authorized to practice architecture under license number C-13559. These plans remain the property of the architect and have been released to the owner, owners, developers or contractors for the sole purpose of construction. Unauthorized duplication or use of these plans for any other purpose than the use authorized above is strictly prohibited and will hold the architect harmless in the event.
- Any excavation in excess of 5 feet shall be subject to the safety requirements as outlined by CAL OSHA - Safe shoring plans and measures shall be implemented in compliance with all CAL OSHA recommendations and a safety plan regarding the protection of any worker or pedestrian shall be conspicuously posted.
- Provide a approved gas shut off valve in a conspicuous location for quick access in an emergency.
- PERMITS: The building plan check and permit fees required to be paid to the city shall be the responsibility of the owner or developer. The final permit for construction shall be issued only to the owner or the owner's contractor. Proof of active worker's compensation insurance shall be required for any contractor paying building permits. Specific building permits such as electric, mechanical and plumbing permits shall be pulled by the contractor or his subcontractors and shall be invoiced to the owner.
- SUBSTITUTIONS: No substitutions may be made by the building contractor or his subcontractors without approval by the owner and the architect.
- CHANGES AND CHANGE ORDERS: The owner may order extra work or make changes by altering, modifying, adding or deducting from the work to be done; the contract sum being adjusted accordingly.
- CUTTING AND PATCHING: All trades shall do their cutting, fitting and patching etc. receive or be received by the work of contingent trades.
- SCOPE: All trades shall furnish required labor, material and equipment for the performance of all necessary work, indicated or reasonably inferred or required by applicable codes to complete their scope of work for a complete, thorough, neat and timely job.
- CLEAN UP: All trades shall at all times keep the work premises free from the accumulation of waste materials and rubbish as may be a result of their work on the project.
- TEMPORARY TOILET FACILITIES: The general contractor or owner acting in the capacity of the contractor or owner-builder, shall provide temporary toilet facilities for all trades with in a 100 foot radius of the project site throughout the duration of the same.
- LINES AND LEVELS: The contractor shall be responsible for the accuracy of the building lines and levels. The contractor shall carefully compare the lines and levels shown on the building documents, plans and specifications with the existing lines and any noted discrepancies to the architect prior to proceeding with any work for immediate resolution.
- DN SITE VERIFICATION: If all dimensions and conditions shall be the responsibility of the contractor and his sub contractors. Noted dimensions shall always take precedence over scale. The general contractor or any subcontractor shall report any discrepancy or condition which prevents the proper execution of their work to the superintendent on the job, who it turn shall report to the architect.
- CLIENT'S ARCHITECT OR PROJECT SUPERINTENDENT: Shall be notified immediately by the general contractor or subcontractors in regard any discrepancy, omission, questions etc. that may arise pertaining to the working drawings or building specifications.
- SUBCONTRACTORS: Shall insure that all work performed is done in a professional workmanlike manner by skilled mechanics and shall replace any materials or items damaged or destroyed by the subcontractor or his employees. Subcontractors and suppliers are course of construction as concerns the exact extent and overlap of each sub-contractor's work with the intent to successfully complete the execution of all required work.
- STRUCTURAL: Grades to be used in construction as well as framing member sizing, building and material specifications, foundation and pad sizing and earthquake or wind resisting requirements and assemblies:
 - structural calculations, plans and details. Approval for any deviation from the plan regardless of the authority, be it the building inspector, city plan checker etc. does not constitute approval of such deviation as it must be approved by the structural engineer of record alone.
 - Detailed drawings and specifications shall take precedence over any and all general building drawings and specifications. Dimensions shall take precedence over scaled measurements.
 - Should errors, omissions or discrepancies appear in the drawings or specifications for notified immediately and shall issue instructions regarding resolution of same.
- The contractor shall comply, conform and abide by all local city, county, state or federal building codes as apply to the project including safety and handicapped codes. These codes shall be considered a part of the building specifications for the project. The contractor shall inform the architect if he or she believes or knows that the architect's plans and or specifications are at variance with these codes, laws and regulations. Should the contractor perform any work contrary to these codes and their requirements he shall bear all costs arising there from.
- All sill plates used in direct contact with concrete or block footings must be pressure treated.
- All anchor bolts embedded into concrete or block footings must be embedded by no less than 7 inches.
- UFER ground is required with all new electrical service panels.
- IAPMD approvals will be required for one piece lavatories.
- All VCs to be "water saving" type, low flush.
- Provide smoke detectors with alarms in all corridors and within all bedrooms. Hardwire detectors in new construction. Battery powered smoke detectors may be used in additions.
- All bathrooms must provide adequate air ventilation through use mechanical ventilators capable of 5 air changes per hour as a minimum.
- A keep screen is required around the building perimeter, minimum 8 inches above adjacent natural grade or four inches above concrete slab or improved walkway with adequate slope for all water to drain.
- The pedestrian must be protect per CBC section 3303 during construction.
- Building address shall be provided on the building in such position as to be plainly visible and legible from the street per section 502.
- The structure shall comply w/ security requirements of *Appendix Chapter 10 Security of MBC.
- Note the Public Works Department Standard Conditions on plans. These standards may be obtained directly from the Department of Public Works.



FIRE HYDRANT LOCATIONS



City of Hermosa Beach
Civic Center, 1315 Valley Drive, Hermosa Beach, California 90254-3885

Critical Height Calculation For:

Elev. Pt. A	278.1	CP1
Elev. Pt. B	288.5	
Length A-B	104.94	
Length A-AB'	18.83	
	Elev. AB': 279.966133	
Elev. Pt. C	278.44	
Elev. Pt. D	289.33	
Length C-D	104.94	
Length C-CD'	18.83	
	Elev. CD': 280.394057	
Length AB'-CD'	30	
Length AB'-CP1	14.5	
	Elev. CP1: 280.172963	
Height Limit	30	
Max. Ht. @ CP1:	310.17	
Prop. Ht. @ CP1:	280.17	

Elev. Pt. A	278.1	CP2
Elev. Pt. B	288.5	
Length A-B	104.94	
Length A-AB'	30.46	
	Elev. AB': 281.118715	
Elev. Pt. C	278.44	
Elev. Pt. D	289.33	
Length C-D	104.94	
Length C-CD'	30.46	
	Elev. CD': 281.600943	
Length AB'-CD'	30	
Length AB'-CP2	9.5	
	Elev. CP2: 281.271421	
Height Limit	30	
Max. Ht. @ CP2:	311.27	
Prop. Ht. @ CP2:	281.27	

ADDRESS 856 CYPRESS AVE DATE 4/21/2021

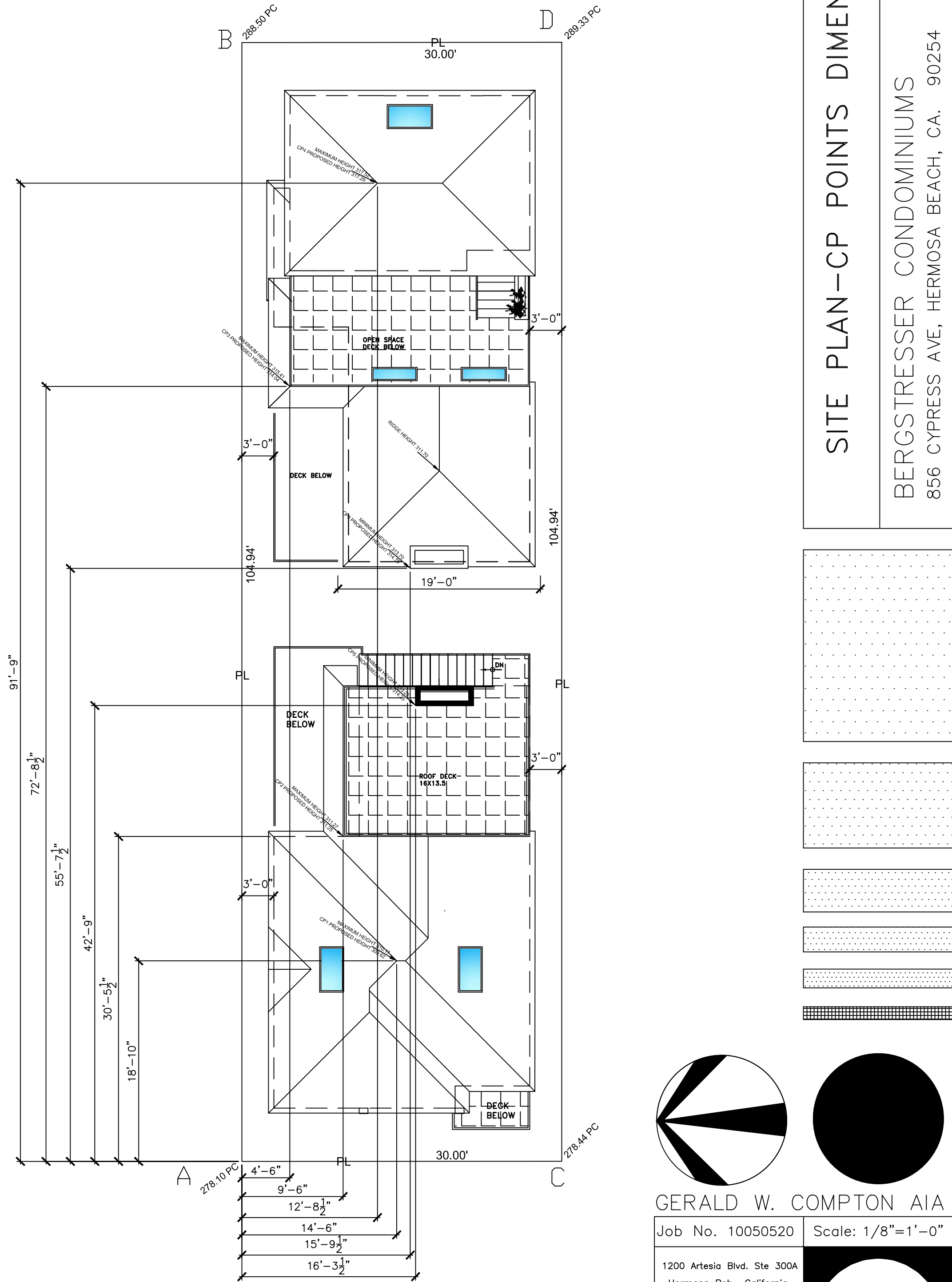
Elev. Pt. A	278.1	CP3
Elev. Pt. B	288.5	
Length A-B	104.94	
Length A-AB'	72.71	
	Elev. AB': 285.30587	
Elev. Pt. C	278.44	
Elev. Pt. D	289.33	
Length C-D	104.94	
Length C-CD'	72.71	
	Elev. CD': 285.985377	
Length AB'-CD'	30	
	4.5	
	Elev. CP3: 285.407796	
Height Limit	30	
Max. Ht. @ CP3:	315.41	
Prop. Ht. @ CP3:	285.41	

Elev. Pt. A	278.1	CP4
Elev. Pt. B	288.5	
Length A-B	104.94	
Length A-AB'	91.75	
	Elev. AB': 287.192815	
Elev. Pt. C	278.44	
Elev. Pt. D	289.33	
Length C-D	104.94	
Length C-CD'	91.75	
	Elev. CD': 287.961226	
Length AB'-CD'	30	
Length AB'-CP4	12.7	
	Elev. CP4: 287.518109	
Height Limit	30	
Max. Ht. @ CP4:	317.52	
Prop. Ht. @ CP4:	287.52	

Critical Height Chimney Elevations

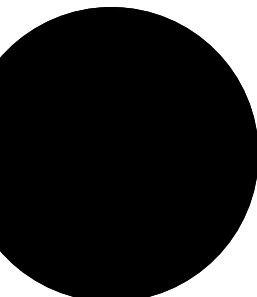
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Elev. Pt. B	288.5	
Length A-B	104.94	
Length A-AB'	42.75	
	Elev. AB': 282.3367	
Elev. Pt. C	278.44	
Elev. Pt. D	289.33	
Length C-D	104.94	
Length C-CD'	42.75	
	Elev. CD': 282.8763	
Length AB'-CD'	30	
Length AB'-CP5	16.29	
	Elev. CP5: 282.6297	
Height Limit	30	
Max. Ht. @ CP5:	312.63	314.25
Prop. Ht. @ CP5:	282.63	

Elev. Pt. A	278.1	CP6
Elev. Pt. B	288.5	
Length A-B	104.94	
Length A-AB'	55.62	
	Elev. AB': 283.6122	
Elev. Pt. C	278.44	
Elev. Pt. D	289.33	
Length C-D	104.94	
Length C-CD'	55.62	
	Elev. CD': 284.2119	
Length AB'-CD'	30	
Length AB'-CP6	15.79	
	Elev. CP6: 283.9278	
Height Limit	30	
Max. Ht. @ CP6:	313.93	314.7
Prop. Ht. @ CP6:	283.93	



PROPOSED CP POINT TABLES

PROPOSED CP POINTS
SITE/ROOF PLAN
1/8"=1'-0"



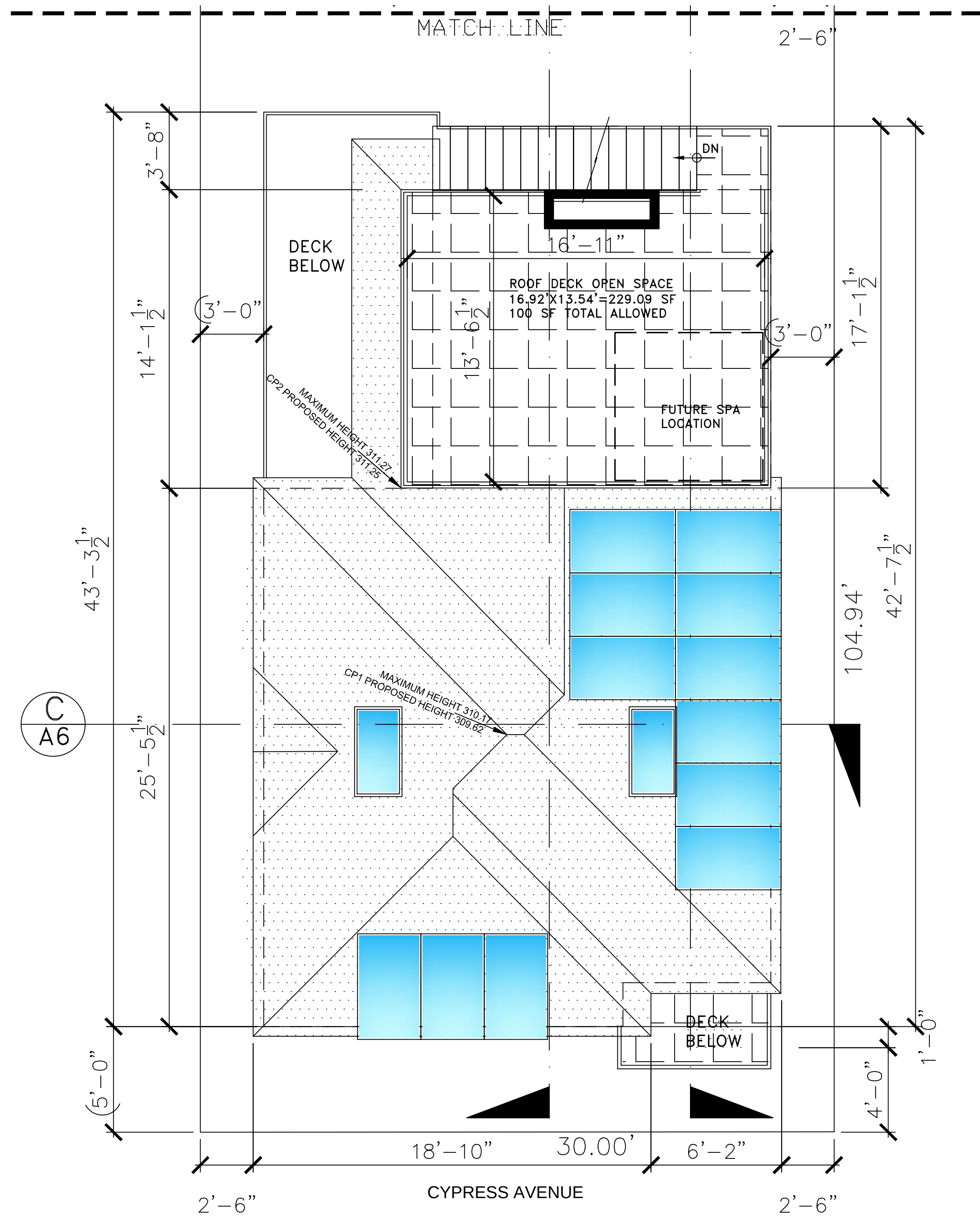
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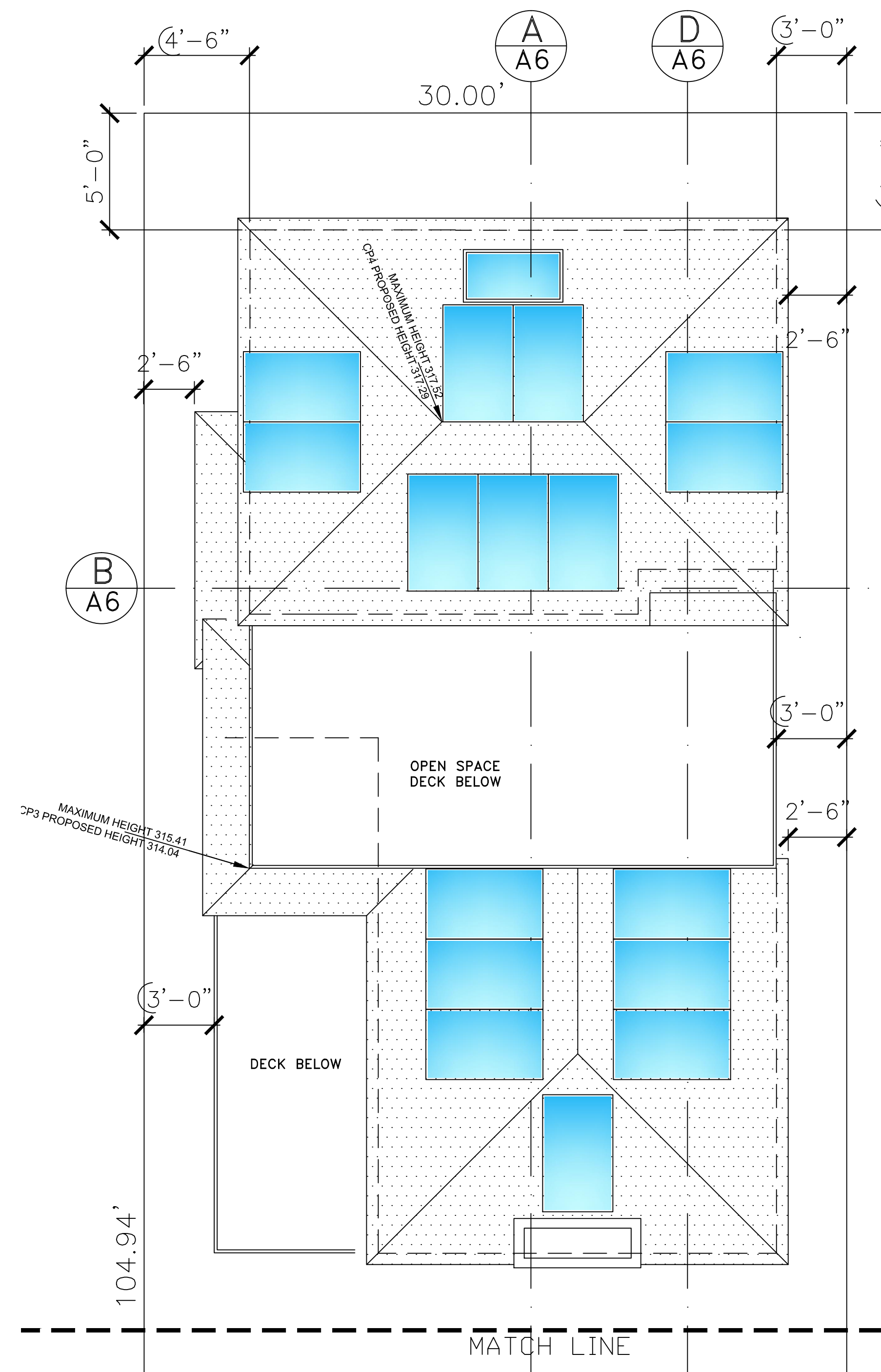
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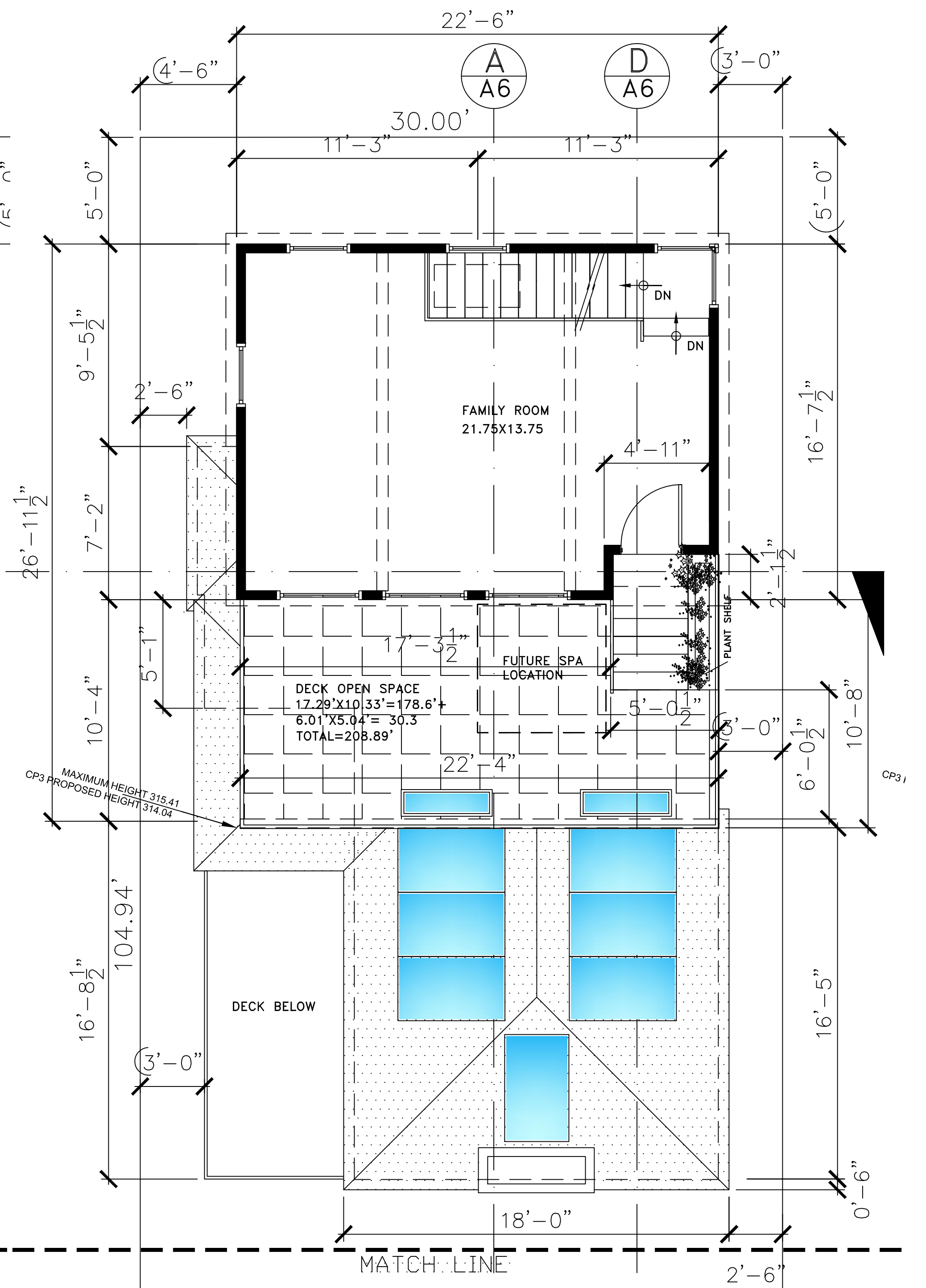




ROOF PLAN
UNIT A



ROOF PLAN
UNIT B



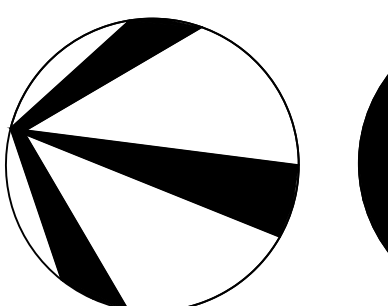
THIRD FLOOR
UNIT B

THIRD FLOOR AND ROOF PLANS
UNITS A & B

ISSUANCE
PLANNING REVIEW
4-14-20

REVISION

ROOF PLAN
BERGSTRESSER CONDOMINIUMS
856 CYPRESS AVE, HERMOSA BEACH, CA. 90254



GERALD W. COMPTON AIA

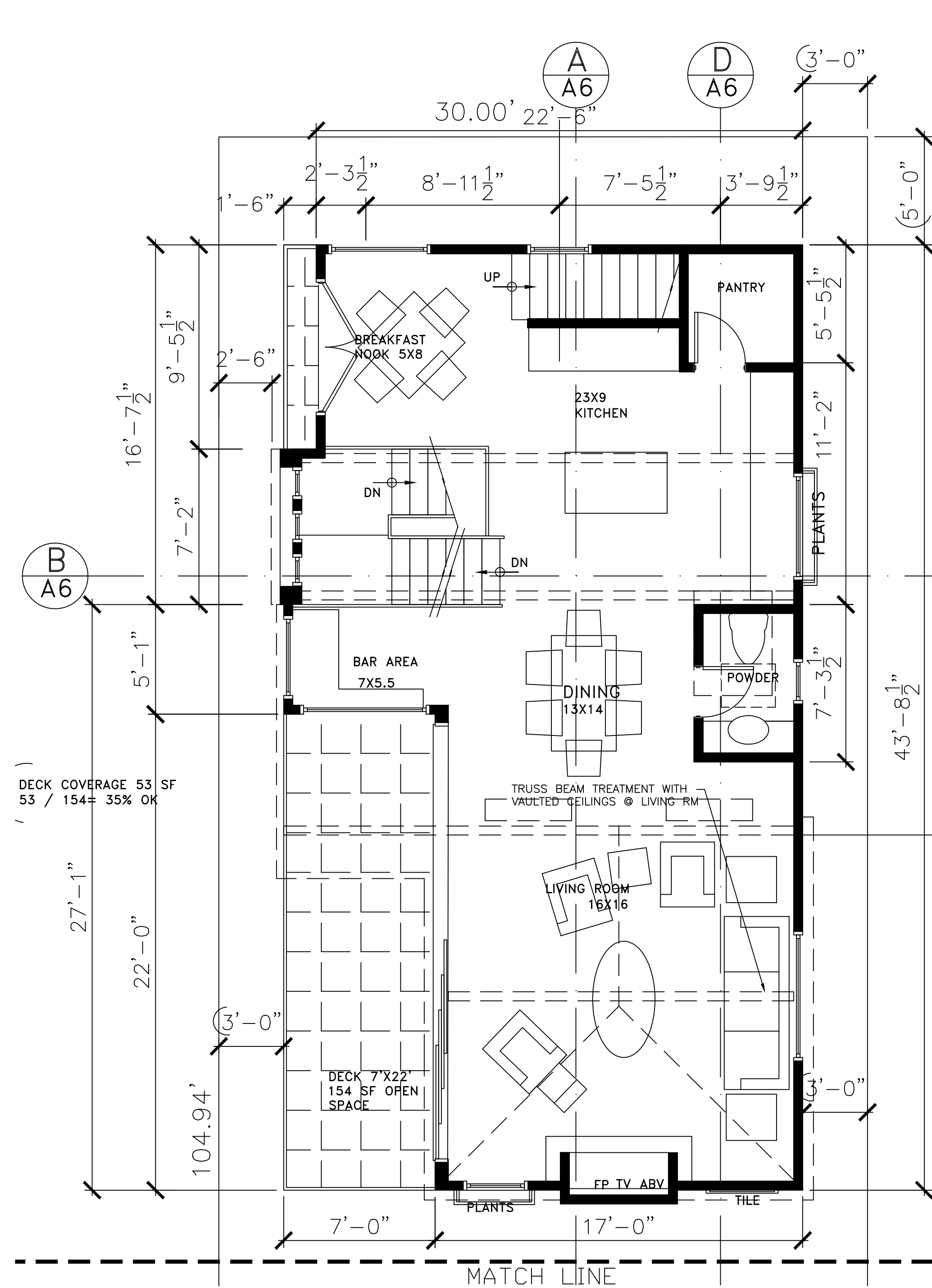
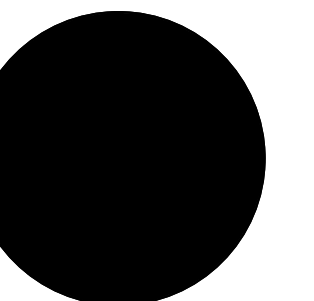
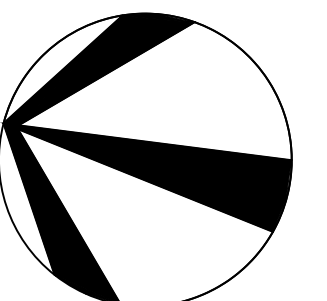
Job No. 10050520 Scale: 1/4"=1'-0"

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90254 (310) 379-8222

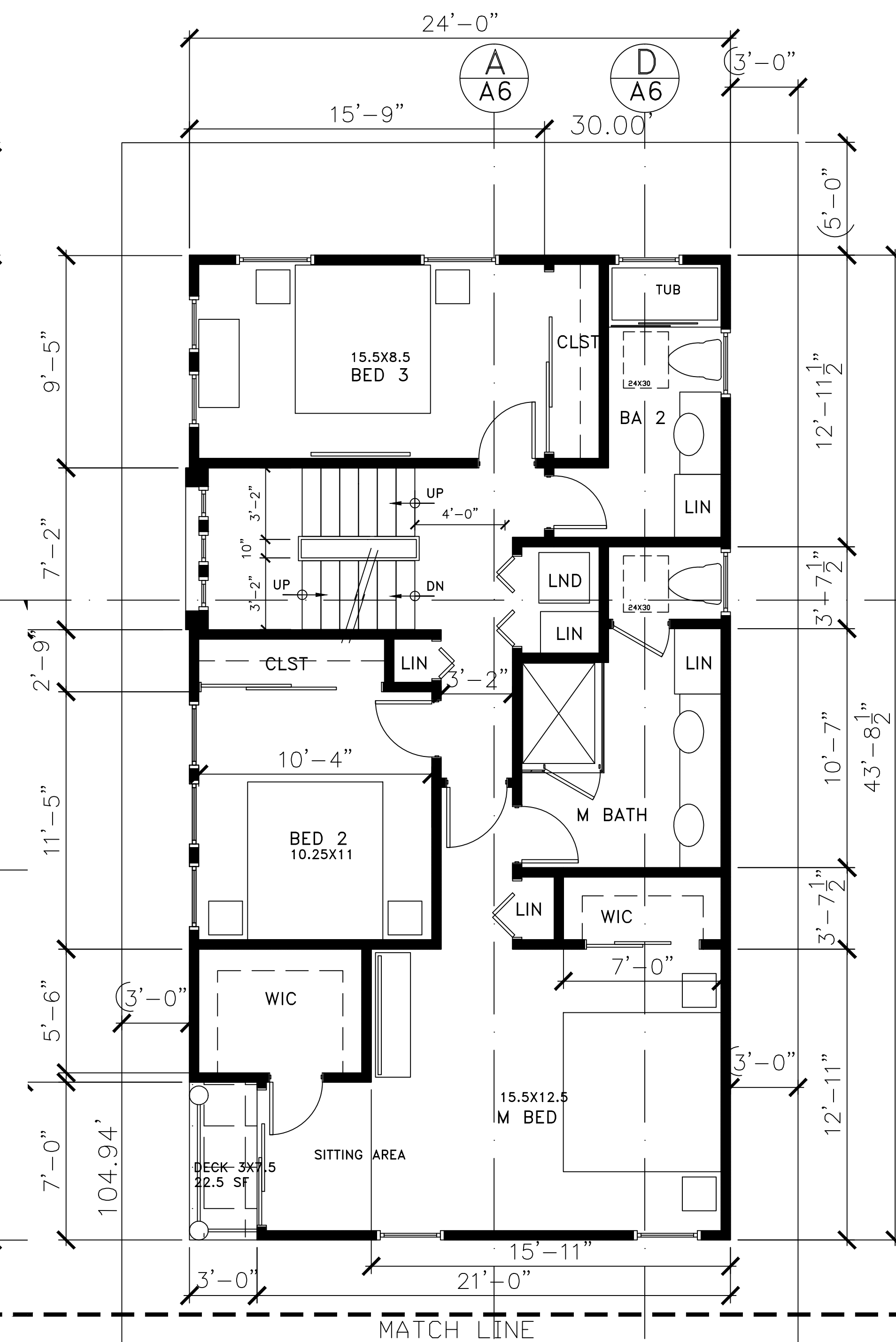
GWC
ARCHITECTS

A4.2

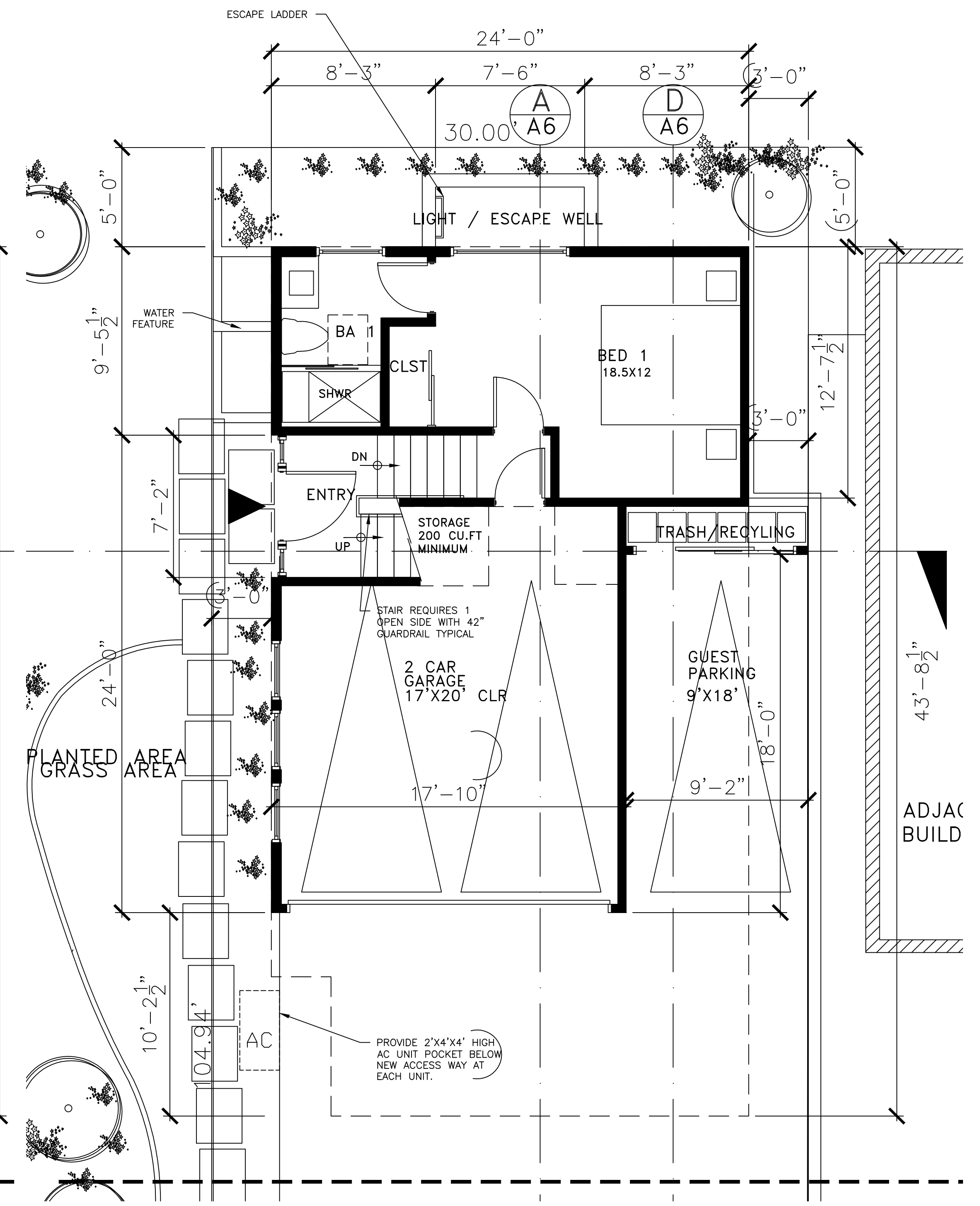
CYPRESS



SECOND FLOOR



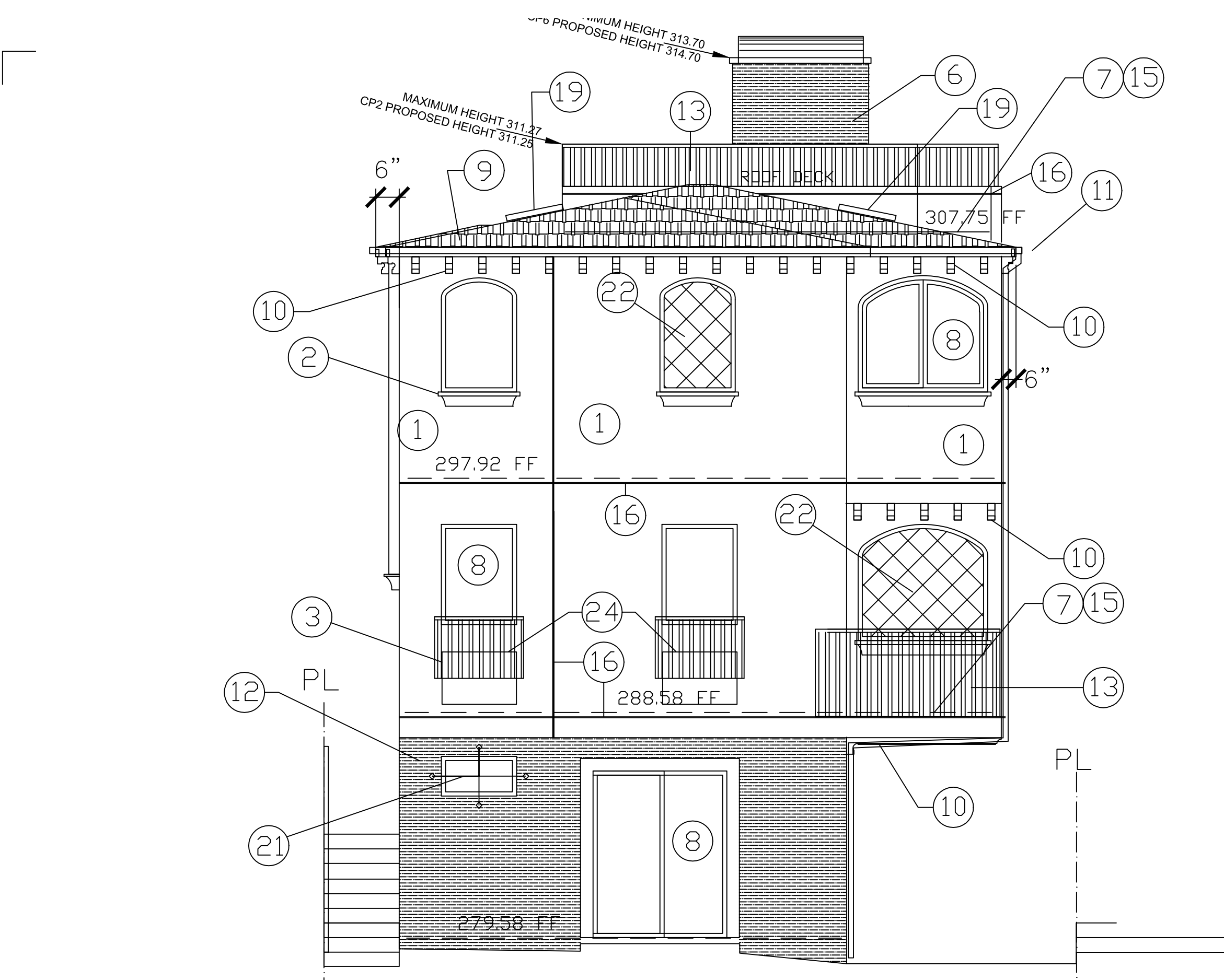
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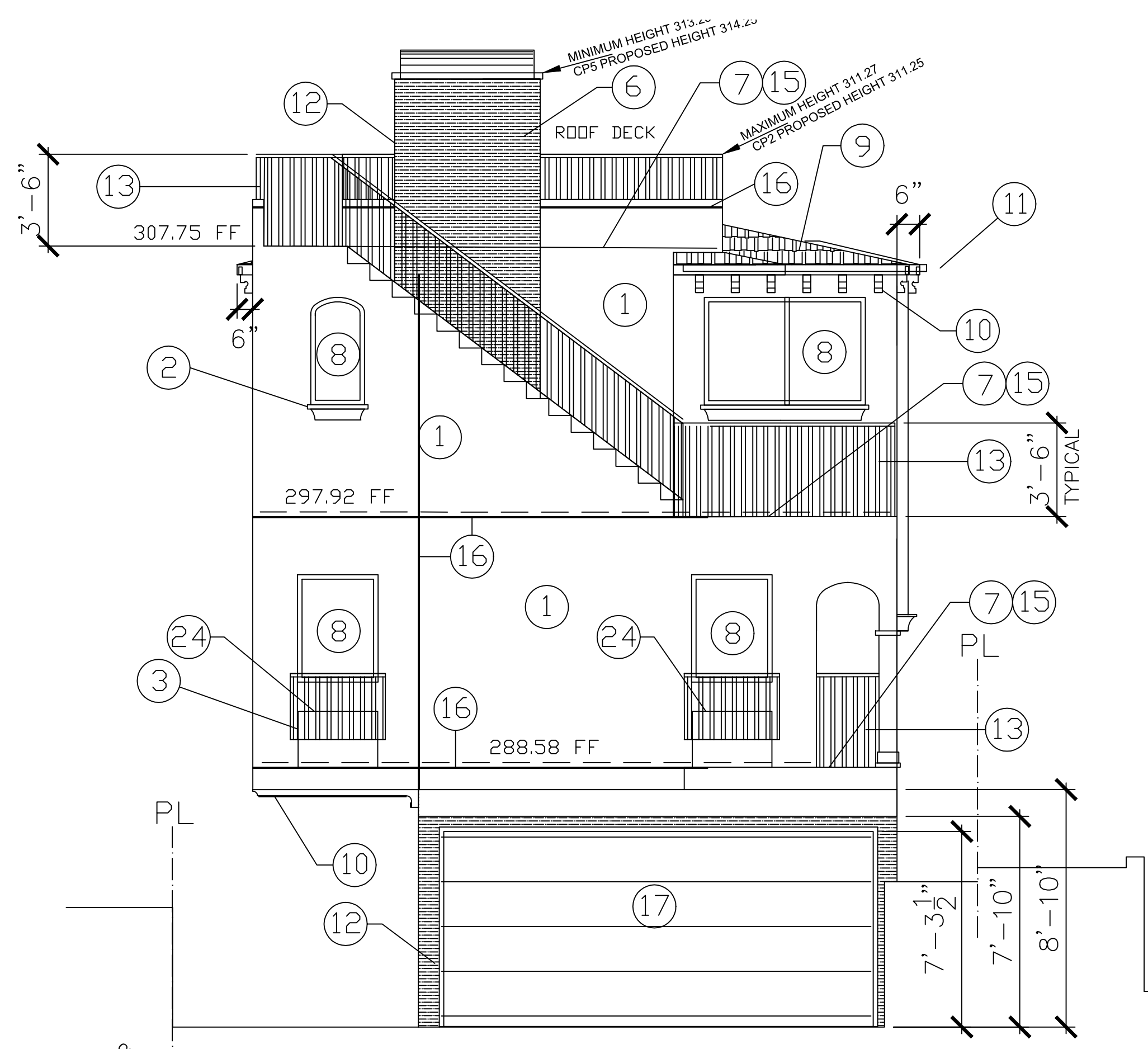
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UNIT B PLANS

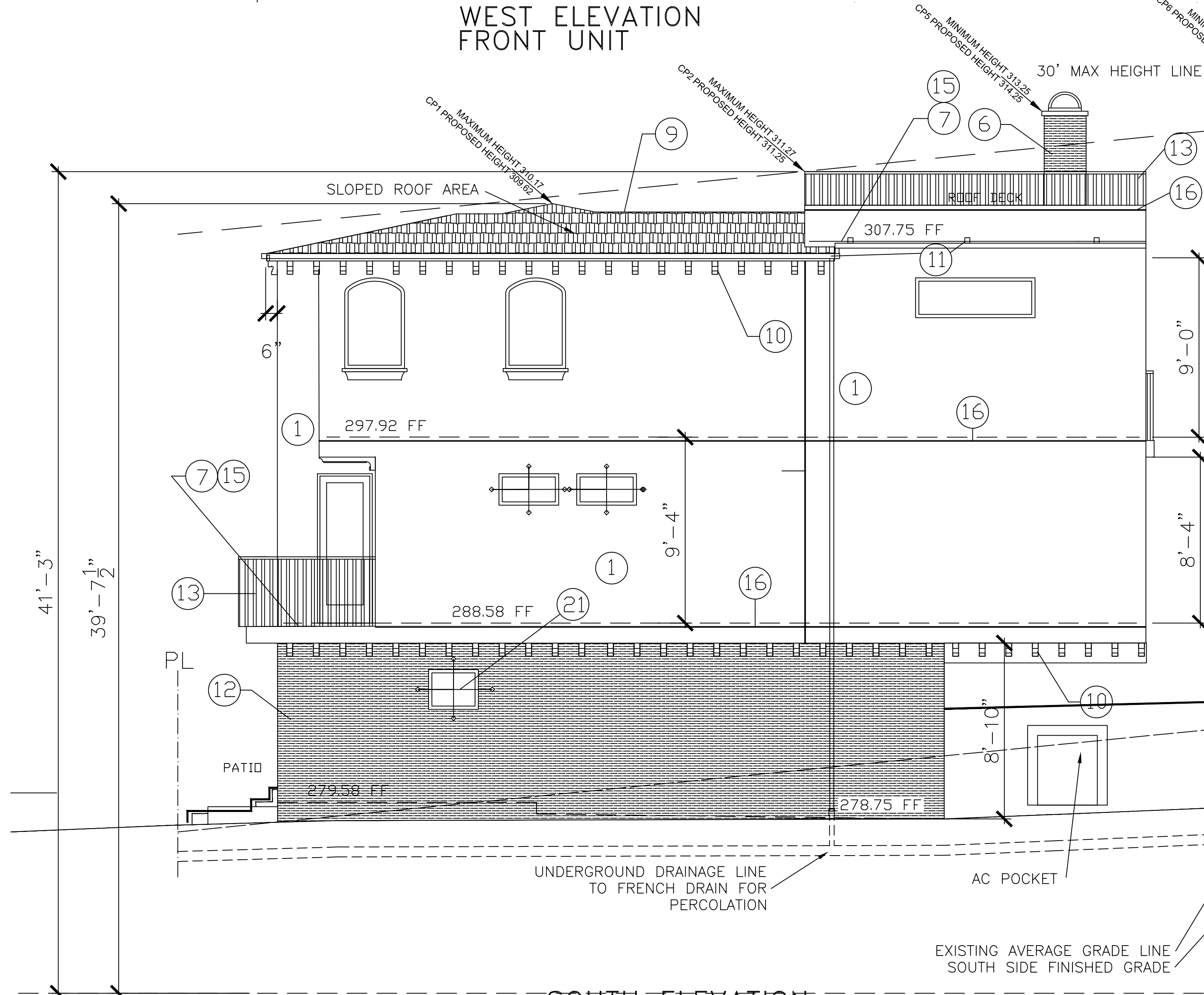




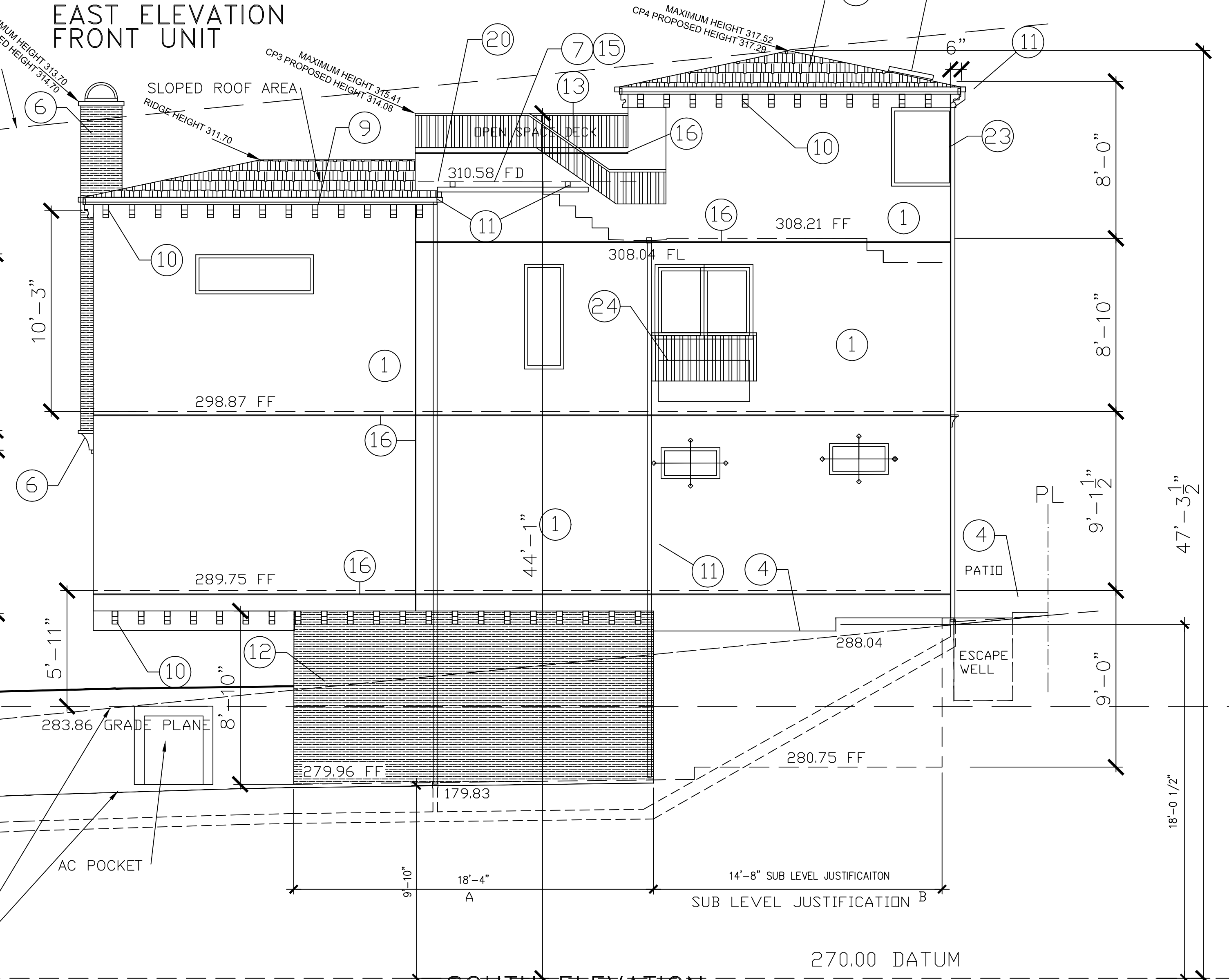
WEST ELEVATION
FRONT UNIT



EAST ELEVATION
FRONT UNIT



SOUTH ELEVATION
FRONT UNIT



SOUTH ELEVATION
REAR UNIT

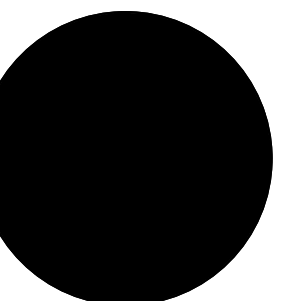
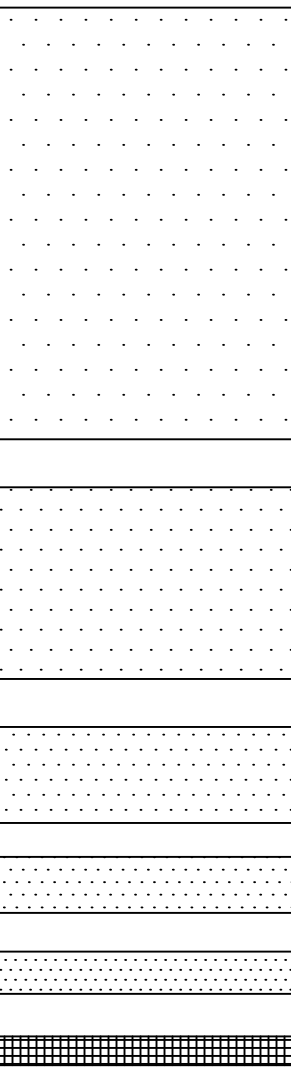
EXTERIOR FINISH SCHEDULE:

1. SMOOTH FINISH STUCCO EXTERIOR PLASTER
2. PRECAST CONC. SILLS AND COLUMN WRAPS
3. PLANTER / GUARDRAIL AT WINDOWS SHOWN
4. RAISED STONE PLANT-ONS / WALL CAPS
5. ENTRY GLASS SURROUNDS & ENTRY DOORS
6. STONE FACING AT FIREPLACE WITH PRECAST CAP & SHOE WITH SPARK ARRESTOR
7. DECK SURFACE WITH TREX PLANKING
8. NEW WINDOW AND DOOR SASH - DOUBLE GLAZED WITH LOW "E" GLASS
9. SPANISH TILE W/ CONCRETE INFILL ROOFING
10. DECORATIVE BEAMS, CROSS MEMBERS PLUS EAVE DENTALS AND OVERHANG PLANT ONS.
11. GUTTERS, DOWNSPOUTS & DECK OVERFLOWS
12. STONE VENEER FACING TYPICAL
13. 42" STEEL BALCONY AND DECK RAILINGS
14. STEEL GUARDRAILS AT INTERIOR-42" TYPICAL
15. NEW EXTERIOR PATIO OR DECK AREA
16. 1/2" STUCCO SCREED EXPANSION JOINT
17. ROLL BACK GARAGE DOOR
18. DROPPED SOFFIT TO ENCLOSE DROPPED BEAMS
19. FLAT GLASS VELUX SKYLIGHTS-TYP
20. DECK MOUNTED GLASS SKYLIGHTS-FLUSH
21. DECORATIVE METAL WINDOW TRIM
22. TILE INSERTS AT FALSE WINDOW LOCATIONS
23. BUTT GLASS CORNER WINDOW
24. PLANT-ON FIBERGLASS PLANTERS W/ RAILING
25. TRASH & RECYCLING DOORS

ISSUANCE
PLANNING REVIEW 4-14-20

REVISION

ELEVATIONS
BERGSTRESSER CONDOMINIUMS 856 CYPRESS AVE, HERMOSA BEACH, CA. 90254



GERALD W. COMPTON AIA
Job No. 10050520 Scale: 1/4"=1'-0"

1200 Artesia Blvd. Ste 300A
Hermosa Bch., California
90254 (310) 379-8222

GWC
ARCHITECTS

A5.2

SECTION A
1/4"=1'-0"

SURVEY AND TOPOGRAPHY
FOR
WENDY & KYLE BERGSTRESSER
835 HOPKINS WAY, APT. 307
REDONDO BEACH, CA 90277
PHONE 404-234-9666

JOB ADDRESS
856 CYPRESS AVENUE
HERMOSA BEACH, CA 90254
LEGAL DESCRIPTION
LOT 1, BLOCK C
TRACT NO. 1677
M.B. 20-184
APN 4187-014-024

THIS MAP CORRECTLY REPRESENTS A SURVEY
MADE BY ME OR UNDER MY DIRECTION IN
CONFORMANCE WITH THE REQUIREMENTS OF
PROFESSIONAL LAND SURVEYORS' ACT

GARY J. ROEHL R.C.E. 30826

DRAWN BY KW CHECK BY TS

DRAWN ON MARCH 30, 2020

REVISIONS
REVISIONS

- LEGEND
- | | | | |
|--|--------------------------------|--|-----------|
| | EXISTING BUILDING | | BRICK |
| | CONCRETE | | WOOD DECK |
| | EXISTING ELEVATION | | |
| | EXISTING CONTOUR | | |
| | BLOCK WALL | | |
| | EXISTING FENCE | | |
| | BEGINNING OF CURB RETURN | | |
| | CENTERLINE | | |
| | CHAINLINK | | |
| | EASTERLY | | |
| | ELECTRIC METER | | |
| | FOUND | | |
| | FENCE | | |
| | FINISH FLOOR | | |
| | FIRE HYDRANT | | |
| | FLOW LINE | | |
| | GARAGE FINISH FLOOR | | |
| | GAS METER | | |
| | GUY WIRE | | |
| | LEAD AND TAG | | |
| | MANHOLE | | |
| | NORTHERLY | | |
| | PROPERTY CORNER / PROP. CORNER | | |
| | PROPERTY LINE / PROP. LINE | | |
| | POWER POLE | | |
| | PARAPET | | |
| | SPIKE AND WASHER | | |
| | SOUTHERLY | | |
| | SPIKE | | |
| | SANITARY SEWER CLEAN OUT | | |
| | SANITARY SEWER MANHOLE | | |
| | STAKE / STAKE & TAG | | |
| | STREET LIGHT | | |
| | TOP OF CURB | | |
| | TOP OF WALL / T.D.W. | | |
| | TOP OF DRIVEWAY APRON | | |
| | WESTERLY | | |
| | WATER METER | | |
- NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.
- BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT: (310) 542-9433, M-F 8:00 AM TO 5:00 PM.

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ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN WITHOUT WRITTEN CONSENT OF DENN ENGINEERS SHALL RELIEVE DENN ENGINEERS FROM ANY LIABILITY OR DAMAGE RESULTING FROM SUCH CHANGES OR MODIFICATIONS, INCLUDING ANY ATTORNEYS FEES OR COSTS INCURRED IN ANY PROCEEDING THAT DENN ENGINEERS MAY BE JOINED.

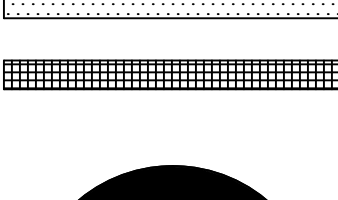
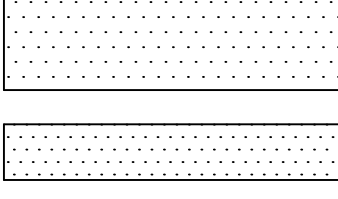
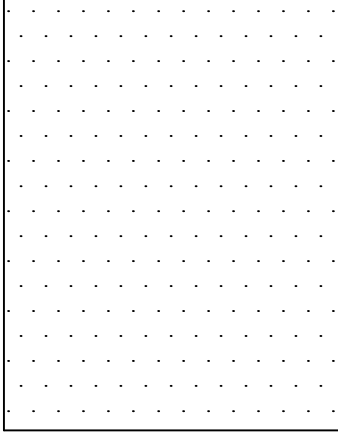
SHEET 1 OF 1

JOB NO 20-105

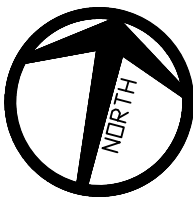
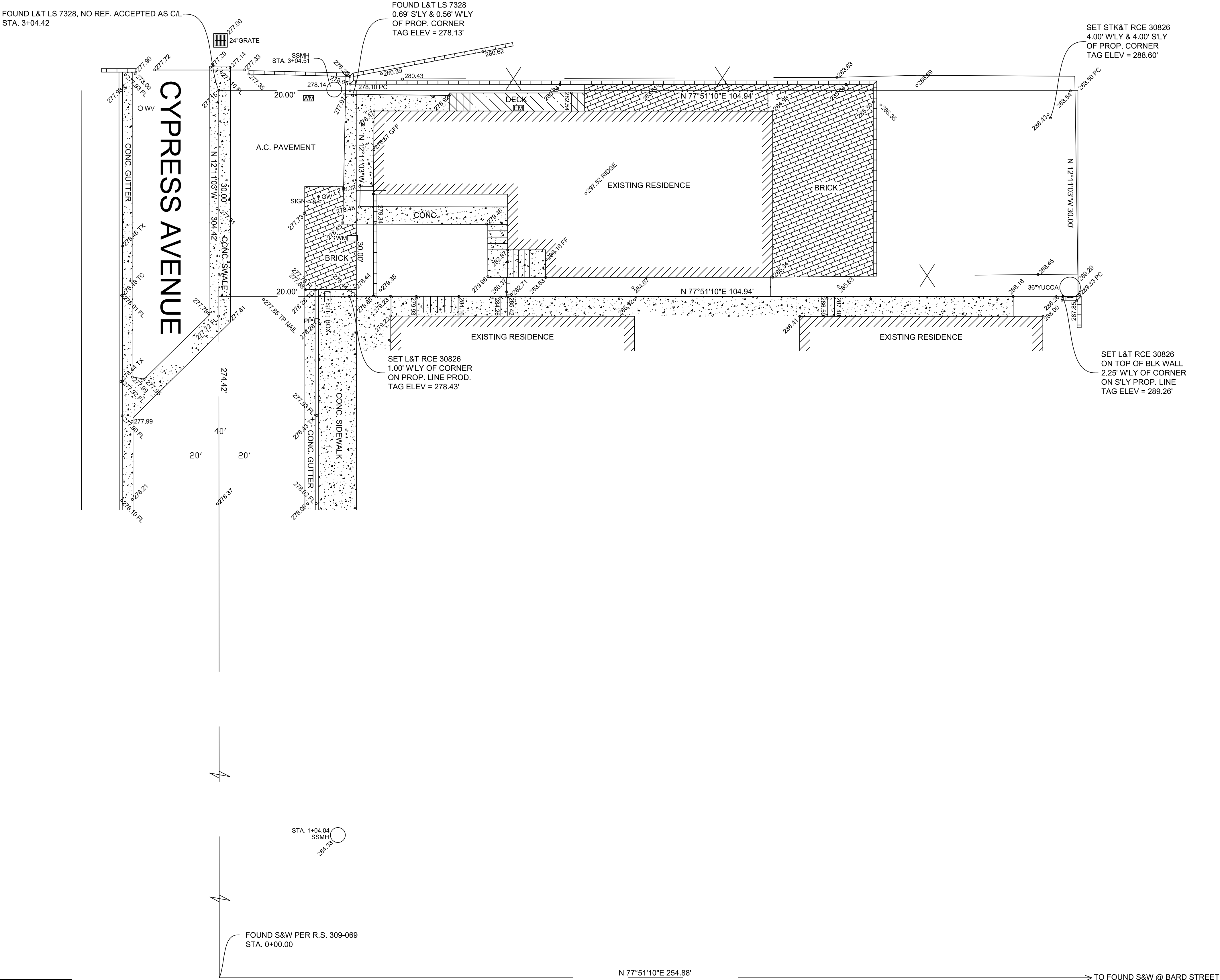
ISSUANCE
PLANNING REVIEW
4-14-20

REVISION

SURVEY
BERGSTRESSER CONDOMINIUMS
856 CYPRESS AVE, HERMOSA BEACH, CA. 90254



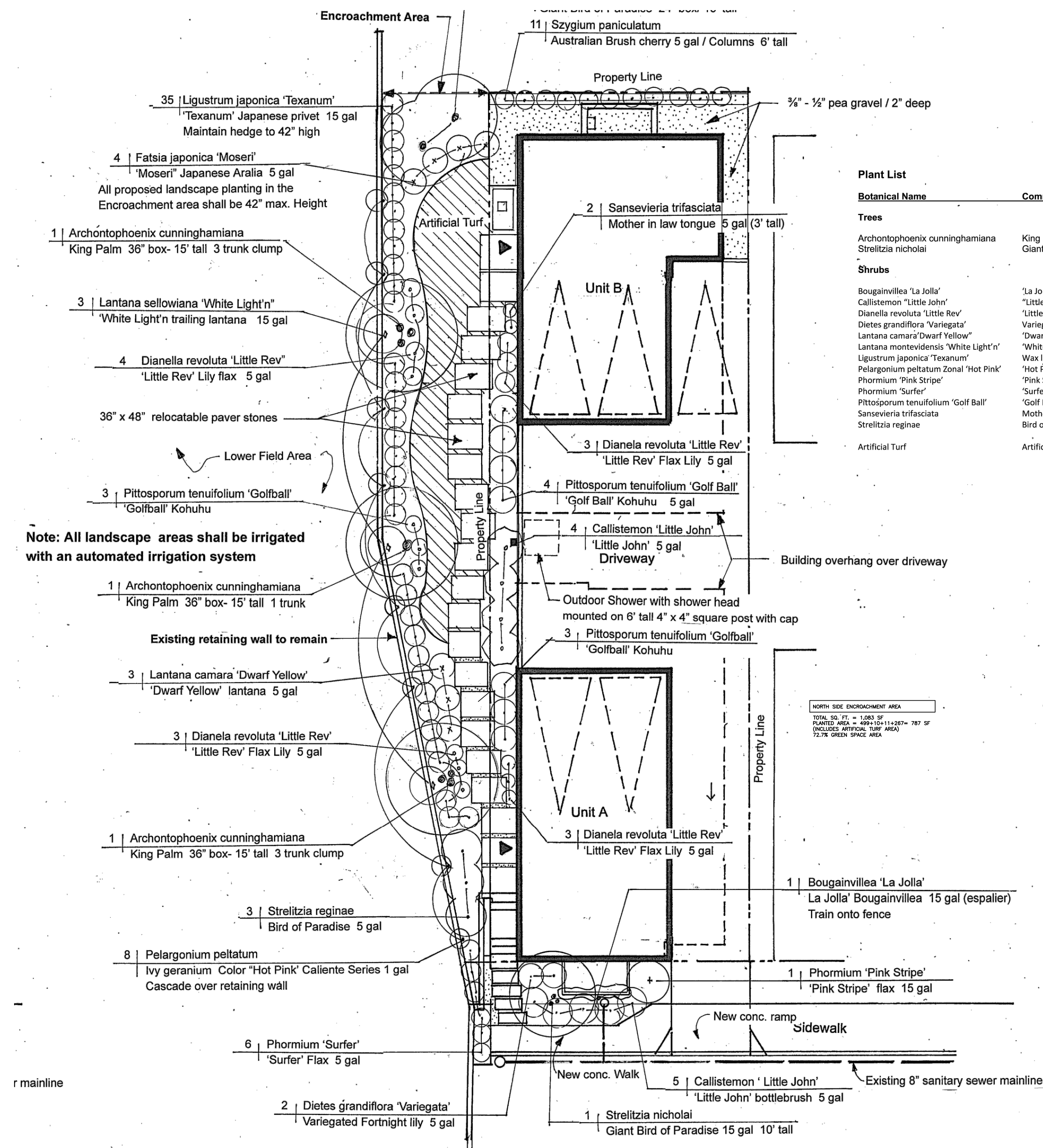
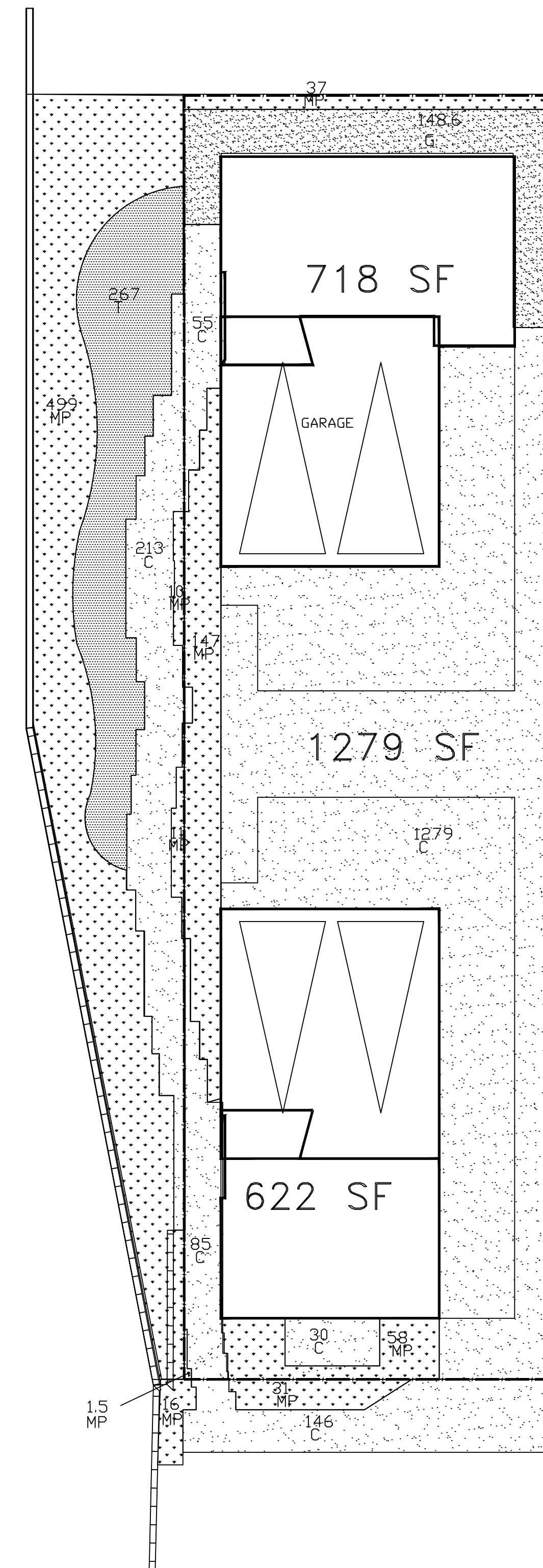
GERALD W. COMPTON AIA
Job No. 10050520 Scale: 1/8"=1'-0"
1200 Artesia Blvd. Ste 300A
Hermosa Bch., California
90254 (310) 379-8222
GWC ARCHITECTS
C1.0



SCALE 1" = 8'

8TH STREET

TO FOUND S&W @ BARD STREET
PER R.S. 309-069

LANDSCAPE PLAN
1/4"=1'-0"AREA ANALYSIS
1/4"=1'-0"

LOT SQUARE FOOTAGE = 3,150 SF
BUILDING FOOTPRINT = 1,304 SF
LANDSCAPE/HARDSCAPE AREA = LOT SQ. FT. - BUILDING FOOTPRINT
= 1,846 SF
0 SF HIGH WATER USE PLANTS = 0 SF
0 SF < 369.2 SF ALLOWABLE = OK

A MAXIMUM 20% OF LANDSCAPE/HARDSCAPE AREA CAN HAVE HIGH WATER USAGE PLANTS AS DETERMINED BY WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (WUCOLS) FOR REGION 3.

PROPERTY AREA
MAX. AREA OF HIGH WATER USE PLANTS = LANDSCAPE/HARDSCAPE AREA x 20%
= 369.2 SF
PROPOSED AREA OF HIGH WATER USE PLANTS
= 148.6 SF
0 SF < 369.2 SF ALLOWABLE = OK

SQ. FT. CALCULATIONS:

ON SITE AREA (WITHIN PROPERTY LINE)

HP - HIGH WATER USE PLANTING = 0 SF
MP - MEDIUM WATER USE PLANTING = 243.5 SF
LP - LOW WATER USE PLANTING = 0 SF
G - PEA GRAVEL AREA = 168 SF
T - ARTIFICIAL TURF AREA = 0 SF
C - CONCRETE PAVING AREAS = 1,359.7 SF

OFF SITE AREA (ENCROACHMENT AND FRONT AREAS)

HP = 499+16+31+10+11 = 557 SF
MP = 0 SF
LP = 0 SF
T = ARTIFICIAL TURF AREA = 267 SF
C = CONCRETE PAVING AREAS = 359 SF

PERMIBLE SURFACE AREAS

ON SITE PEA GRAVEL AREA = 168 SF
PLANTING AREAS = 243.5 SF
ON SITE TOTAL PLANTING AREA = 810.5 SF
OFF SITE ENCROACHMENT AREA = 267 SF

IMPERVIOUS SURFACE AREAS

BUILD FOOTPRINT AREA = 1,340 SF
CONCRETE DRIVE AND WALKS = 1,359.7 SF
ON SITE AREA = 1,359.7 SF
OFF SITE AREA = 359 SF

GERALD W. COMPTON AIA

Job No. 10050520 Scale: 1/4"=1'-0"

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Hermosa Bch., California
90254 (310) 379-8222GWC
ARCHITECTS

L1

PLANTING NOTES

- DRAWING IS DIAGRAMMATIC. CONTRACTOR TO VERIFY ALL LOCATIONS AND CONDITIONS ON SITE. COUNT ALL PLANT MATERIAL BEFORE BIDDING.
- CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS ON SITE AND LOCATE ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR TO REPAIR AT HIS OWN EXPENSE ALL PROPERTY DAMAGE WHICH OCCURS DURING PROJECT INSTALLATION.
- NOTE ADDITIONAL REMARKS ON SPECIFIC PLANTS IN PLANT LIST.
- ALL EXISTING PLANT MATERIAL TO BE REMOVED EXCEPT WHERE NOTED ON PLAN.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR 90 DAYS FROM DATE OF ACCEPTANCE BY OWNER.
- FINISH GRADE TO BE 12" BELOW ALL WALKS, CURBS, AND PAVING.
- ALL PLANTING AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1,000 SQ. FT. OF SURFACE AREA. ROTO-TILL AMENDMENTS TO A DEPTH OF 6"
 - 150 LBS. GRO-POWER
 - 3 CU. YDS. NITROGENIZED, MINERALIZED FIR BARK OR REDWOOD SHAVINGS.
 - ADD 8 LBS. OF GRO-POWER CONTROLLED RELEASE 12-8-8 PER CU. YD. OF MIX.
- PLANT HOLE TO BE TWICE AS WIDE AND DEEP AS THE PLANT ROOT BALL. BACKFILL AND COMPACT TO 80% WITH 60% SOIL OF SITE AND 40% FIR BARK, UNLESS OTHERWISE NOTED. PROVIDE GRO-POWER PLANT TABLETS AT THE FOLLOWING RATES:

1 GAL.	2
5 GAL.	5
15 GAL.	10
24" BOX & UP	14

PLACE RECOMMENDED TABLETS BETWEEN THE BOTTOM AND THE TOP OF THE ROOT BALL, BUT NO HIGHER THAN 1/3 OF THE WAY UP TO THE TOP OF THE ROOT BALL. SPACE TABLETS EQUALLY AROUND THE PERIMETER OF THE ROOT BALL APPROXIMATELY 2" FROM THE ROOT TIPS.

- ALL PROPOSED SHRUB AND GROUND COVER AREAS ARE TO BE TREATED WITH A PRE-EMERGENT WEED KILLER (EPTAM / RONSTAR). APPLY PER MANUFACTURER'S SPECIFICATIONS: A) IMMEDIATELY AFTER PLANTING; B) AT THE BEGINNING OF THE MAINTENANCE PERIOD; AND C) AT THE END OF THE MAINTENANCE PERIOD.

Plant List

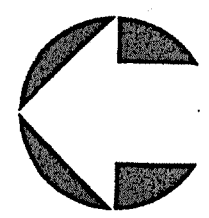
No.	Botanical Name	Common Name	Size
Trees			
3	Archontophoenix cunninghamiana	King Palm	36" box
3	Strelitzia nicolai	Giant Bird of Paradise	24" box
Shrubs			
1	Bougainvillea 'La Jolla'	'La Jolla' Bougainvillea	15 gal
9	Callistemon 'Little John'	'Little John' Bottlebrush	5 gal
13	Dianella revoluta 'Little Rev'	'Little Rev' Flax lily	5 gal
2	Diets grandiflora 'Variegata'	Variegated Fortnight lily	5 gal
3	Lantana camara 'Dwarf Yellow'	'Dwarf Yellow' lantana	5 gal
3	Lantana sellowiana 'White Light'n'	'White Light'n' Lantana	15 gal
35	Ligustrum japonica 'Texanum'	'Texanum' Jap. privet	15 gal
8	Pelargonium peltatum Zonal 'Hot Pink'	Hot Pink Ivy geranium	1 gal
1	Phormium 'Pink Stripe'	'Pink Stripe' flax	15 gal
6	Phormium 'Surfer'	'Surfer' flax	5 gal
10	Pittosporum tenuifolium 'Golf Ball'	'Golf Ball' Kohuhu	5 gal
2	Sansevieria trifasciata	Mother in law tongue	5 gal
3	Strelitzia reginae	Bird of Paradise	5 gal

Turf
Artificial turf (Laid over 90% compacted/ smooth soil)

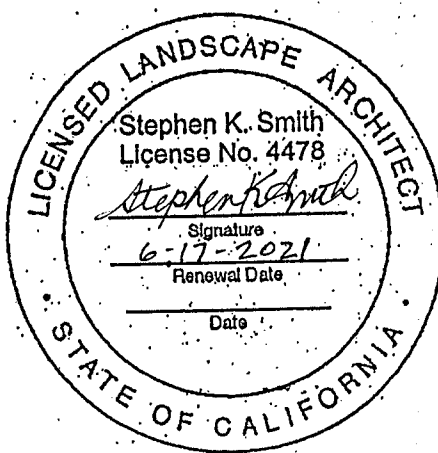
All planter beds to receive 2" top dressing of shredded bark mulch

Construction / Layout Plan

Scale: 1/8" = 1'-0"



Encroachment / Landscape Planting Plan



Scale: 1/8" = 1'-0"

E-1

Bergstresser Residence
856 Cypress Avenue
Hermosa Beach, CA 90524

**Encroachment Plan
Exhibit A
Landscape Plan**

stephen k. smith
landscape architect
482 east las torres drive
(626) 791 9735 email: stevensk42@gmail.com
california license #4478 expires June 30, 2021



PARCEL MAP NO.83160

SUBDIVIDER
WENDY & KYLE BERGSTRESSER
835 HOPKINS WAY, APT. 307
REDONDO BEACH, CA 90277
PHONE 404-234-9666

LEGAL DESCRIPTION
LOT 1, BLOCK C
TRACT NO. 1677
M.B. 20-184
APN 4187-014-024

JOB ADDRESS
856 CYPRESS AVENUE
HERMOSA BEACH, CA 90254

IN THE CITY OF HERMOSA BEACH
COUNTY OF LOS ANGELES
STATE OF CALIFORNIA

FOR CONDOMINIUM PURPOSES

ENGINEER
DENN ENGINEERS
3914 DEL AMO BLVD., STE. 921
TORRANCE, CA 90503
310-542-9433

Gary J. Roehl
GARY J. ROEHL R.C.E. 30826 DATE 6/12/2020



20-105

